

Planning Report

Storage Shed

53 Moontongue Drive
Gol Gol, NSW, 2738

EXECUTIVE SUMMARY

Proposal	Construction of a storage shed
Street Address	53 Moontongue Drive, Gol Gol
Formal Land Description	Lot 17 in Deposited Plan 1204878
Zone	R5 – Large Lot Residential
Relevant State Environmental Planning Policies	Not applicable

SUBJECT SITE AND SURROUNDING AREA

The subject site comprises one parcel of land commonly known as 53 Moontongue Drive, Gol Gol, and more formally as Lot 17 in Deposited Plan 1204878. It has an area of 5,035 square metres (sqm) and a frontage of approximately 58.28 metres to Moontongue Drive. The site is occupied by an existing dwelling and an existing shed, with an existing crossover to Moontongue Drive. Reticulated electricity, water, stormwater and telecommunications are available to the site but reticulated sewerage is not available. The land is affected by easements for drainage of water 3 metres and 5 metres wide (and variable) along the northern and western boundaries respectively, and a restriction on the use of land, as noted on the title. No heritage or cultural sensitivities affect the land and there are no natural hazards or environmental sensitivities including native vegetation.

The site is situated within an established large lot residential estate to the south east of the Gol Gol village centre. The surrounding area predominantly consists of large residential allotments containing dwellings and associated outbuildings, and sheds of a similar scale to that proposed are common throughout the estate.

An aerial image of the site and surrounding area as well as site photos are contained on the following pages.

Aerial Image of the Site and Surrounding Area



Figure 1: Subject site and surrounding area (Source: Landchecker March 2026)

Site Photos



Figure 2: View of the site from Moontongue Drive



Figure 3: View of the site from the rear

PROPOSAL DESCRIPTION

The proposal seeks approval for the construction of a shed for domestic storage purposes, ancillary to the existing dwelling on the land. The shed is located at the rear of the site, immediately adjoining the existing shed.

The proposed building is located approximately 56.5m from the front boundary with Moontongue Drive, 9.9m from the rear (western) boundary and 0.5m from the existing shed. The building has a floor area of 82 square metres (sqm) and a footprint measuring 10.93m by 7.5m. It has a gable roof form with a 10 degree pitch and a maximum overall height of 4.26m, with a wall height of 3.6m. The building will be clad in zinc corrugated roof and wall sheeting with colour coated flashings and gutters, and is served by two manually operated roller doors (each 3.1m high by 3.0m wide) on one end elevation. Stormwater will be directed to the legal point of discharge, and no wet areas are proposed.

PLANNING

CONTROLS AND ASSESSMENT

Wentworth Local Environmental Plan 2011 (LEP)

The subject site is within the Zone R5 – Large Lot Residential.

The objectives of the zone are:

- *To provide residential housing in a rural setting while preserving, and minimising impacts on, environmentally sensitive locations and scenic quality.*
- *To ensure that large residential lots do not hinder the proper and orderly development of urban areas in the future.*
- *To ensure that development in the area does not unreasonably increase the demand for public services or public facilities.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To restrict the construction of new residential and other sensitive uses in flood prone areas*

The proposed shed is located within an established large lot residential estate and will be used for domestic storage purposes ancillary to the existing dwelling. As such, the building is compatible with existing and future land uses in the surrounding area. The building will not unreasonably increase the demand for public services or public facilities. The subject site is not in an environmentally sensitive location and is not flood prone. As such, the proposal supports the objectives of the R5 zone.

Wentworth Development Control Plan

Chapter 4 – Residential Development Controls

4.1.1 Site Context and Analysis

The plans submitted with this application demonstrate how the proposed shed responds to site specific conditions and the site has been described in detail previously in this report. The shed has been sited at the rear of the allotment adjoining the existing

shed, clear of the drainage easements affecting the land. The site does not have any other specific constraints and the topography is relatively flat.

4.1.2 Streetscapes

The proposed outbuilding is consistent in siting, scale and external appearance to a number of existing sheds within the wider area. The shed is located approximately 56.5m from the boundary with Moontongue Drive, well behind the existing dwelling, and is largely screened from the street by the dwelling and the existing shed. The proposal is therefore considered to have an acceptable impact on the streetscape and character of the area.

4.1.3 Front Setback

The shed has a front setback of approximately 56.5m from Moontongue Drive, which substantially exceeds the 15m prescribed for dwelling houses in the development standards. The proposed setback maintains the existing pattern of development along the street and provides a generous visual buffer from the street.

4.1.4 Side setbacks and Corner Lot Setbacks

The proposed shed is set back well in excess of the 1m minimum side setback prescribed under this control, being located in excess of 10m from the southern side boundary and clear of the northern side boundary. The shed is also set back 9.9m from the rear (western) boundary and is located outside the 5m drainage easement along the western boundary. No detrimental off-site amenity impacts are anticipated.

4.1.5 Rear setbacks

The proposed shed is located 9.9 metres from the rear boundary thus meeting this control.

4.1.6. Walls on Boundaries

Not applicable for this application

4.1.7 Building heights and overshadowing

The proposed shed has a maximum overall height of 4.26m, which is well below the height limit applying to the land. Given the generous separation from all side and rear boundaries, no unreasonable overshadowing of adjoining allotments will occur.

4.1.8 Site Coverage

The proposed shed occupies approximately 1.6% of the site area. When combined with the existing dwelling and existing shed, total site coverage remains well below the 60% requirement.

4.1.9 Private Open Space

As stated above, the proposed shed only occupies approximately 1.6% of the site. A generous amount of private open space is retained around the existing dwelling, well in excess of the requirements of this clause.

4.1.10 Energy Efficiency and Solar access

Not applicable – the proposed shed is not a habitable structure.

4.1.11 Daylight to existing windows

Not applicable – the proposed shed is not a habitable structure.

4.1.12 North-facing windows

The proposed shed is located at the rear of the allotment and is not adjacent to any existing north facing habitable room windows.

4.1.13 Overlooking

Not applicable – the proposed shed will not present any opportunities for direct overlooking.

4.1.14 Fencing and Retaining Walls

No fences or retaining walls are proposed as part of this application.

4.1.15 Car Parking and Vehicle Access

Existing vehicle access and on-site parking arrangements are unchanged. The proposed shed will provide for additional covered vehicle parking and storage for the existing dwelling.

4.1.16 Cut and Fill

As the site is relatively flat, only minimal earthworks are anticipated and will not exceed 0.5m of cut or fill.

State Environmental Planning Policies (SEPP)

There are no SEPP's applicable to this application.

General Assessment

Visual Impacts

Please refer to DCP assessment.

Open Space

Please refer to DCP assessment.

Overshadowing and Privacy

Please refer to DCP assessment.

Noise

No plant equipment will be required for the proposed shed.

Erosion Control Measures

No specific erosion control measures are considered necessary for this development. Any minor earthworks will be appropriately battered and retained (if necessary).

Economic and Social Impacts

Due to the nature of this development, no significant economic or social impacts are anticipated.

Environmental Benefits

Due to the nature of this development, no significant environmental benefits are envisaged.

Disabled Access

Not applicable for this application.

Security, Site Facilities and Safety

Not applicable for this application.

Waste Management

Not applicable for this application – standard domestic waste services will be provided by Council for a future dwelling on the land.

National Construction Code

The National Construction Code will be assessed as part of the Construction Certificate process by a Building Surveyor.

Traffic

The proposed shed will result in standard domestic travel within the existing road network. This would have been anticipated and accounted for in the design of the subdivision.

Stormwater/flooding

The site is not subject to any identified natural hazards and stormwater will be retained on site.

CONCLUSION

This report demonstrates that the proposal is consistent with the relevant provisions of the *Wentworth Local Environmental Plan 2011* and the Wentworth DCP.

The proposed shed is appropriate for the site as it:

- Supports the objectives of the Zone R5 - Large Lot Residential;
- Is appropriately located on the subject site;
- Will have an acceptable impact on the locality in terms of character, amenity and visual dominance; and
- Will not result in any detrimental impacts on the environment.

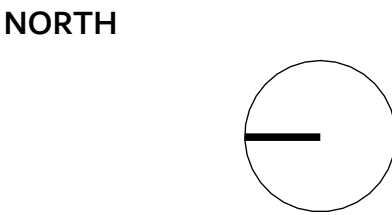
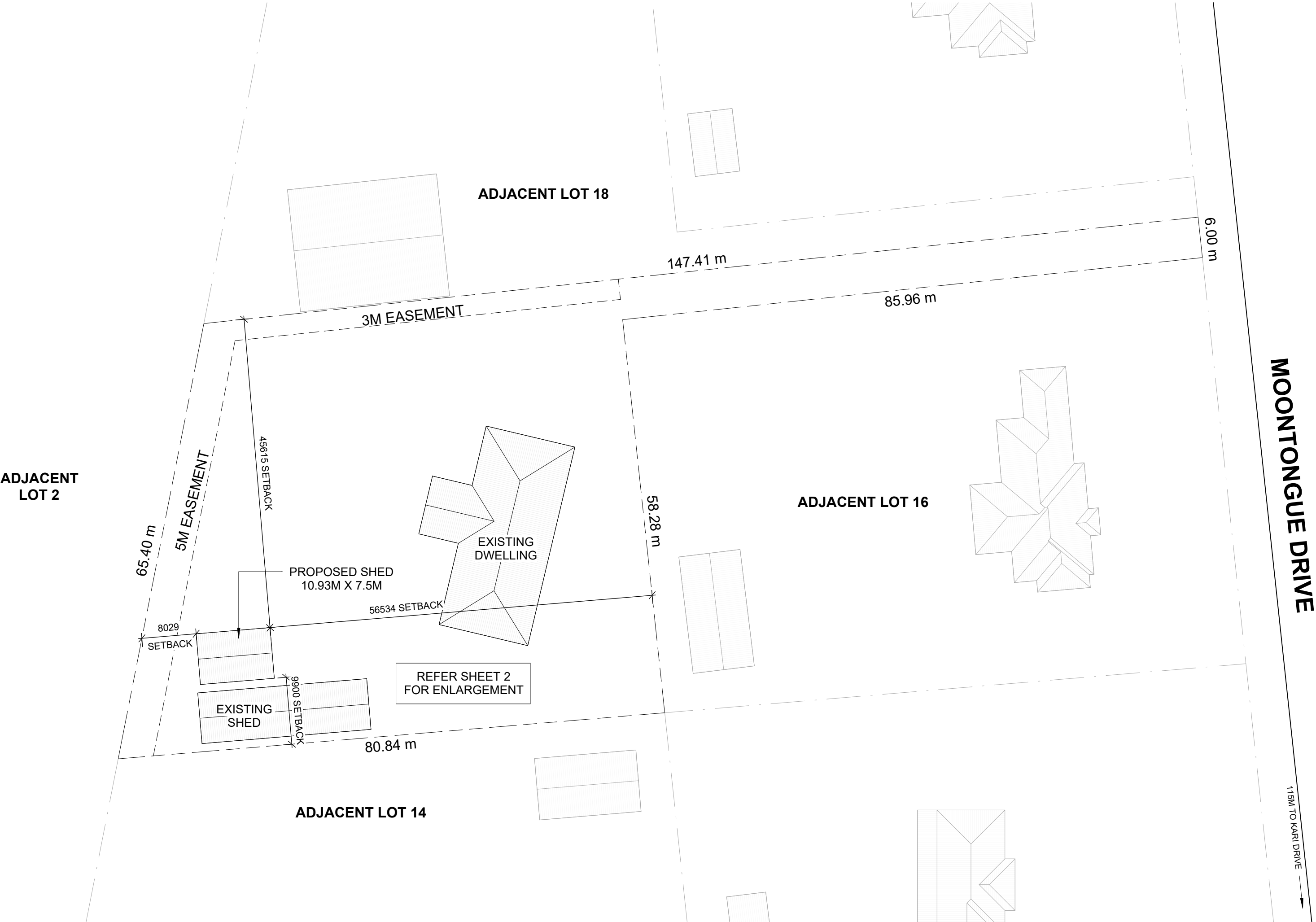
It is considered that the proposal is worthy of support, and it is therefore respectfully requested that the Wentworth Shire Council grant Development Consent for the construction of a storage shed as described in this report at 53 Moontongue Drive, Gol Gol.

CLIENT
JARROD LANYON

PROJECT
PROPOSED SHED

ADDRESS
53 MOONTONGUE DRIVE, GOL GOL,
NSW 2738

LOT 17 DP1204878
LOT AREA: 5035M²



SITE PLAN

REVISION 0

A01

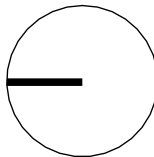
CLIENT
JARROD LANYON

PROJECT
PROPOSED SHED

ADDRESS
53 MOONTONGUE DRIVE, GOL GOL,
NSW 2738

LOT 17 DP1204878
LOT AREA: 5035M²

NORTH



SITE PLAN

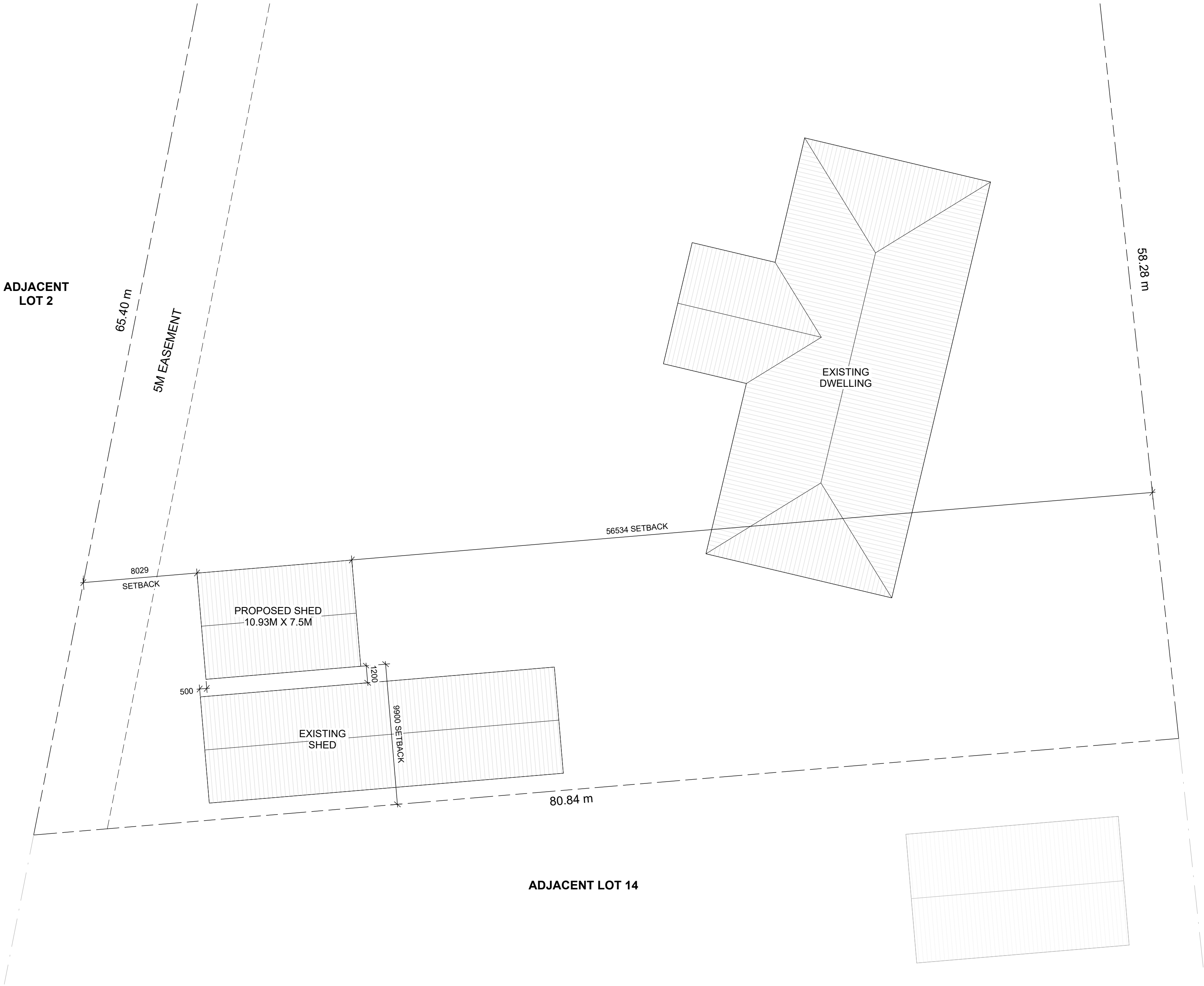
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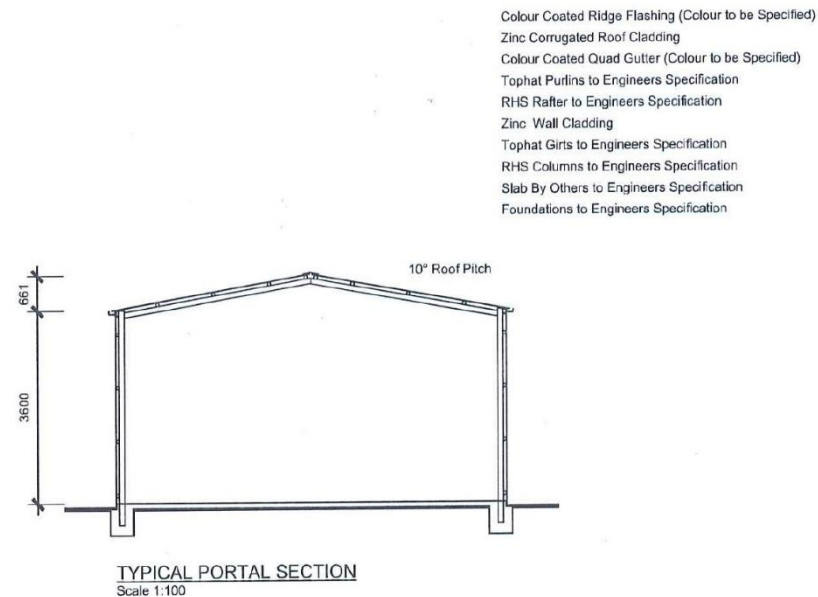
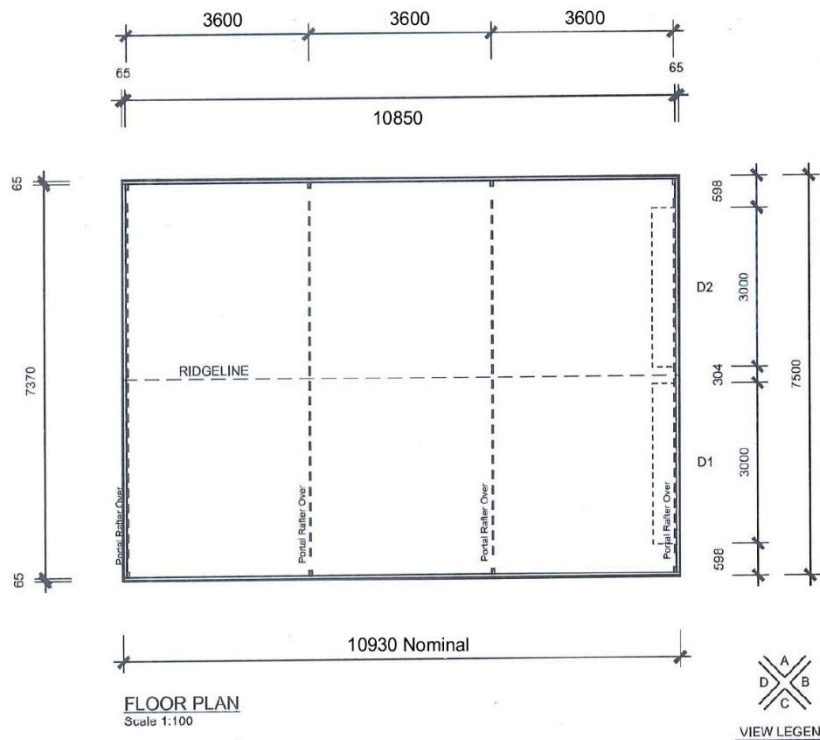
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SCALE 1 : 200

A2

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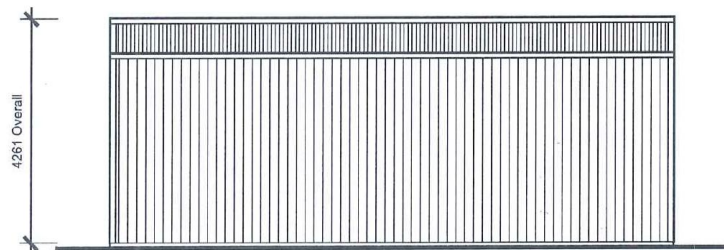


Colour Coated Ridge Flashing (Colour to be Specified)
Zinc Corrugated Roof Cladding
Colour Coated Quad Gutter (Colour to be Specified)
Tophat Purlins to Engineers Specification
RHS Rafter to Engineers Specification
Zinc Wall Cladding
Tophat Girts to Engineers Specification
RHS Columns to Engineers Specification
Slab By Others to Engineers Specification
Foundations to Engineers Specification

Approved by Client: _____ Date: ____/____/____

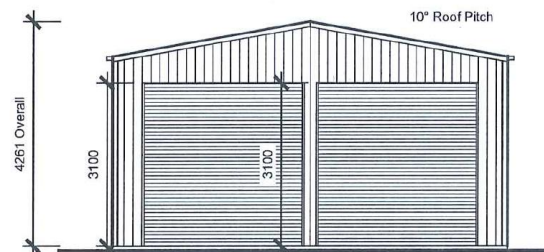
DOOR SCHEDULE			
MARK	DESCRIPTION	SIZE	COLOUR
D1	Roller Door, Manually operated in colour	3100H x 3000W	TBC
D2	Roller Door, Manually operated in colour	3100H x 3000W	TBC

SAFETY STEEL STRUCTURES 34-50 NATHAN ROAD DANDENONG SOUTH VIC 3175 TELEPHONE (03)8706 7711 FACSIMILE (03)8706 7992 This drawing remains the intellectual property of Safety Steel Structures and shall be used only as authorised by Safety Steel Structures	Issue Status:	Drawing Title: Floorplan			
	Date: 20 th june 2026	Client: Jarrod Lanyon			
	Drawn: Michael Grech	Project: Proposed Garage			
	Checked:	Site: 53 Moontongue drive Gol Gol NSW 2738			
	Scale: 1.100	Project No: 2221510	Drawing No: A1.1	Rev: -	Page: A3



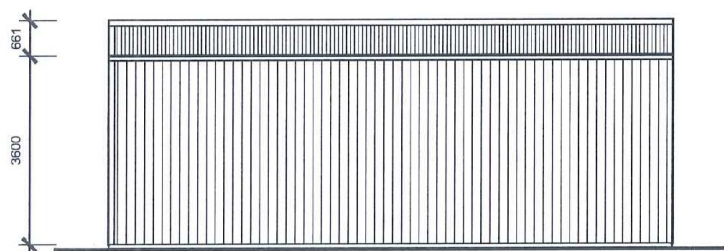
ELEVATION A
Scale 1:100

West



ELEVATION B
Scale 1:100

South



ELEVATION C
Scale 1:100

East



ELEVATION D
Scale 1:100

North

Colour Coated Ridge Flashing (Colour to be Specified)
Colour Coated Barge Flashing (Colour to be Specified)
Zinc Corrugated Roof Cladding
Colour Coated Quad Gutter (Colour to be Specified)
Zinc Wall Cladding

Approved by Client: _____ Date: ____/____/____

 SAFETY STEEL STRUCTURES 34-50 NATHAN ROAD DANDENONG SOUTH VIC 3175 TELEPHONE (03)8708 7711 FACSIMILE (03)8708 7992 This drawing remains the intellectual property of Safety Steel Structures and shall be used only as authorised by Safety Steel Structures	Issue Status:	Drawing Title: Elevations			
	Date: 20 th june 2026	Client: Jarrod Lanyon			
	Drawn: Michael Grech	Project: Proposed Garage			
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