

Planning Report

Dwelling

Lot 38 Yorke Drive
Gol Gol, NSW, 2738

EXECUTIVE SUMMARY

Proposal	Construction of a dwelling
Street Address	Lot 38 Yorke Drive, Gol Gol
Formal Land Description	Lot 38 in Deposited Plan 1285900
Zone	R5 – Large Lot Residential
Relevant State Environmental Planning Policies	Not applicable

SUBJECT SITE AND SURROUNDING AREA

The subject site comprises one parcel of land commonly known as Lot 38 Yorke Drive, Gol Gol, and more formally as Lot 38 in Deposited Plan 1285900. The site is regular in shape and is relatively flat. It has an area of approx. 3292 square metres (sqm) and a frontage of 43.49 metres (m) to Yorke Drive. An existing Colorbond shed of approx. 375 sqm is located towards the rear of the site. Reticulated electricity, water and telecommunications are available to the site and a swale drain for stormwater is located within the road reserve adjacent to the site. Reticulated sewer is not available. No heritage or cultural sensitivities affect the land and there are no natural hazards or environmental sensitivities including native vegetation.

The site is situated within a newly established large lot residential estate, approximately 1.7 km to the east of the Gol Gol post office and Primary School. The surrounding area predominantly consists of single storey dwellings and sheds on generous sized allotments. A number of the allotments immediately adjoining the site remain vacant.

An aerial image of the site and surrounding area as well as site photos are contained on the following pages.

Aerial Image of the Site and Surrounding Area



Figure 1: Subject site and surrounding area

Site Photos



Figure 2: View of site from Yorke Drive



Figure 3: View of the rear of the site

PROPOSAL

DESCRIPTION

This application is for the construction of a dwelling, as summarised under the following points:

- The dwelling is single storey and contains five bedrooms (master with WIR and ensuite), open plan kitchen, dining and living area, butlers pantry, separate home theatre, rumpus room, study, bathroom, two powder rooms, laundry, mud room, alfresco and attached double garage.
- The external appearance of the dwelling is contemporary, with selected face brickwork, rendered and painted base brickwork and FC sheet weatherboard cladding on the walls, and a Colorbond corrugated iron roof at a 22.5 degree pitch, all in neutral tones.
- The dwelling has a maximum overall height of 5.7 m above the finished floor level and will be constructed on a controlled earth fill pad at RL 44.60, with a finished floor level of RL 44.80.
- A new driveway is proposed to provide access to the double garage.
- The existing Colorbond shed towards the rear of the site is to be retained and is unaffected by this application.
- Due to the generous size of the site, approximately 75% will remain available for landscaping and private open space.
- The development will be connected to all reticulated services with the exception of gas and sewer; wastewater will be managed on-site via an AWTS.

PLANNING

CONTROLS AND ASSESSMENT

Wentworth Local Environmental Plan 2011 (LEP)

The subject site is within the Zone R5 – Large Lot Residential.

The objectives of the zone are:

- *To provide residential housing in a rural setting while preserving, and minimising impacts on, environmentally sensitive locations and scenic quality.*
- *To ensure that large residential lots do not hinder the proper and orderly development of urban areas in the future.*
- *To ensure that development in the area does not unreasonably increase the demand for public services or public facilities.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To restrict the construction of new residential and other sensitive uses in flood prone areas*

The proposed dwelling is located within a recently established residential estate and will provide residential housing in a rural setting, in line with the objectives of the R5 Zone. The building is compatible with existing land uses in the surrounding area and will not unreasonably increase the demand for public services or public facilities. The subject site is not in an environmentally sensitive location, does not have high scenic quality and is not flood prone. As such, the proposal supports the objectives of the R5 zone.

Wentworth Development Control Plan

Chapter 4 – Residential Development Controls

4.1.1 Site Context and Analysis

The plans submitted with this application demonstrate how the proposed development responds to site specific conditions and the site has been described in detail previously in this report. The site is within a recently established large lot residential estate which

contains existing dwellings and sheds of a similar size, scale and siting, along with a number of vacant allotments. An existing Colorbond shed is located towards the rear of the subject site and is to be retained. The site does not have any specific constraints and the topography is relatively flat.

4.1.2 Streetscapes

The proposed dwelling will have a positive impact on the streetscape. A number of habitable room windows overlook the street to provide for casual surveillance. The proposed garage only occupies a small portion of the dwelling façade and will not be a visually dominant element. The external materials and colours of the dwelling will complement existing dwellings in the broader area which have external materials and colours that vary considerably.

4.1.3 Front Setback

The DCP recommends a minimum front setback of 15 metres for land within the R5 Large Lot Residential zone. The dwelling has a front setback of 10m to the porch and 12.26m to the main front wall of the dwelling. While this is a shortfall of 5 metres against the recommended setback, the variation is considered acceptable in this instance.

The setback proposed remains generous, well in excess of the setbacks that typically apply in residential areas. Importantly, a number of the existing dwellings on this side of Yorke Drive are also sited with a front setback of approximately 10 metres, such that the setback proposed is consistent with the pattern of development already established along this side of the street.

The allotments immediately adjoining the site to either side are currently vacant, so the proposed setback will not be inconsistent with any established building line on the adjoining land. The reduced setback also allows the dwelling to be sited clear of the existing shed at the rear of the site and retains a large landscaped rear yard.

4.1.4 Side setbacks and Corner Lot Setbacks

The control requires a minimum side setback of 1 metre, with a combined total of 4.5 metres. The proposed dwelling is setback 5.445m from the north-western side boundary (to the garage) and 2.4m from the south-eastern side boundary, a combined total of 7.845m. The proposal therefore complies with this control.

4.1.5 Rear setbacks

The proposed dwelling is located 41.56m from the rear boundary, well in excess of the 3 metre minimum, thus meeting this control.

4.1.6. Walls on Boundaries

Not applicable.

4.1.7 Building heights and overshadowing

The dwelling has been appropriately sited to have minimal overshadowing impacts on the adjoining properties. The dwelling is single storey, with a maximum overall height of 5.7m, and has generous side and rear setbacks. The adjoining allotments to either side are currently vacant.

4.1.8 Site Coverage

The site coverage, including the existing shed, is approximately 25%, well below the 60% maximum and therefore complying with this control.

4.1.9 Private Open Space

Due to the generous size of the site, private open space is well in excess of the 40sqm minimum requirement. A 59sqm alfresco is provided at the rear of the dwelling with direct access from the living area, which satisfies the requirement for 25sqm of secluded private open space with a minimum dimension of 3 metres.

4.1.10 Energy Efficiency and Solar access

Appropriate solar access and energy efficiency is achieved given the orientation of the site. Energy efficiency requirements will be met in accordance with the applicable BASIX requirements.

4.1.11 Daylight to existing windows

The proposed dwelling will not impact daylight to existing dwellings as there is a notable separation distance and between the proposed buildings and any existing dwellings.

4.1.12 North-facing windows

Not applicable – there are no existing north facing windows within 3m of the boundary.

4.1.13 Overlooking

Not applicable – the proposed dwelling is single storey and will not be notably raised above existing surface levels.

4.1.14 Fencing and Retaining Walls

No fences or retaining walls are proposed as part of this application.

4.1.15 Car Parking and Vehicle Access

The proposed dwelling contains a double garage which provides two covered car parking spaces for occupants. Numerous uncovered car parking spaces can be accommodated within the driveway, if required.

4.1.16 Cut and Fill

As the site is relatively flat, only minimal earthworks are proposed. The dwelling will be constructed on a controlled earth fill pad at RL 44.60. Cut and fill will not exceed the 1m maximum permitted by this control and all fill will be appropriately battered and retained within the site.

State Environmental Planning Policies (SEPP)

There are no SEPP's applicable to this application.

General Assessment

Visual Impacts

Please refer to DCP assessment.

Open Space

Please refer to DCP assessment.

Overshadowing and Privacy

Please refer to DCP assessment.

Noise

Only standard domestic mechanical plant will be associated with the proposed dwelling, which will emit noise typical for a residential area.

Erosion Control Measures

No specific erosion control measures are considered necessary for this development. Any minor earthworks will be appropriately battered and retained (if necessary).

Economic and Social Impacts

Albeit minor, the proposed dwelling will contribute to the economic and social wellbeing of the Gol Gol township by increasing investment in the local area and social interaction with the local community.

Environmental Benefits

Due to the nature of this development, no significant environmental benefits are envisaged.

Disabled Access

Not applicable for this application. The proposed dwelling will be required to comply with the applicable National Construction Code requirements for disabled access.

Security, Site Facilities and Safety

Not applicable for this application.

Waste Management

Waste will be disposed of onsite via a AWTs system as per Council's requirements.

National Construction Code

The National Construction Code will be assessed as part of the Construction Certificate process by a Building Surveyor.

Traffic

The proposed dwelling will result in standard domestic travel within the existing road network. This would have been anticipated and accounted for in the design of the subdivision.

Stormwater/flooding

The site is not subject to any identified natural hazards and stormwater will be directed to the legal point of discharge within the road reserve.

CONCLUSION

This report demonstrates that the proposal is consistent with the relevant provisions of the *Wentworth Local Environmental Plan 2011* and the Wentworth DCP.

The proposed development is appropriate for the site as it:

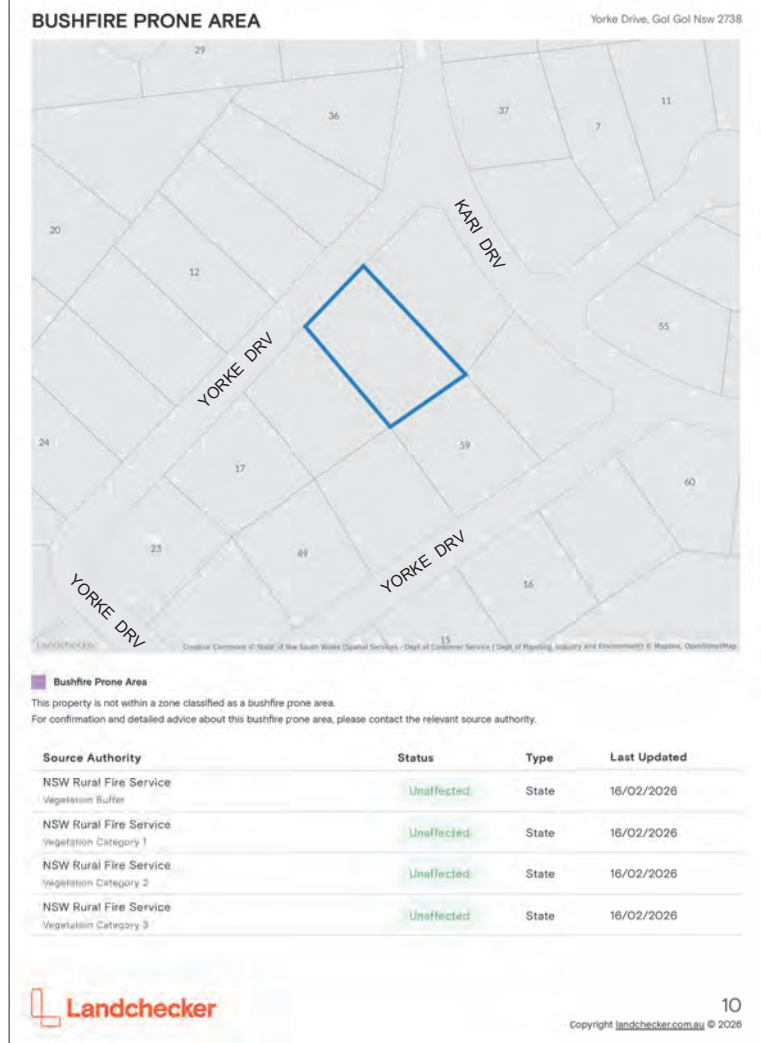
- Supports the objectives of the Zone R5 - Large Lot Residential;
- Is appropriately located on the subject site;
- Will have an acceptable impact on the locality in terms of amenity and visual dominance; and
- Will not result in any detrimental impacts on the environment.

It is considered that the proposal is worthy of support, and it is therefore respectfully requested that the Wentworth Shire Council grant Development Consent for the construction of a dwelling as described in this report at Lot 38 Yorke Drive, Gol Gol.

DESIGNATED BUSHFIRE PRONE AREA

AS DETERMINED BY THE MINISTER FOR PLANNING
MAP BOUNDARIES FOR
'DESIGNATED BUSHFIRE PRONE AREAS'

**THIS PROPERTY IS NOT IN A
DESIGNATED BUSHFIRE PRONE AREA**



Certificate No. #HR-QQ082X-01

Scan QR code or follow website link for rating details.

Assessor name +0HÄ+ECJB

Accreditation No. ,0'S')\$!\$#

Property Address 'A7CE?A.E>|ÄÄ-C@A-C@ÄÄ046

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=GGD'''JJJ!=EC FC<GJ8E;9CA!8H'D.<' 3 221(%6 #3

UBS
ULTIMATE BUILDING SOLUTIONS

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MILDURA VIC 3500
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E. info@ubsmildura.com.au
ABN 19609 574 736
NSW 316152C
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REV	DATE	BY	AMENDMENTS	CKD

**I INTREND DESIGN
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REGISTERED Building Practitioner GREGORY J HAMILTON DP-AD 222

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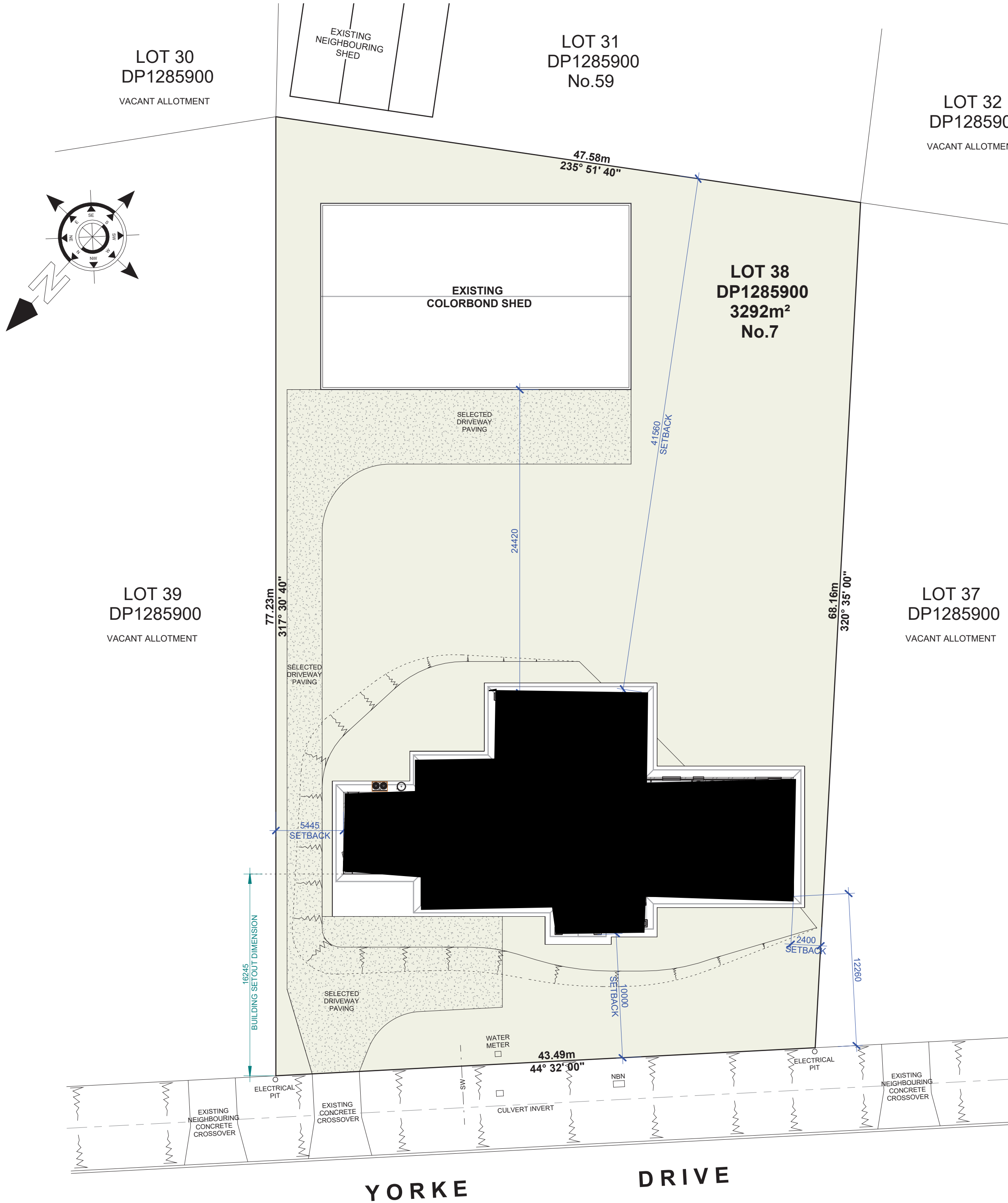
DATE	22/07/26	DRAWN	G.J.H.
SCALE	As indicated	CHECKED	G.H.

DETAIL PROPOSED SITE PLAN

JOB
PROPOSED NEW DWELLING
LOT 38 DP1285900
7 YORKE DRIVE
GOL GOL
NSW 2738

CLIENT
KIERNAN McCUNNIE

JOB No.	26-052v2	A2	SHEET No.	3 of 9
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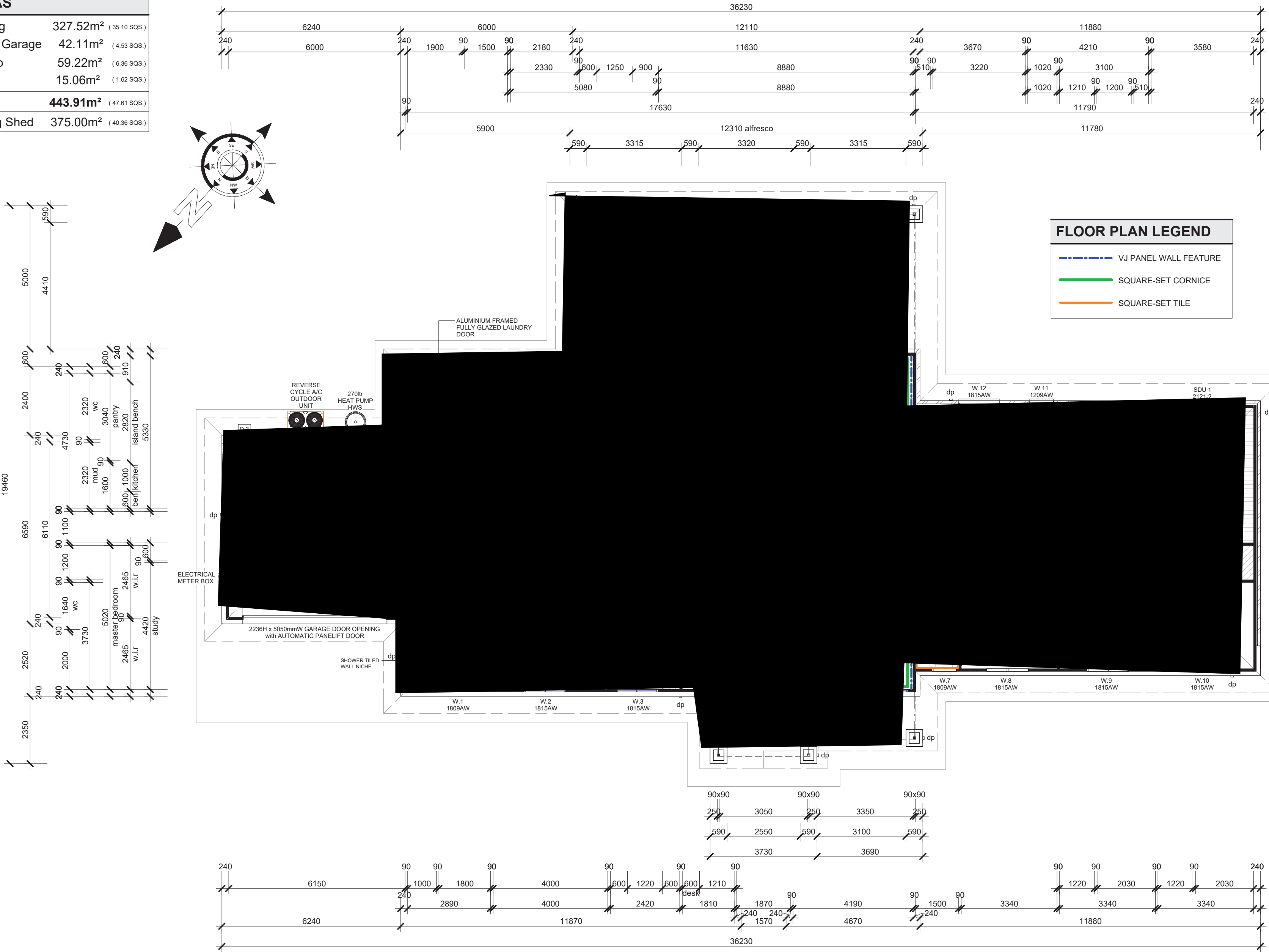
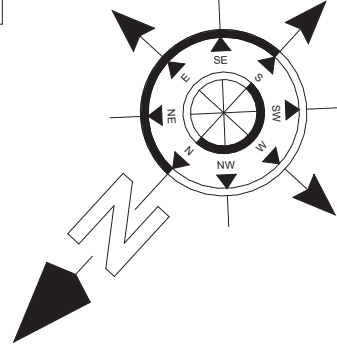


PROPOSED SITE PLAN
1:250

AREAS

Dwelling	327.52m ²	(35.10 SQS.)
Double Garage	42.11m ²	(4.53 SQS.)
Alfresco	59.22m ²	(6.36 SQS.)
Porch	15.06m ²	(1.62 SQS.)
Total	443.91m²	(47.61 SQS.)
Existing Shed	375.00m ²	(40.36 SQS.)

DEVELOPMENT APPROVAL



FLOOR PLAN LEGEND

- VJ PANEL WALL FEATURE
- SQUARE-SET CORNICE
- SQUARE-SET TILE

PROPOSED FLOOR PLAN

1:100



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ABN 19069 574 736
NSW 316152C
VICTORIA - CDBU-48552

JOB

PROPOSED NEW DWELLING
LOT 38 DP1285900
7 YORKE DRIVE
GOL GOL
NSW 2738

CLIENT

KIERNAN McCUNNIE

REV DATE BY AMENDMENTS

REV	DATE	BY	AMENDMENTS

GREGORY J. HAMILTON
BUILDING PRACTITIONER No. DP-AD 222.

DATE 22/07/26 DRAWN G.J.H.

SCALE 1 : 100 CHECKED G.H.

DETAIL PROPOSED FLOOR PLAN

JOB No. 26-052v2 A2 SHEET No.5 of 9

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CLIENT
KIERNAN McCUNNIE

REV	DATE	BY	AMENDMENTS	CKD.	GREGORY J. HAMILTON BUILDING PRACTITIONER No. DP-AD 222.		
					DATE 22/07/26	DRAWN G.J.H.	
					SCALE 1 : 100	CHECKED G.H.	
					DETAIL PROPOSED ELEVATIONS		
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