

Planning Report

Shed

476 Channel Road
Curlwaa, NSW, 2648

EXECUTIVE SUMMARY

Proposal	Construction of a shed
Street Address	476 Channel Road, Curlwaa
Formal Land Description	Lot 9 in Deposited Plan 804089
Zone	RU4 – Primary Production Small Lots
Relevant State Environmental Planning Policies	State Environmental Planning Policy (Biodiversity and Conservation) 2021 - Chapter 5 – Murray River Lands

SUBJECT SITE AND SURROUNDING AREA

The subject site is 476 Channel Road, Curlwaa, formally Lot 9 in Deposited Plan 804089. It has an area of 2.323 hectares and a frontage of 105.66 metres to Channel Road to the south east. An existing dwelling, two sheds and associated domestic outbuildings are located in the southern portion of the lot near the road frontage, and the balance of the land is cleared. Adjoining land to the north east, south east and south west is used for citrus orchards, and land to the north west comprises cleared land and native vegetation.

The land is treated as being within the flood planning area pending finalisation of updated flood mapping for the locality. It is not bush fire prone and is not identified as landslide prone, acid sulfate soils or mine subsidence land. Reticulated electricity and water are available; reticulated stormwater and sewer are not.

The Heritage Map shows heritage item I18 – Dwelling, located on the adjoining land at 456 Channel Road, extending marginally over the eastern portion of the subject land. This is understood to be a mapping anomaly. No heritage item is located on the subject land and the land is not within a heritage conservation area.

The site is within a rural area, approximately 5.5km to the east of the Wentworth township. Surrounding land is predominantly used for horticultural purposes, however, rural dwellings and associated farm buildings are common.

An aerial image of the site and surrounding area as well as site photos are contained on the following pages.

Aerial Image of the Site and Surrounding Area



Figure 1: Subject site and surrounding area (Source: Landchecker 2026)

Site Photos



Figure 2: Existing structures



Figure 3: Existing structures



Figure 4: Location of proposed shed

PROPOSAL

DESCRIPTION

This application is for the construction of a shed on the land, as summarised under the following points:

- Sited within the established building group, west of the two existing sheds and 43.9 metres from the dwelling. Setbacks: 16.1 metres to Channel Road (south) and 36.1 metres to the western boundary.
- 12 metres by 8.5 metres (102sqm), 3 metre walls, 5.073 metres maximum height, gable roof at 26 degrees. Three bays with three roller doors 3.1 metres by 2.5 metres (east) and a 1.8 metre sliding door (north).
- Colorbond Classic Cream cladding and roofing; conventional portal frame.
- Domestic storage ancillary to the dwelling only. Existing crossover and driveway from Channel Road; stormwater managed on site; no new services or wastewater.

PLANNING

CONTROLS AND ASSESSMENT

Wentworth Local Environmental Plan 2011 (LEP)

The subject site is within the zone RU4 – Primary Production Small Lots.

The objectives of the zone are:

- *To enable sustainable primary industry and other compatible land uses.*
- *To encourage and promote diversity and employment opportunities in relation to primary industry enterprises, particularly those that require smaller lots or that are more intensive in nature.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*

Discussion

The shed is ancillary to the existing dwelling on the land and will be used for domestic storage. It is located within the established building group and occupies a negligible proportion of the 2.323 hectare lot, so the balance of the land remains available for primary production. The proposal does not change the use of the land and will not conflict with agricultural uses on adjoining land. It is therefore consistent with the objectives of the zone.

Clause 5.21 Flood planning

The objectives of this clause are—

- (a) to minimise the flood risk to life and property associated with the use of land,*
- (b) to allow development on land that is compatible with the flood function and behaviour on the land, taking into account projected changes as a result of climate change,*
- (c) to avoid adverse or cumulative impacts on flood behaviour and the environment,*
- (d) to enable the safe occupation and efficient evacuation of people in the event of a flood.*

Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development is compatible with the flood function and behaviour on the land, will not adversely affect flood behaviour on other land, will not adversely affect the safe occupation and efficient evacuation of people, incorporates appropriate measures to manage risk to life, and will not adversely affect the environment or cause avoidable erosion or siltation.

Discussion

Council is treating land in the locality as flood affected pending the finalisation of updated flood mapping, and it is anticipated that the subject land will be included within the flood planning area. The requirements of Clause 5.21 are therefore addressed on the basis that the whole of the land is within the flood planning area.

The proposal is compatible with the flood function and behaviour of the land. The shed is a small unoccupied outbuilding with a footprint of 102sqm on a 2.323 hectare lot and represents a negligible obstruction to flood flows and a negligible loss of flood storage. It contains no habitable floor area and no sleeping accommodation, such that no risk to life arises from its use and no evacuation of persons from the building is required. It is located within the established building group alongside the existing dwelling and sheds, and the site has direct frontage to Channel Road which provides evacuation access towards Wentworth. The proposal will not adversely affect flood behaviour on other land, will not affect the safe occupation or efficient evacuation of people, and will not cause avoidable erosion or siltation.

Clause 7.4 Terrestrial biodiversity

The objective of this clause is to maintain terrestrial biodiversity by—

- *protecting native fauna and flora, and*
- *protecting the ecological processes necessary for their continued existence, and*
- *encouraging the conservation and recovery of native fauna and flora and their habitats.*

Before determining a development application for development on land to which this clause applies, the consent authority must consider whether or not the development—

- *is likely to have any adverse impact on the condition, ecological value and significance of the fauna and flora on the land, and*

- *is likely to have any adverse impact on the importance of the vegetation on the land to the habitat and survival of native fauna, and*
- *has any potential to fragment, disturb or diminish the biodiversity structure, function and composition of the land, and*
- *is likely to have any adverse impact on the habitat elements providing connectivity on the land.*

Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that—

- *the development is designed, sited and will be managed to avoid any significant adverse environmental impact, or*
- *if that impact cannot be reasonably avoided—the development is designed, sited and will be managed to minimise that impact, or*
- *if that impact cannot be minimised—the development will be managed to mitigate that impact.*

Discussion

The proposed shed will not result in any unreasonable environmental impacts. It is located within the established building group in the southern portion of the site, on land which is already cleared and used for buildings and vehicle movement, and no native vegetation is required to be removed to accommodate the building. No habitat or connectivity elements on the land are affected and the native vegetation on the land further to the northwest is not disturbed. Stormwater will be managed to be contained within the site. As such, there will be no adverse impacts to the nearby watercourse and surrounding sensitive land.

Clause 7.5 Wetlands

The objective of this clause is to ensure that natural wetlands are preserved and protected from the impacts of development.

When assessing a development application for development on land to which this clause applies, the consent authority must consider potential adverse impacts from the proposed development on—

- *the growth and survival of native flora and fauna,*
- *the condition and significance of the native flora on the land and whether it should be substantially retained, and*
- *the provision and quality of habitats for indigenous and migratory species, and*

- *the surface and groundwater characteristics of the site, including water quality, natural water flows and salinity, and*
- *any wetland in the vicinity of the proposed development and any proposed measures to minimise or mitigate those impacts.*

Before granting consent to development to which this clause applies the consent authority must be satisfied that—

- *the development is sited, designed and managed to avoid potential adverse environmental impacts, or*
- *where an impact cannot be avoided, and having taken into consideration feasible alternatives, the proposed design, construction and operational management of the development will mitigate and minimise those impacts.*

Discussion

As discussed above, the proposed shed will not result in any unreasonable environmental impacts as it is located within the established building group on cleared land in the southern portion of the site. No wetland occurs on the part of the site to be developed, no native vegetation is to be removed, and stormwater will be managed on site. The proposal generates no wastewater and involves no effluent disposal. The proposal will therefore not adversely affect the growth and survival of native flora and fauna, the quality of habitat, or the surface and groundwater characteristics of the site.

State Environmental Planning Policy (Biodiversity and Conservation) 2021 - Chapter 5 – Murray River Lands

The aims of this Chapter are to conserve and enhance the riverine environment of the River Murray for the benefit of all users.

The objectives of this Chapter are—

- *to ensure that appropriate consideration is given to development with the potential to adversely affect the riverine environment of the River Murray, and*
- *to establish a consistent and co-ordinated approach to environmental planning and assessment along the River Murray, and*
- *to conserve and promote the better management of the natural and cultural heritage values of the riverine environment of the River Murray.*

Clause 5.8 General Principles

When this Part applies, the following must be taken into account—

- *the aims, objectives and planning principles of this Chapter,*
- *any relevant River Management Plan,*
- *any likely effect of the proposed plan or development on adjacent and downstream local government areas,*
- *the cumulative impact of the proposed development on the River Murray.*

Clause 5.9 Specific Principles

When this Part applies, the following must be taken into account—

Access

- *The waterway and much of the foreshore of the River Murray is a public resource. Alienation or obstruction of this resource by or for private purposes should not be supported.*
- *Development along the main channel of the River Murray should be for public purposes. Moorings in the main channel should be for the purposes of short stay occupation only.*
- *Human and stock access to the River Murray should be managed to minimise the adverse impacts of uncontrolled access on the stability of the bank and vegetation growth.*

Bank disturbance

- *Disturbance to the shape of the bank and riparian vegetation should be kept to a minimum in any development of riverfront land.*

Flooding

Where land is subject to inundation by floodwater—

- *the benefits to riverine ecosystems of periodic flooding,*
- *the hazard risks involved in developing that land,*
- *the redistributive effect of the proposed development on floodwater*
- *the availability of other suitable land in the locality not liable to flooding,*
- *the availability of flood free access for essential facilities and services,*
- *the pollution threat represented by any development in the event of a flood,*

- *the cumulative effect of the proposed development on the behaviour of floodwater, and*
- *the cost of providing emergency services and replacing infrastructure in the event of a flood.*

Land degradation

- *Development should seek to avoid land degradation processes such as erosion, native vegetation decline, pollution of ground or surface water, groundwater accession, salination and soil acidity, and adverse effects on the quality of terrestrial and aquatic habitats.*

Landscape

- *Measures should be taken to protect and enhance the riverine landscape by maintaining native vegetation along the riverbank and adjacent land, rehabilitating degraded sites and stabilising and revegetating riverbanks with appropriate species.*

River related uses

- *Only development which has a demonstrated, essential relationship with the river Murray should be located in or on land adjacent to the River Murray. Other development should be set well back from the bank of the River Murray.*
- *Development which would intensify the use of riverside land should provide public access to the foreshore.*

Water quality

- *All decisions affecting the use or management of riverine land should seek to reduce pollution caused by salts and nutrients entering the River Murray and otherwise improve the quality of water in the River Murray.*

Discussion

The land does not contain any part of the bed or bank of the River Murray and includes no riverfront land or riparian corridor. The shed is sited within the established building group on cleared land, with no works within or adjacent to any watercourse. It involves

no bank disturbance, mooring or river related use, no vegetation removal and no increase in water extraction, and stormwater will be managed on site.

As discussed under Clause 5.21 above, the shed is a small unoccupied outbuilding of 102sqm on a 2.323 hectare lot and will not materially redistribute floodwater or present a pollution threat in a flood. The cumulative impact on the riverine environment is negligible and the proposal is consistent with the aims, objectives and principles of Chapter 5.

Wentworth Development Control Plan

Chapter 5 – Rural Development Controls

The proposed shed is an outbuilding ancillary to the existing dwelling and is consistent with the controls of this Chapter. It is set back 16.1 metres from the southern boundary to Channel Road, which exceeds the 15 metre minimum front setback applying in the RU4 zone, and 36.1 metres from the western boundary. It is located alongside the existing dwelling and the two existing sheds and is well removed from the dwellings on adjoining land.

The shed is modest in scale with a maximum height of 5.073 metres above natural ground level, and the Colorbond Classic Cream cladding and roofing are consistent with the rural character of the locality and with the existing buildings on the land. Access is via the existing crossover and internal driveway from Channel Road and no new access is proposed. The shed generates no wastewater and does not require a water supply, and the roof water storage and effluent disposal controls under Chapter 5.3 therefore do not apply.

General Assessment

Visual Impacts

The shed is appropriately scaled for the rural setting and will maintain the established rural character of the locality. It is single storey with a maximum height of 5.073 metres above natural ground level and is located within the established building group alongside the existing dwelling and the two existing sheds. It is set back 16.1 metres from Channel Road and is of a form, scale and colour common throughout the locality. The proposed development is located a significant distance from any dwelling on adjoining land and will not result in any visual amenity concerns.

Open Space

Not applicable for this application. The proposal does not reduce the private open space available to the existing dwelling on the land.

Overshadowing and Privacy

No overshadowing or privacy issues are identified given the rural location of the site, the modest height of the shed and its separation from the boundaries of the lot and from dwellings on adjoining land.

Noise

The shed is proposed for storage purposes and will not contain any mechanical plant. No noise impacts are anticipated beyond those typical of a rural property.

Erosion Control Measures

No specific erosion control measures are considered necessary for this development as the land is generally flat. Standard sediment and erosion controls will be maintained during construction, and any minor earthworks associated with the slab will be appropriately battered and retained (if necessary).

Economic and Social Impacts

The proposed shed is expected to provide minor economic benefits through investment in the local area during construction. The development will not adversely impact the productive capacity of the land or surrounding horticultural activities and is therefore not expected to result in any negative economic impacts.

Environmental Benefits

Given the nature of the proposal, no significant environmental benefits or adverse environmental impacts are anticipated. The development does not involve the clearing of any significant vegetation or any intensification of the use of the land, and will provide secure storage supporting the ongoing management and maintenance of the property.

Disabled Access

Not applicable for this application. The shed is a non habitable outbuilding ancillary to the existing dwelling and will be required to comply with the applicable National Construction Code requirements.

Security, Site Facilities and Safety

Not applicable for this application.

Waste Management

Standard domestic waste services will continue to be provided by Council. Construction waste will be sorted on site, with material suitable for reuse or recycling separated and the residue disposed of at a licensed waste facility.

National Construction Code

The National Construction Code will be assessed as part of the Construction Certificate process by a Building Surveyor.

Traffic

The proposed shed is not expected to generate any increase in traffic movements. The shed is ancillary to the existing dwelling and uses the existing access arrangements to Channel Road, and no adverse impacts on the surrounding road network or traffic conditions are anticipated. There will be a short term increase in vehicle movements during the construction phase.

Stormwater/flooding

Stormwater generated by the development will be managed on site. As discussed under Clause 5.21 above, the land is treated as being within the flood planning area pending finalisation of updated flood mapping. The shed is a non habitable outbuilding of small footprint which will not adversely affect flood behaviour on the land or on other land.

Bushfire

The subject land is not identified as bush fire prone land. A search of the NSW Rural Fire Service online Bush Fire Prone Land Tool confirms that the parcel of land is not identified as bush fire prone.

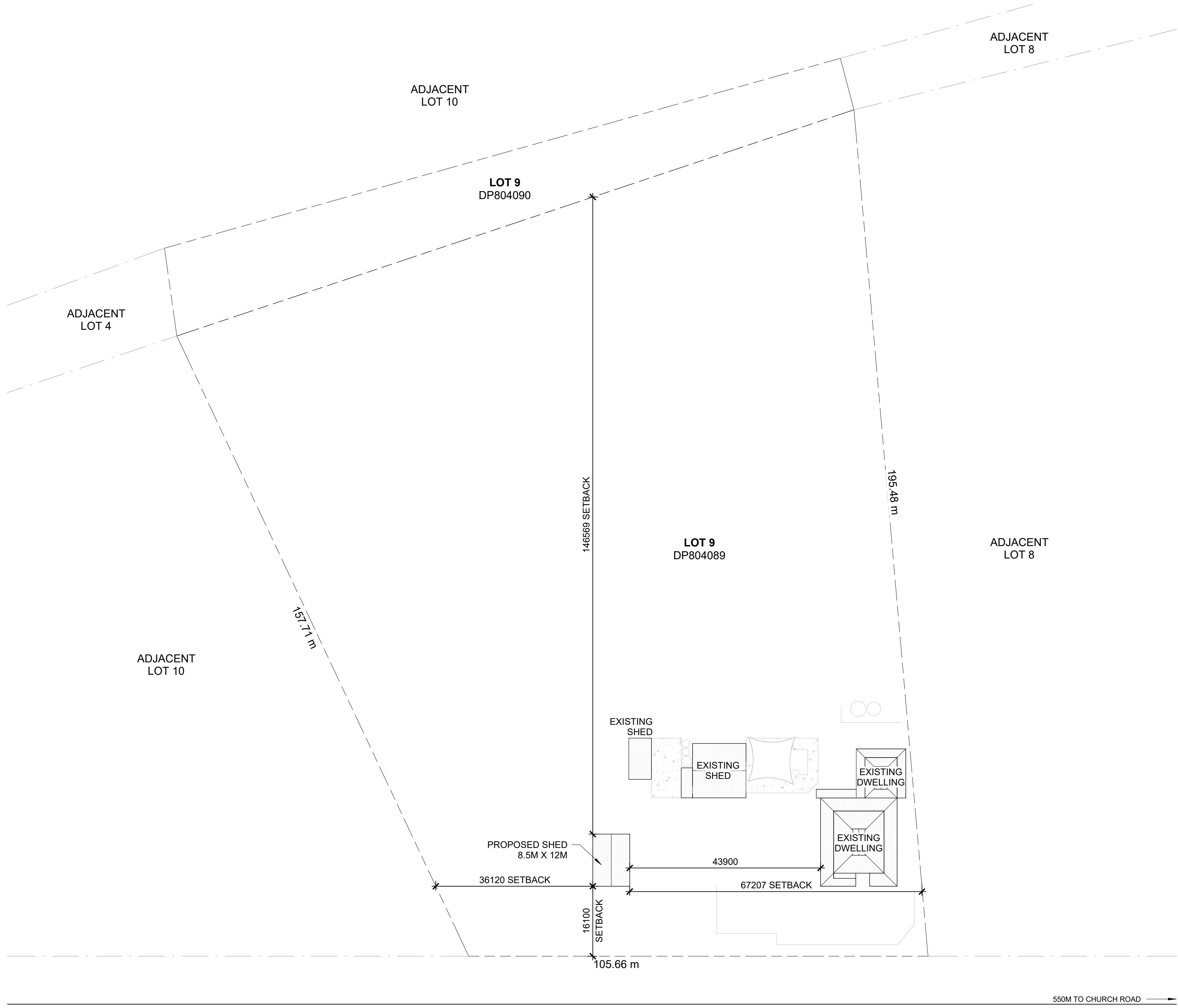
CONCLUSION

This report demonstrates that the proposal is consistent with the relevant provisions of the Wentworth Local Environmental Plan 2011 and the Wentworth Development Control Plan.

The proposed development is appropriate for the site as it:

- Is ancillary to the existing dwelling and permissible with consent in the RU4 zone;
- Is sited within the established building group and complies with the DCP setback and design controls;
- Is consistent with the rural character of the locality; and
- Will not result in any detrimental environmental impacts.

It is considered that the proposal is worthy of support, and it is therefore respectfully requested that the Wentworth Shire Council grant Development Consent for the development as described in this report at 476 Channel Road, Curlwaa.

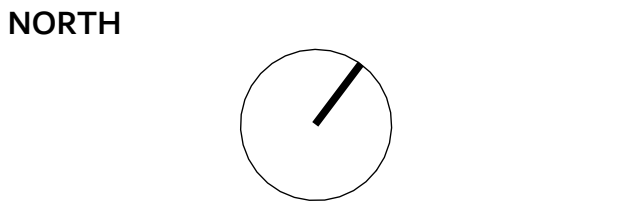


CLIENT
TANNER BEGG & EMILY HANCOCK

PROJECT
PROPOSED 8.5M X 12M SHED

ADDRESS
476 CHANNEL ROAD, CURLWAA, NSW 2648

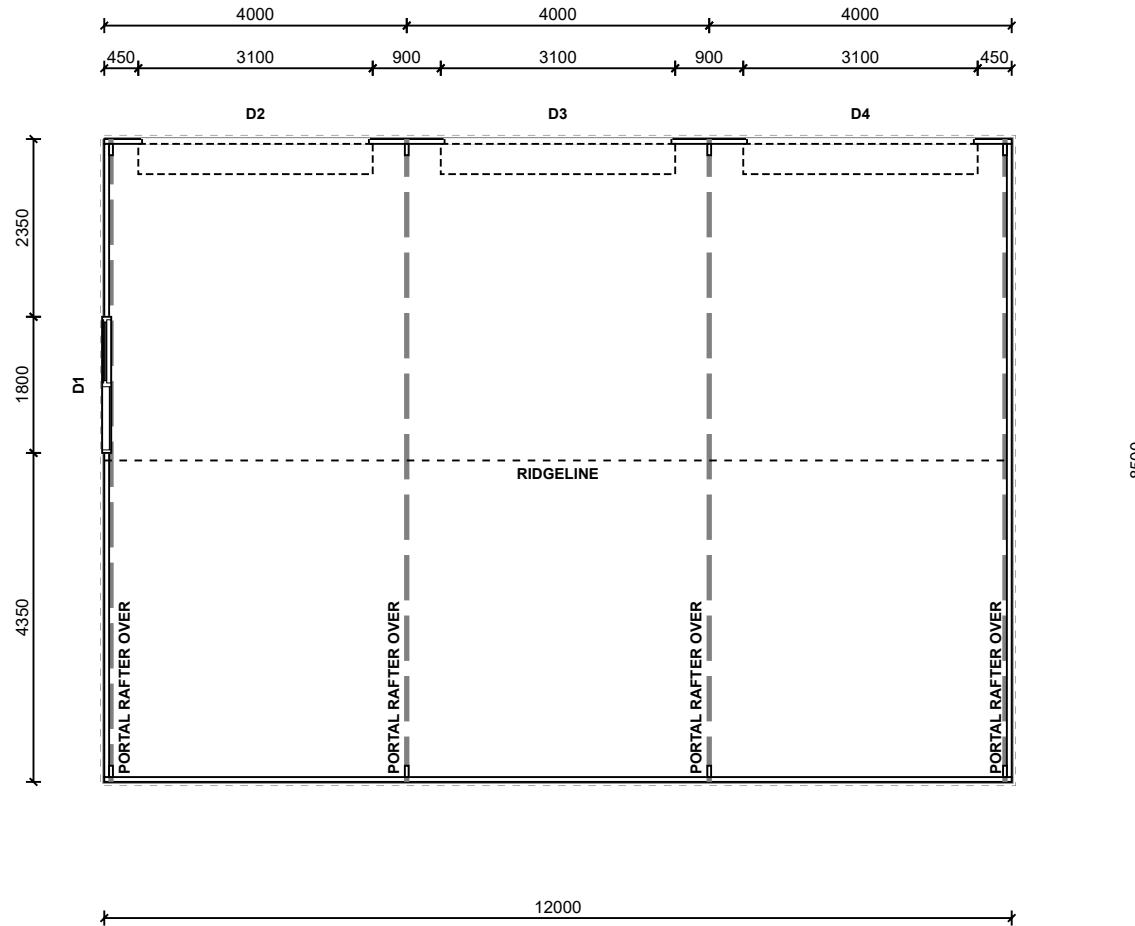
LOT 9 DP804089
LOT AREA: 2.323HA



SITE PLAN

REVISION 0

A01



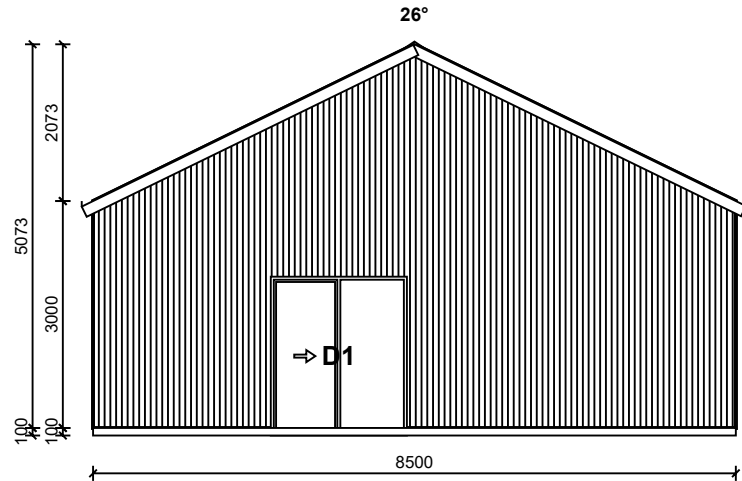
FLOORPLAN
SCALE 1:100



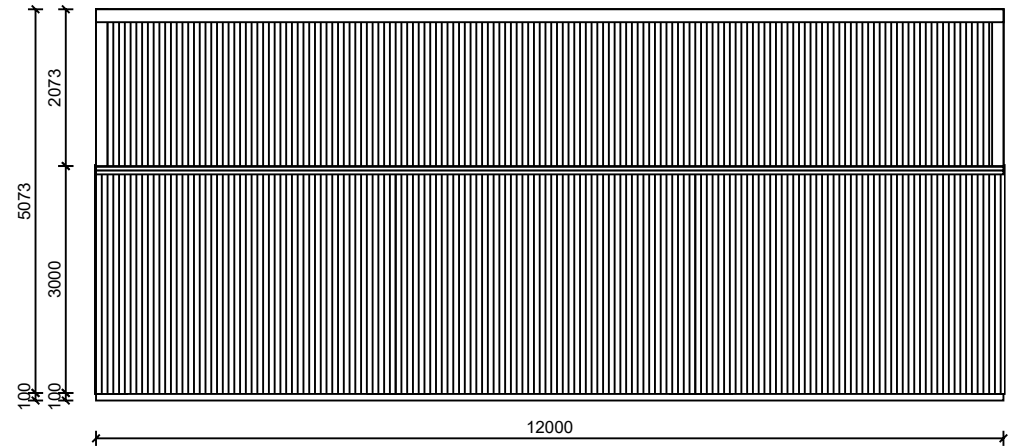
REFER TO CONSTRUCTION DRAWING FOR SLAB/FOOTING LAYOUT

OPENING SCHEDULE				
MARK	TYPE	HEIGHT	WIDTH	DESCRIPTION
D1	ALUM. SLIDING DOOR	2100	1800	COLORBOND® CLASSIC CREAM ALUM. SLIDING DOOR
D2-4	ROLLER DOOR	2500	3100	COLORBOND® CLASSIC CREAM STRAMIT RAD A - ROLLER DOOR

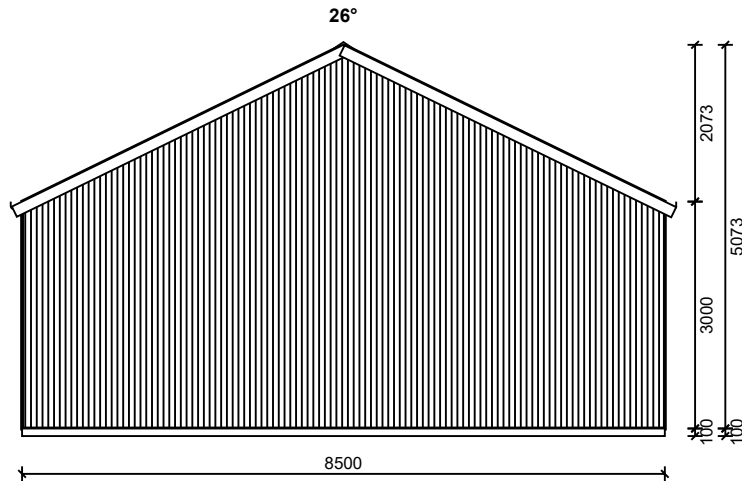
Structa-Shed 516 Benetook Ave Mildura, 3500 P: 5022 0222 E: sheds@structashed.com		 		client Emily Hancock project Proposed Garage: Enduro 476 Channel Road Curiwaa, NSW, 2648	
Drawing Name: Floor Plan Project Number: STSH - 0008746J		Drawing Number:		Rev:	
Drawn:		Date: 22/06/2026		Sheet Size A4	
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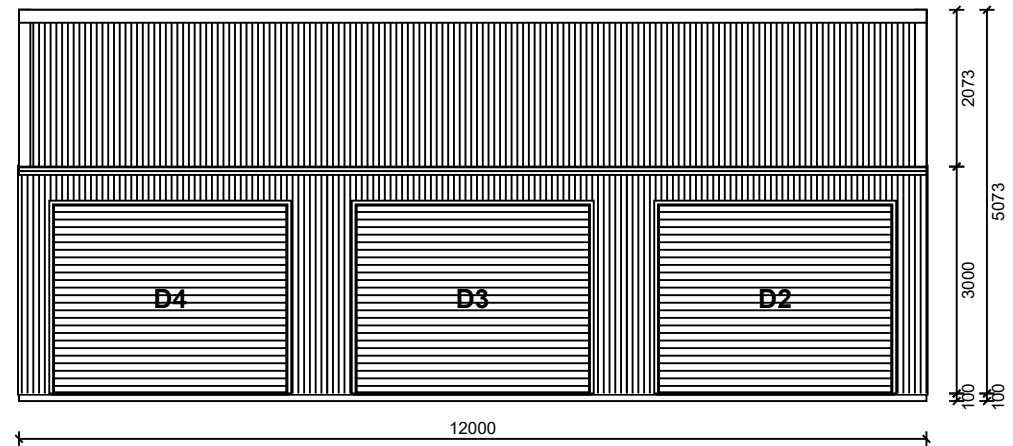
1. FRONT ELEVATION NORTH
SCALE 1:100



2. RIGHT ELEVATION WEST
SCALE 1:100



3. REAR ELEVATION SOUTH
SCALE 1:100



4. LEFT ELEVATION EAST
SCALE 1:100

REFER TO CONSTRUCTION DRAWING FOR SLAB/FOOTING LAYOUT

OPENING SCHEDULE

MARK	TYPE	HEIGHT	WIDTH	DESCRIPTION
D1	ALUM. SLIDING DOOR	2100	1800	COLORBOND® CLASSIC CREAM ALUM. SLIDING DOOR
D2-4	ROLLER DOOR	2500	3100	COLORBOND® CLASSIC CREAM STRAMIT RAD A - ROLLER DOOR

Structa-Shed

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client Emily Hancock
project

Proposed Garage: Enduro
476 Channel Road
Curlwaa, NSW, 2648

Drawing Name: Elevations

Project Number: STSH - 0008746J

Drawing Number:

Rev:

Drawn:

Date: 22/06/2026

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All Dimensions In Millimetres U.N.O.

Sheet Size

Scale: 1:100

Shed: 12Lx8.5Wx3H|26°|3bays

A4