



ROY COSTA PLANNING & DEVELOPMENT

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STATEMENT OF ENVIRONMENTAL EFFECTS
2 INDUSTRIAL BUILDINGS
LOT 5 DP 822090
24 CORBETT AVENUE BURONGA

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1. Introduction

1.1 Background

This Statement of Environmental Effects has been prepared by Roy Costa Planning & Development in support of an Industrial Development, consisting of 2 Industrial Buildings.

This application also seeks Development Consent from Wentworth Shire Council as prescribed under Part 4 of the *Environmental Planning and Assessment Act 1979*, 'Development assessment and consent'.

2. Subject Site and Surrounding Area

2.1 Subject Site

| | | |
|------------------------|---|---|
| Address | 24 Corbett Avenue, Buronga NSW 2739 | |
| Lot & DP | Lot 5 DP 822090 | |
| Land size | 2.43 hectares | |
| Shape | Battle-Axe shaped, irregular | |
| Slope | N/A | |
| Vegetation | Nil | |
| Waterways | N/A | |
| Current uses | Pickering Transport | |
| Previous uses | N/A | |
| Natural hazards | Bushfire prone: | No |
| | Flood affected: | Site is not flood affected per Flood Planning Area Map Sheet CL1_004E of the WLEP201. |
| | Salinity: | No known salinity impacts affecting the site |
| | Stormwater: | No known inundation of storm water |
| Additional constraints | This property may be located near electrical infrastructure and could be subject to requirements listed under ISEPP | |

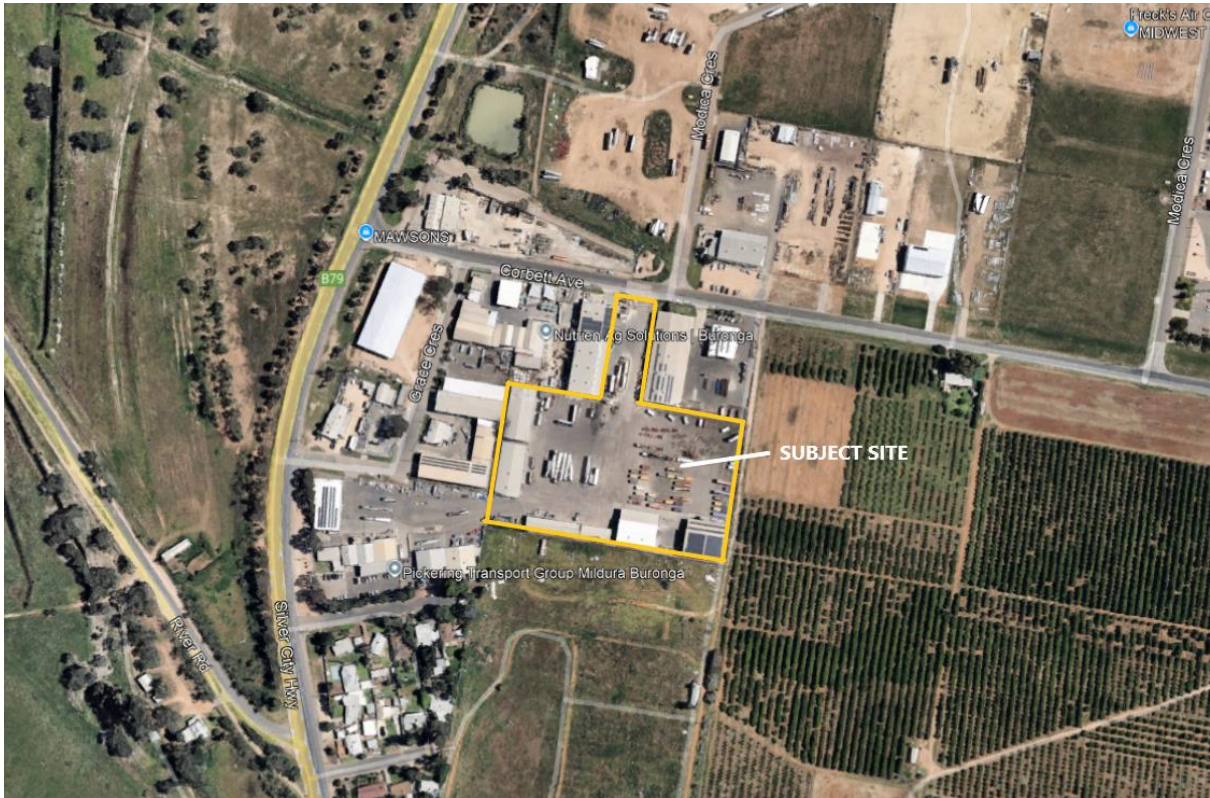


Figure 1: Aerial Site Plan

2.2 Surrounding Land Use and Development

The existing uses and developments surrounding the subject site include industrial development to the north and west; vacant industrial land to the east; and vacant residential land to the south.

This can be seen in the aerial site plan above.

3. Proposed Development

| | |
|----------------------------|--|
| Proposal | Two Industrial Buildings |
| Size of Current Lot | 2.43 hectares |
| Applicable MLS | 1000m ² |
| Size of proposed buildings | Building 1 – 812.5m ² Building 2 – 812.5m ² |
| Intended future use | General Industrial in accordance with Land Use Table |

4. Relevant Planning Controls

4.1 State Environmental Planning Policies

State Environmental Planning Policy (Resilience and Hazards) 2021

State Environmental Planning Policy (Housing) 2021

State Environmental Planning Policy (Biodiversity and Conservation) 2021

State Environmental Planning Policy (Primary Production) 2021

State Environmental Planning Policy (Industry and Employment) 2021

State Environmental Planning Policy (Transport and Infrastructure) 2021

4.2 *Wentworth Local Environmental Plan 2011*

| | | |
|--|---|--|
| Permissibility of development in the Zone | The proposed development is permissible in the E4 – General Industrial Zone | |
| Consistency with Zone Objectives | The proposed industrial development is consistent with the objectives of the E4 General Industrial Zone as it is compatible with the current surrounding land uses. | |
| Applicable Principal Development Standards | N/A | |
| Applicable Miscellaneous provisions | N/A | |
| Applicable additional local provisions | Clause 7.2 'Essential Services' is applicable to this industrial development: | |
| | The supply of water | Available to the subject land |
| | The supply of electricity | Available to the subject land |
| | The disposal and management of sewage | Can be managed by Councils system |
| | Stormwater drainage or on-site conservation | Storm water drainage can be addressed for both buildings |
| | Suitable road access | Access to the site via existing access via Corbett Avenue. |

4.3 Wentworth Development Control Plan 2011

The proposed two industrial buildings do not contravene any clauses in the DCP specifically Chapter 7.

5. Assessment

5.1 Context Analysis

| | | |
|--|---|----|
| Will the development be: | • Visually prominent in the surrounding area? | No |
| | • Inconsistent with the existing streetscape? | No |
| | • Out of character with the surrounding area? | No |
| | • Inconsistent with surrounding land uses? | No |
| <p>Response:</p> <p>The subject site has an existing access from Corbett Avenue that is 21.28 metres in width that leads into the site as an approximately 80 metre accessway to the main area of the site that is developed into industrial development.</p> <p>The proposed two buildings are located behind existing industrial developments along Corbett Avenue in front of the subject development; therefore not visible.</p> <p>The land itself blends into the surrounding character of the existing streetscape.</p> <p>The proposed two industrial buildings are consistent with the existing land use and land shapes in that the new buildings will be of a similar size and character to those on the site and immediately within the industrial area.</p> <p>The proposed industrial development itself is consistent with surrounding land uses.</p> | | |

5.2 Privacy, view, and overshadowing

| | | |
|---|--|----|
| Will the result in: | • Privacy issues? | No |
| | • Overshadowing of adjoining properties? | No |
| | • Acoustic issues from excessive noise? | No |
| | • Impact on view? | No |
| <p>Response:</p> <p>The proposed development is industrial buildings within an industrial zoned area.</p> | | |

5.3 Access and Traffic

| | | |
|-----------------------|--|-----|
| Will the development: | • Have legal and practical, or require new access? | Yes |
| | • Increase local vehicle movements? | Yes |

| | | |
|--|--|-----|
| | <ul style="list-style-type: none"> Require onsite vehicular manoeuvring and onsite parking? | Yes |
| | <ul style="list-style-type: none"> Require off-site parking? | No |
| <p>Response:</p> <p>The subject site has one legal point of access via Corbett Avenue; with no additional access points required as part of this application.</p> <p>This proposal will only increase normal vehicle industrial movements because of the additional buildings.</p> <p>There is no additional requirement for onsite vehicular manoeuvring; and such already exists for the overall existing industrial development on the land.</p> <p>No off-site parking is required as part of this proposal.</p> | | |

5.4 Infrastructure and Utilities

| | | |
|--|---|-----|
| Will the development require: | <ul style="list-style-type: none"> Power? | Yes |
| | <ul style="list-style-type: none"> Water? | Yes |
| | <ul style="list-style-type: none"> Sewer? | Yes |
| | <ul style="list-style-type: none"> Stormwater? | Yes |
| | <ul style="list-style-type: none"> Telecommunications? | Yes |
| <p>Response:</p> <p>All services are already connected to the subject land for the existing industrial development upon the site.</p> <p>When required, the new two industrial buildings will be connected to the available existing services and utilities.</p> <p>Construction plans showing connection to these services will be submitted as part of the post-consent application.</p> | | |

5.5 Environmental Impacts

| | | |
|---------------------------------|--|----|
| Will the development result in: | <ul style="list-style-type: none"> Air pollution? | No |
| | <ul style="list-style-type: none"> Water Pollution? | No |
| | <ul style="list-style-type: none"> Noise impacts? | No |
| | <ul style="list-style-type: none"> Excavation or filling | No |
| | <ul style="list-style-type: none"> Erosion or sediment run-off? | No |
| | <ul style="list-style-type: none"> Soil contamination? | No |
| | <ul style="list-style-type: none"> ESD <i>i.e.</i>, is a BASIX required? | No |
| | <ul style="list-style-type: none"> Impacts on items of heritage or cultural significance? | No |
| | <ul style="list-style-type: none"> Disturbance of Aboriginal artefacts or relics? | No |

Response:

The development will be constructed in accordance with the relevant building regulations and meet all services requirements to ensure no adverse effects are caused to the surrounding area and reticulated services.

5.6 Biodiversity Impacts

| | | |
|---------------------------------|---|----|
| Will the development result in: | <ul style="list-style-type: none">• The removal of any native vegetation? | No |
| | <ul style="list-style-type: none">• Any impact on threatened species or native habitat? | No |

Response:

The proposed development will not involve the removal of any vegetation from the subject site and will not have any impact on threatened species or native habitat.

5.7 Waste and Stormwater disposal

| | |
|--|-----------------|
| <ul style="list-style-type: none">• How will effluent be managed? Sewer or onsite? | Sewer |
| <ul style="list-style-type: none">• How will stormwater be disposed? Drainage system or other? | Drainage system |
| <ul style="list-style-type: none">• Will liquid trade waste be discharged to Councils sewer? | No |
| <ul style="list-style-type: none">• Will the development result in hazardous waste or disposal issues? | No |
| <ul style="list-style-type: none">• Have all storm water risks been considered? | Yes |
| <ul style="list-style-type: none">• Will the development include rainwater tanks | No |

Response:

This development will meet all the required building regulations when constructed and connect to all required reticulated services.

5.8 Social and Economic Impacts

| | | |
|---------------------------------|---|-----|
| Will the development result in: | <ul style="list-style-type: none">• Any economic impacts? | Yes |
| | <ul style="list-style-type: none">• Any social impacts? | No |
| | <ul style="list-style-type: none">• Any issues relating to safety, security or crime? | No |

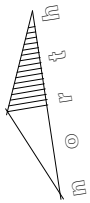
Response:

The development will contribute to the economic well-being of the Wentworth Shire Council by providing additional industrial development; thus, investment into the municipality and provide additional employment opportunities.

6. Conclusion

The proposed industrial development is consistent with relevant local and state planning considerations. It will not have negative impacts upon the environmental values of the land or the immediate locality. The industrial development is consistent with the Wentworth LEP and associated supporting documents. The development is therefore considered to be generally consistent with the LEP and the DCP and associated planning framework and should be supported through the issue of a development approval.

The proposal is acceptable in terms of Section 4.15 of the *Environmental Planning and Assessment Act 1979*. Any potential impacts are expected to be manageable. Accordingly, it is recommended that the Development Application be approved subject to appropriate standard conditions.

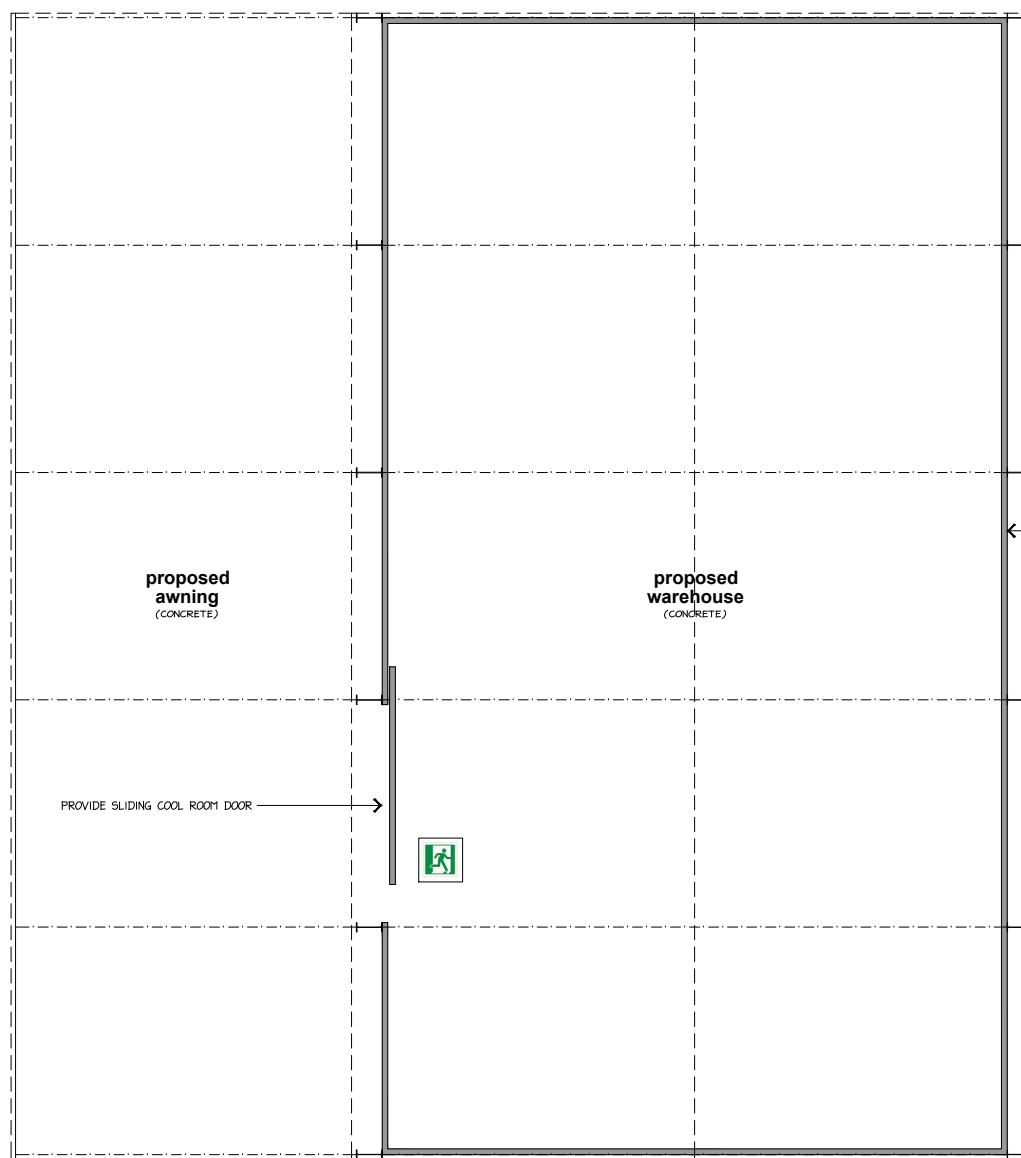
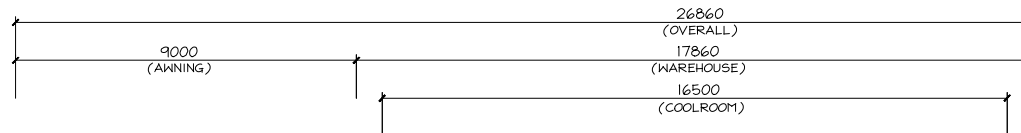


NOTES:

- ☒ DENOTES EMERGENCY EXIT SIGNS COMPLYING WITH AS/NZS 2283.1
- ☛ DENOTES EMERGENCY LIGHTING COMPLYING WITH AS/NZS 2283.1 - EMERGENCY LIGHTING TO BE FLUORESCENT LIGHTS HARD-WIRED BACK TO SWITCHBOARD.
- ☛ DENOTES 250mmØ EXHAUST FAN TRIGGERED BY LIGHT SWITCH & TO BE DUCTED TO OUTSIDE AIR.
- ☒ DENOTES 4A:60B:E - DRY CHEMICAL FIRE EXTINGUISHERS
- SELECTED BOLLARDS

ALL EXIT DOORS ARE TO BE READILY OPENABLE WITHOUT THE USE OF A KEY FROM THE PERSON SEEKING EGRESS, BY A SINGLE HANDED DOWNWARD ACTION OF PUSHING ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900 AND 1100mm FROM THE FLOOR, IN ACCORDANCE WITH CLAUSE D 2.21 OF THE BUILDING CODE OF AUSTRALIA 2014.

- FIRE EXTINGUISHERS TO COMPLY WITH AS 2444
- STORMWATER DRAINAGE TO COMPLY WITH AS 3500.3
- ROOF COVERINGS TO COMPLY WITH AS 1562.1
- DAMP PROOFING / VAPOUR BARRIER TO COMPLY WITH AS 2870



PROVIDE 150mm THICK COOL ROOM PANELS WITH SUSPENDED CEILING

PROVIDE SLIDING COOL ROOM DOOR

(WAREHOUSE x 2)
PROPOSED GROUND
FLOOR PLAN 1:100

general notes:

1. ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, STATE BUILDING REGULATIONS & LOCAL AUTHORITY REQUIREMENTS.
2. CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS.
3. FIGURED DIMENSIONS HAVE PREFERENCE TO SCALE.
4. PLANS SHALL BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS & ATTACHED DOCUMENTATION.
5. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE BUILDING IS WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE IS SHOWN CORRECT.
6. IT IS THE BUILDERS RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY SERVICES WHICH MAY HINDER CONSTRUCTION OR CAUSE ALTERATIONS TO DESIGN BEFORE COMMENCING ANY WORK.
7. ☒ DENOTES SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH AS 3786 - 2014, & TO BE INTERCONNECTED IF MORE THAN ONE.
8. ☒ DENOTES ARTICULATION JOINT TO BE CONSTRUCTED IN ACCORDANCE WITH CACA TECHNICAL NOTE 61.
9. GLAZING TO COMPLY WITH 1288 - 2021 "GLASS IN BUILDINGS - SELECTION & INSTALLATION" & 2047-2014 "WINDOWS IN BUILDINGS - SELECTION & INSTALLATION"
10. OVERFLOW RELIEF GULLY REQUIREMENTS ARE TO COMPLY WITH AS 3500 - 2021 "SANITARY PLUMBING & SANITARY DRAINAGE"
11. SOLID FUEL COMBUSTION HEATERS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2918 - 2018 "DOMESTIC SOLID FUEL"
12. BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2021 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
13. PROVIDE EXPANSION JOINTS IN TILED AREA'S EVERY 5m MINIMUM.

| | |
|-------------------------|--|
| WINDOW TYPE | ALUMINIUM AWNING |
| LINTEL TYPE | HYPAN LVL & MGP12 |
| FLYWIRE TO ALL OPENINGS | *CHECK LINTELS SUPPORTING GIRDER TRUSSES |

| | | |
|---------------|----------------|----------|
| AREAS: | PROP. COOLROOM | 600.00m2 |
| | PROP. AWNING | 272.25m2 |

TOTAL 872.25 m2

TERRAIN CATEGORY 3.0 WIND CLASSIFICATION (N1)
REGION A
TOPOGRAPHIC EFFECT (T1)
WIND DIRECTION (FULLY SHIELDED)
CALCULATION OF WIND SPEED = 28

SHEET NO: 1 OF 7 **DRG NO:** MH2 2025-078

PROJECT:
PROPOSED 2 x WAREHOUSE COOLROOMS

CLIENT:
PICKERING TRANSPORT

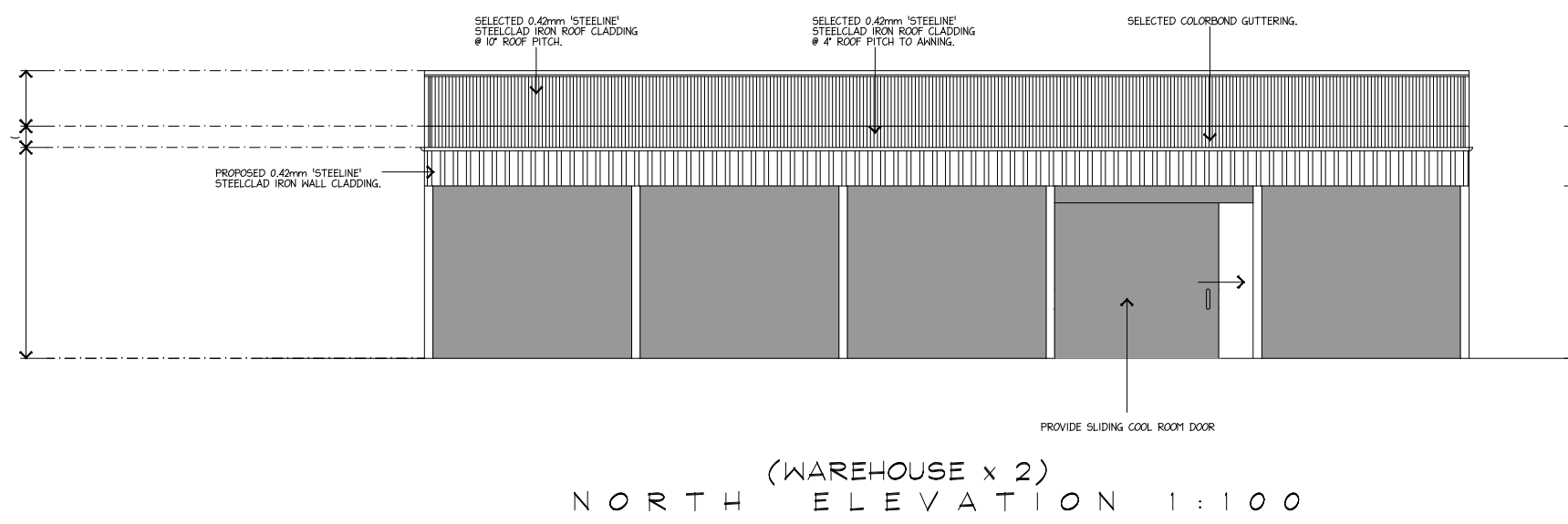
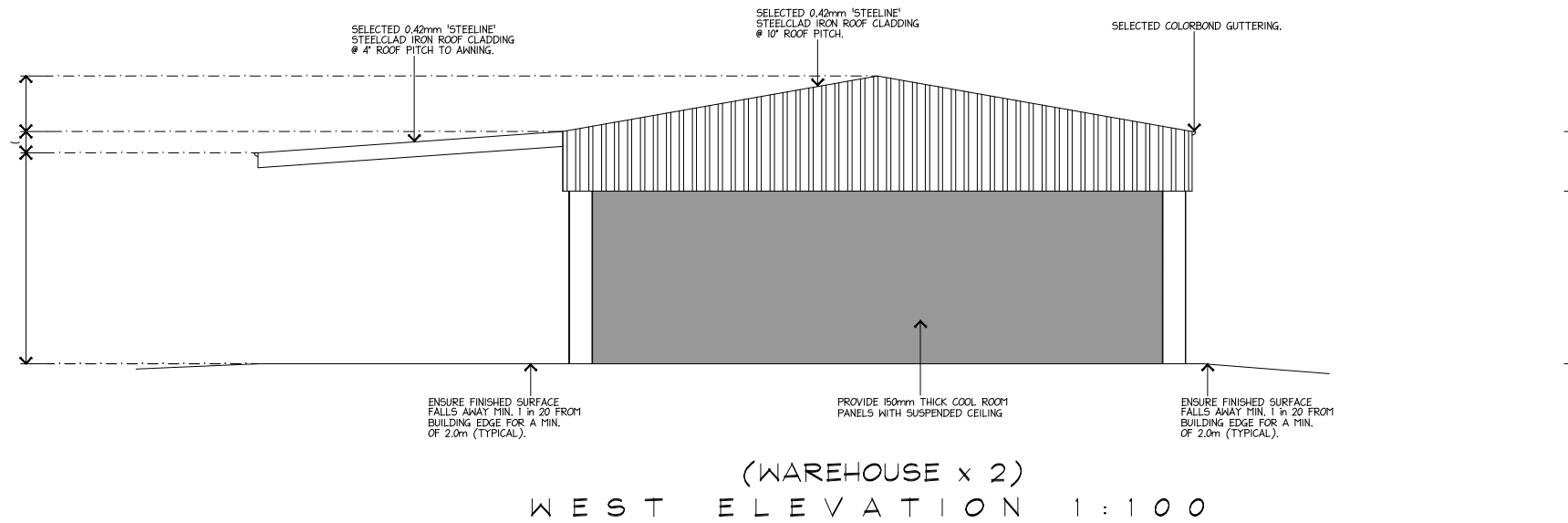
ADDRESS:
No. 24 CORBETT AVENUE, BURONGA, NSW

SCALE: AS SHOWN **DATE:** NOV '25

(D.A. APPROVAL ONLY)



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0438 210 139 0427 237 668
No. 5 Burns Street, Gol Gol, N.S.W. 2738
ABN: 43 634 027 464 DP No: AD 26770



(D.A. APPROVAL ONLY)

SHEET NO: 2 OF 7 **DRG NO:** MH2 2025-078

PROJECT:
PROPOSED 2 x WAREHOUSE COOL ROOMS

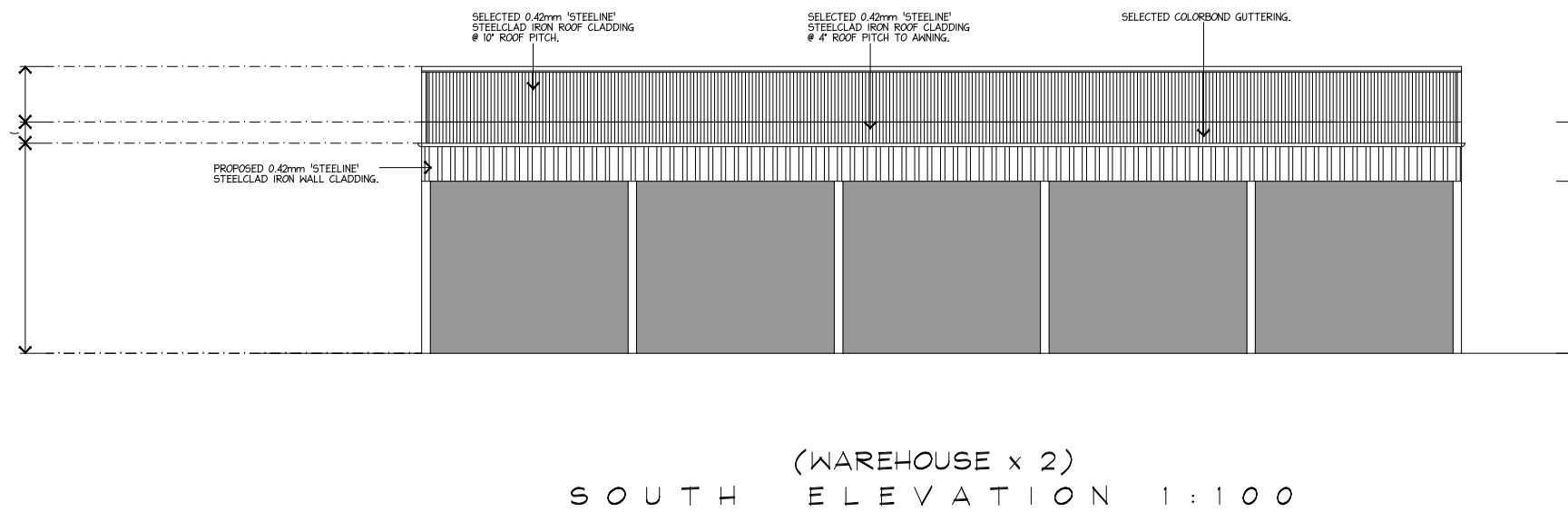
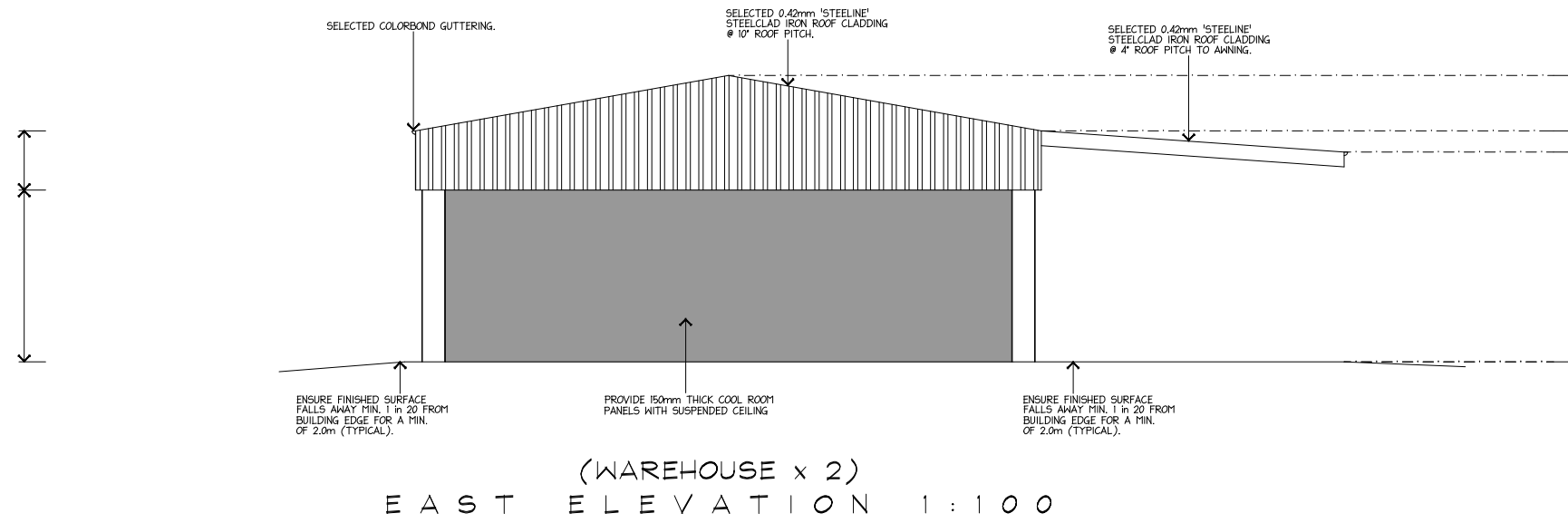
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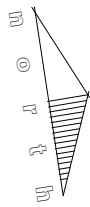
SHEET NO: 3 OF 7 **DRG NO:** MH2 2025-078

PROJECT:
PROPOSED 2 x WAREHOUSE COOL ROOMS

CLIENT:
PICKERING TRANSPORT

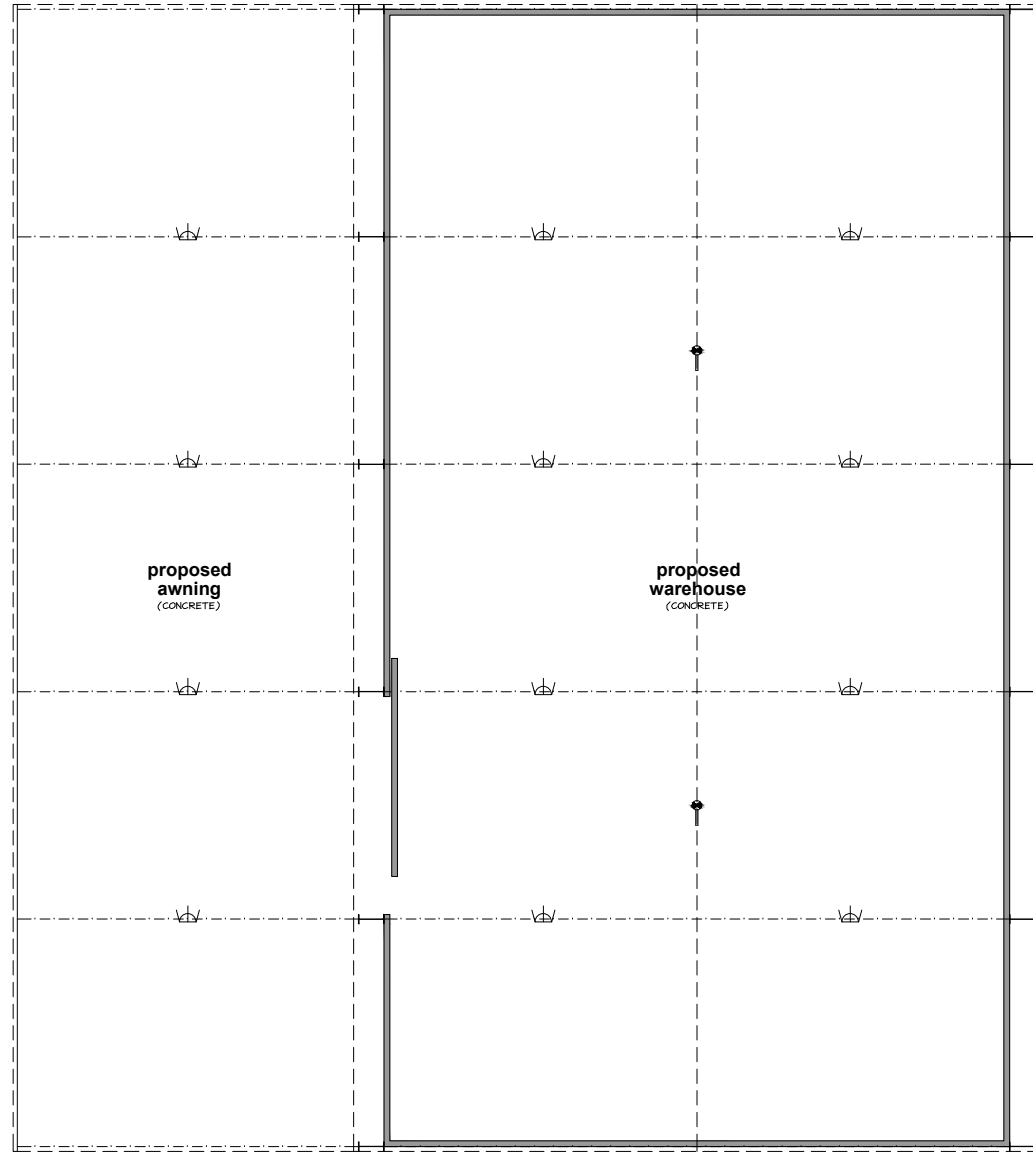
ADDRESS:
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SCALE: AS SHOWN **DATE:** NOV '25



NOTES:
 * LOCATION OF ALL ELECTRICAL POINTS ARE APPROXIMATE ONLY, AND ARE SUBJECT TO POSITION OF STRUCTURAL MEMBERS ON PLAN.

| LEGEND OF SYMBOLS | |
|-------------------|---|
| ○ | CEILING LIGHT BATTEN HOLDER |
| ☼ | LIGHT SENSOR |
| ⊙ | EXTERNAL LIGHT POINT |
| ⊙ | EXTERNAL SPOT LIGHT |
| ⊙ | THORN CHAMELEON TS 2x28 HF L840 K12 RECESSED T-BAR OR PLASTER LIGHT |
| ⊙ | THORN LED HIGH BAY LIGHT |
| ⊙ | EMERGENCY LIGHTING HARD-WIRED |
| × | SINGLE GPO |
| × | DOUBLE GPO |
| ⊙ | SINGLE GPO - EXTERNAL |
| ⊙ | DOUBLE GPO - EXTERNAL |
| ⊙ | SINGLE GPO - FOR SECURITY SYS. |
| ⊙ | CEILING EXHAUST FAN SWITCHED WITH LIGHT (SELF-SEALING) |
| ⊙ | SELF CLOSING CEILING EXHAUST FAN |
| ⊙ | SMOKE DETECTOR |
| ⊙ | TELEVISION COAXIAL POINT |
| ⊙ | HEATER/FAN/LIGHT - 2 GLOBE |
| ⊙ | HEATER/FAN/LIGHT - 4 GLOBE |
| 1200 | 1200 FLUORO - SINGLE |
| 1200 | 1200 FLUORO - DOUBLE |
| LED | LED SLIMLINE |
| ⊙ | 240 VOLT DOWNLIGHTS |
| ⊙ | LOW VOLTAGE DOWNLIGHTS |
| ⊙ | CEILING AIR DUCT |
| ⊙ | EVAPORATIVE COOLING DUCT |
| ⊙ | DATA OUTLET, WALL MOUNTED |
| ⊙ | TELEPHONE POINT |
| ⊙ | METER BOX |
| ⊙ | THERMOSTAT |
| ⊙ | CAPPED GAS POINT |
| ⊙ | SINGLE GPO - FOR DISHWASHER |
| ⊙ | SINGLE GPO - FOR COOKTOP AND RANGEHOOD |
| ⊙ | CEILING FAN WITH LIGHT |
| ⊙ | ELECTRIC HOT WATER SERVICE |



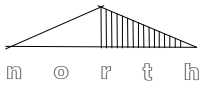
(WAREHOUSE x 2)
 REFLECTED 'GROUND FLOOR' CEILING PLAN
 / ELECTRICAL PLAN 1:100



(WAREHOUSE x 2)
 SLAB LAYOUT PLAN 1:100

(D.A. APPROVAL ONLY)
SHEET NO: 4 OF 7 **DRG NO:** MH2 2025-078
PROJECT:
 PROPOSED 2 x WAREHOUSE COOL ROOMS
CLIENT:
 PICKERING TRANSPORT
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 No. 24 CORBETT AVENUE, BURONGA, NSW
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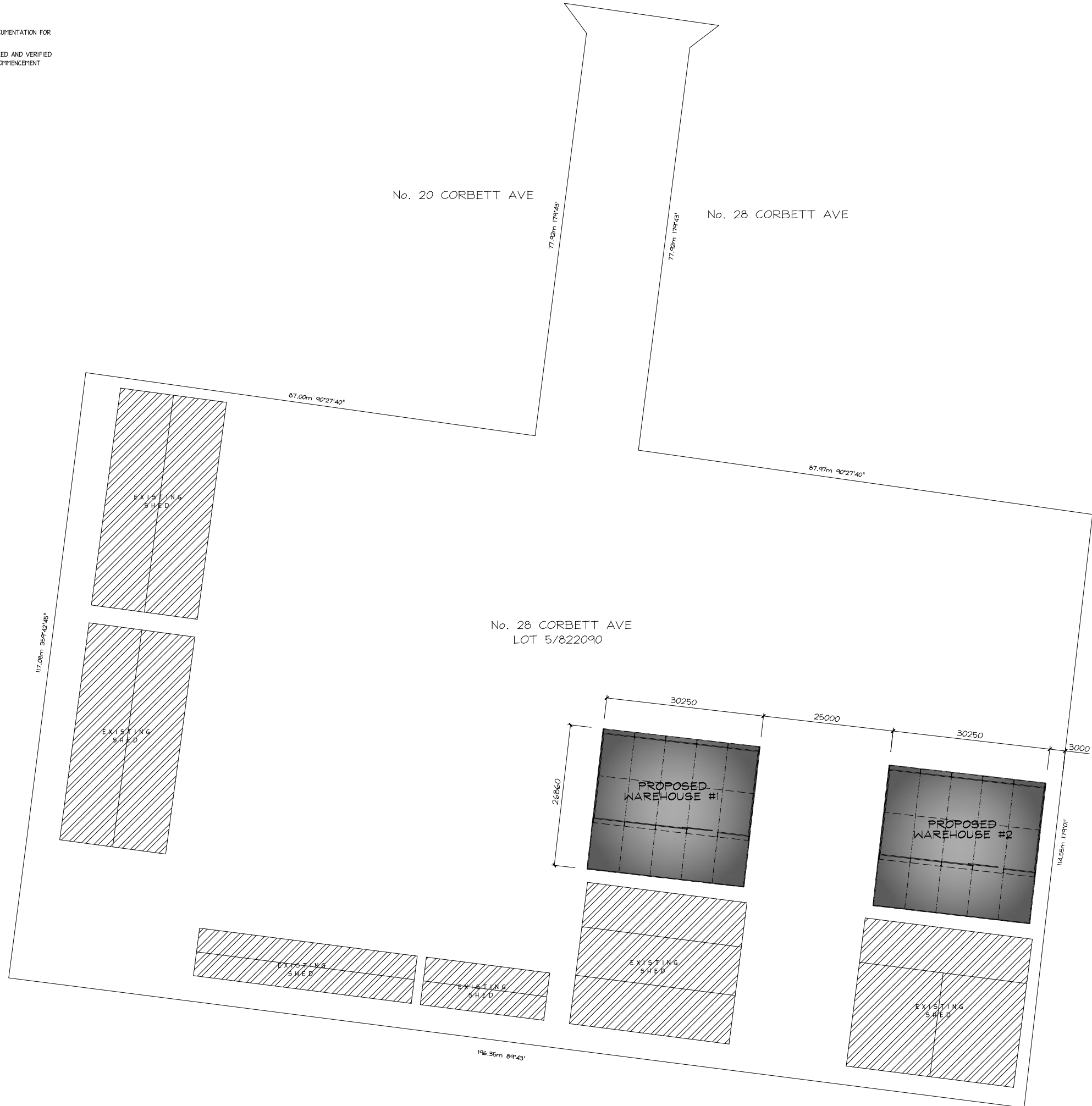


CORBETT AVENUE

SITE NOTES:

REFER TO ENGINEERS DOCUMENTATION FOR STORM WATER DESIGN

ALL LEVELS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.



(D.A. APPROVAL ONLY)

SHEET NO: 6 OF 7 **DRG NO:** MH2 2025-078

PROJECT:
PROPOSED 2 x WAREHOUSE COOL ROOMS

CLIENT:
PICKERING TRANSPORT

ADDRESS:
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CONSTRUCTION NOTES (NCC 16, BCA Vol 1)

SCOPE
THE WORK COVERED BY THE NORMAL SERVICES DOCUMENTS RELATES SPECIFICALLY TO THE DEFECTS LIABILITY PERIOD. THIS INCLUDES THE MANUFACTURE, SUPPLY, INSTALLATION, TESTING, COMMISSIONING AND SUBSEQUENT MAINTENANCE. DETAILS OF THE WORK ARE SPECIFIED IN THE ACCOMPANYING DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MANUFACTURED ITEMS, MATERIALS, LABOUR, CATALOGUE, TOOLS, PLANT, APPARATUS AND FIXINGS, AS WELL AS ALL OTHER INCIDENTAL WORK NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

AUTHORITY AND CODE COMPLIANCE
ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL WATER AUTHORITY. WORKS NOT COVERED BY THE STATUTORY AUTHORITIES REQUIREMENTS SHALL COMPLY WITH AS 2002 - PLUMBING AND DRAINAGE CODE.

MANUFACTURE REQUIREMENTS COMPLIANCE
ALL EQUIPMENT SHALL BE DELIVERED IN ACCORDANCE WITH THE SPECIFIC RECOMMENDATIONS OF THE MANUFACTURER, INCLUDING THE PROVISION OF ANCHORAGE OR SAFETY DEVICES DEEMED NECESSARY.

WORKMANSHIP
ALL REQUIRED WORK SHALL BE OF A HIGH STANDARD, AS ACCEPTED BY THE RESPECTIVE SPECIALIST TRADES. WHERE THE CONSULTANT CONSIDERS WORKMANSHIP IS NOT CONSISTENT WITH GOOD TRADE PRACTICE OR STANDARDS, OR THAT ANY PLANT IS DEFECTIVE OR DEFICIENT IN QUALITY TO THAT SPECIFIED, THE SUPERINTENDENT MAY GIVE NOTICE IN WRITING. THIS INCLUDES INSTANCES WHERE A PROGRESS PAYMENT MAY HAVE BEEN MADE FOR THE WORK. THE NOTICE WILL DETAIL THE DEFECT OR DEFICIENCY, SUPPORTED BY CONCLUSIVE EVIDENCE.

ANY REJECTED WORK OR MATERIALS SHALL BE REMOVED FROM SITE WITHIN 24 HOURS OF THE NOTICE. THE REJECTIVE WORK SHALL BE RECONSTRUCTED TO COMPLY WITH THE SPECIFIED REQUIREMENTS AT NO COST TO THE PROJECT. ALL SURFACES AND SERVICES DAMAGED OR DISTURBED DURING THE RECONSTRUCTION ARE TO BE EXECUTED WITH THE APPROPRIATE MATCHING MATERIALS AT THE CONTRACTORS EXPENSE.

SITE CLEARANCE
THE SITE AND PRELIMENTS SHALL BE KEPT CLEAR AND Tidy THROUGHOUT THE COURSE OF THE WORK AND ALL RUBBISH SHALL BE REMOVED REGULARLY. AT THE COMPLETION OF THE WORK, THE SITE AND COMPLETE INSTALLATION SHALL BE LEFT THOROUGHLY CLEAR.

COMPLIANCE CERTIFICATE
A CERTIFICATE OF COMPLIANCE IS TO BE ISSUED BEFORE THE DATE OF PRACTICAL COMPLETION. THE CERTIFICATE SHALL STATE THAT THE COMPLETED INSTALLATION COMPLIES WITH ALL SPECIFIED REQUIREMENTS, AS WELL AS THE RELEVANT AUSTRALIAN STANDARDS AND REGULATIONS.

ISOLATION VALVES
ALL ISOLATION VALVES WILL BE CLEARLY TAGGED IN AN ACCESSIBLE LOCATION.

TESTING
ALL PLUMBING AND DRAINAGE WORKS WILL BE CHECKED BY A REGISTERED AND APPROVED TESTING COMPANY ORGANISED BY THE CONTRACTOR. THE TESTING COMPANY WILL PROVIDE A TESTING PROGRAM CERTIFICATION OF INSPECTION/ APPROVAL THROUGHOUT ALL PHASES OF THE INSTALLATION TO THE SUPERVISING ARCHITECT.

CONTRACT DRAWINGS
ALL SERVICES AS INDICATED ON THE DRAWINGS ARE DIAGNOSTIC ONLY. NOT ALL DEFECTS AND CHANGES OF DIRECTION HAVE BEEN SHOWN. THE CONTRACTOR SHALL ALLOW ALL WORK AS REQUIRED TO OBTAIN APPROVAL. ANY ALTERATIONS REQUIRED TO APPROVEMENTS SHALL FIRST BE APPROVED PRIOR TO CONSTRUCTION AND SHALL NOT BE DEEMED A VARIATION UNLESS THE POSITION OF THE FIXTURES HAVE BEEN ALIGNED SUBSTANTIALLY IN LOCATION OR NUMBER. WHERE LEVELS SHOWN ON DESIGN DRAWINGS ARE GENERALLY INTERPRETED OR RECORDED FROM AS-BUILT OR PREVIOUS DESIGN DRAWINGS AND ARE NOT NECESSARILY ACCESSED BY SURVEY, IT IS THE CONTRACTORS RESPONSIBILITY TO ESTABLISH THE ACTUAL INVERT LEVEL OF THE POINT OF CONNECTION TO EXISTING PIPEWORK. BE TYPICAL OF EXISTING PIPEWORK OR PROPOSED ANY ACCESS THAT THE PIPE ROUTE AS SHOWN ON THE DRAWINGS CAN BE CONSTRUCTED TO CORRECT FALLS AND LEVELS PRIOR TO ORDERING MATERIALS OR CARRYING OUT ANY CONSTRUCTION WORKS.

LEVELS AND DIMENSIONS
ALL DIMENSIONAL LEVELS AND EXISTING SERVICES SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF WORK.

SET OUT
FOR THE CORRECT LOCATION AND SET-OUT OF FUTURES AND OTHER FITTINGS THAT REQUIRE CONNECTION, PLEASE REFER TO THE ARCHITECTURAL DRAWINGS.

SERVICE IDENTIFICATION
ALL CONDUIT AND PIPEWORK MUST HAVE IDENTIFICATION NUMBERS OR BANDS, SUCH AS THE "SAFETY ARM" OR OTHER APPROVED BANDS, IN ACCORDANCE WITH AS 1342.

SITE INSPECTION
THE CONTRACTOR SHALL CARRY OUT A THOROUGH INSPECTION OF THE SITE PRIOR TO TENDER, TAKING INTO CONSIDERATION ANY CONDITIONS THAT MAY HAVE AN EFFECT ON THE EXTENT OR PERFORMANCE OF THE CONTRACT.

MATERIALS GENERAL
ALL MATERIALS SHALL BE WATERMARK CERTIFIED AND APPROVED. WHEN JOINING METAL PIPE OR FITTINGS OF DISSIMILAR MATERIALS, MATERIALS WILL BE ISOLATED AGAINST GALVANIC CORROSION.

PIPE SUPPORTS, HANGERS AND BRACKETS
ALL PIPE SUPPORTS, HANGERS AND BRACKETS SHALL BE PROVIDED WITH APPROVED ACROSTIC MATED RUBBER MOUNT AND COATING AND BONDED TO THE CLIP. HANGERS TO BE INSTALLED AT ALL BENDS AND FITTINGS AND PIPEWORK SHALL NOT BE SUPPORTED FROM OTHER SERVICES. FINISHES SHALL ALLOW FOR THERMAL EXPANSION WHERE APPLICABLE.

WATER HAMMERS
ALL NECESSARY PRECAUTIONS MUST BE TAKEN BY THE CONTRACTOR TO PREVENT WATER HAMMERS WITHIN THE WATER SERVICES SYSTEMS. THE CONTRACTOR WILL RECTIFY ISSUES SHOULD THEY OCCUR.

PENETRATIONS
ALL PENETRATIONS THROUGH THE FIRE RATED WALLS AND FLOORS SHALL BE FIRE RATED WITH AN APPROVED FIRE SEALANT OR FIRE STOP COLLAR. PENETRATIONS TO BOTH EXISTING AND PROPOSED STRUCTURAL ELEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND TO THE SATISFACTION OF THE STRUCTURAL ENGINEER. PENETRATIONS TO EDGE BEAMS SHALL BE WATER SEALED TO PREVENT MOISTURE ENTRY BELOW SLAB.

DEFECTS LIABILITY PERIOD
THE CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST DEFECTS IN LABOUR, MATERIALS OR WORKMANSHIP FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF PRACTICAL COMPLETION. ANY DEFECTIVE MATERIALS OR WORKMANSHIP NOT CAUSED BY NORMAL WEAR AND TEAR THAT ARISE WITHIN THIS PERIOD WILL NEED TO BE COMPLETED TO THE APPROVAL OF THE SUPERINTENDENT WITHOUT COST AND WITH MINIMAL DEFERRENCE TO THE PROGRAM. ANY TIME DEFERRED OR DEFERRED DURING THE GUARANTEE PERIOD WILL OBTAIN A FURTHER TWELVE (12) MONTHS EXTENSION. THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF SEVEN (7) YEARS FROM THE DATE OF PRACTICAL COMPLETION.

OPERATION AND MAINTENANCE MANUALS
THE CONTRACTOR SHALL PROVIDE ONE HARD COPY AND THREE (3) DIGITAL COPIES OF APPROVED OPERATION AND MAINTENANCE MANUALS TO THE CLIENT PRIOR TO PRACTICAL COMPLETION. ONE (1) PRELIMINARY COPY SHALL BE PROVIDED TO THE HYDRAULIC CONSULTANT FOR REVIEW PRIOR TO CLIENT ISSUE. MANUALS SHALL CLEARLY LABELLED COMPLETE WITH TABLE OF CONTENTS AND SECTION HEADINGS. MANUALS SHALL INCLUDE: PROJECT DETAILS, DESCRIPTION OF WORKS, CONTACT DETAILS, PC COMPLIANCE CERTIFICATE, FIRE SERVICE INSPECTION AND TEST RESULTS, TECHNICAL DETAILS FOR MATERIALS, FITTINGS, TAPWARE AND FIXTURES INCLUDING WARRANTY INFORMATION, TESTING AND COMMISSIONING DETAILS, PREVENTATIVE MAINTENANCE REPORT, WORK AS EXECUTED DRAWINGS SHOWING ALL CHANGES AND DIMENSIONS FOR IN-GROUND SERVICES.

THE NOMINATED FIRE SERVICE TANK INSTALLATION CONTRACTOR SHALL BE REGISTERED AS COMMERCIAL BUILDERS LABOURERS (CB-10) OR WITHIN UNDER DIRECT SUPERVISION OF AN APPROPRIATELY QUALIFIED & REGISTERED BUILDING PRACTITIONER.

ALL FIRE SERVICE TANK OVERFLOW WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE FOR THE RELEVANT AUTHORITIES APPROVAL.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND SPECIFICATIONS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

MEASUREMENTS AND LEVELS IN MILLIMETERS UNLESS OTHERWISE STATED.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS, VERTICALS, LEVELS, SPECIFICATION AND OTHER RELEVANT DOCUMENTATION WILL BE CHECKED AND VERIFIED BY THE BUILDER AND SUBCONTRACTORS. THIS WILL TAKE PLACE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL DISCREPANCIES SHOULD BE REPORTED TO THIS OFFICE FOR CLARIFICATION.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

ALL STORM WATER DRAINS, SEWER PIPES ETC ARE TO BE CHECKED BY THE BUILDER AND SUBCONTRACTOR TO ENSURE THEIR LOCATION IS A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS. THIS IS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPING, WEAR AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF HIS ENGINEERING AND ARCHITECTURAL SERVICES (THE ENGINEER) FOR THE PURPOSES EXPRESSLY REFERRED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORIZATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS MUST BE ACCEPTED AND AGREED BY ALL PARTIES, AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE VARIATION.

ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF EXITS ARE TO BE ENCLOSED IN A METAL OR OTHER NON-COMBUSTIBLE CABINET WITH SMOKE PROOF DOORS. PROVIDE A MIN 2400MM DRY CHEMICAL FIRE EXTINGUISHER COMPLETE WITH EXTINGUISHER IDENTIFICATION SIGNAGE AS WITHIN 1.20M FROM THE SWITCHBOARDS.

GENERAL
ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL STATUTORY BODIES, CONTROLLING AUTHORITIES, THE BUILDING CODE OF AUSTRALIA, THE PLUMBING CODE OF AUSTRALIA PCA VOLUME 3 AND RELEVANT AUSTRALIAN STANDARDS SPECIFICALLY AS 3411 - FIRE RISER INSTALLATIONS AND AS 2441 - INSTALLATIONS OF FIRE HOSE REELS.

MATERIALS
MATERIALS LABOURERS SHOULD BE FORMED OF HEAVY WALL GALVANNEED STEEL PIPES WITH HOT DIPPED GALVANIZED ROLLED GROOVE COUPLINGS MANUFACTURED TO COMPLY WITH AS 2411.1 & AS 1074.

MATERIALS - BELOW GROUND
SHALL BE FORMED OF POLYETHYLENE (PE 100) 100 IN 1/4 IN BLUE STRIPE PRESSURE PIPE AND FITTINGS MANUFACTURED TO COMPLY WITH AS 4130 AS SUPPLIED BY ADVANCED PIPING SYSTEMS. PPE DIMENSIONS SHOWN ARE INTERNAL DIMENSIONS.

EXCAVATION
EXCAVATION, TRENCHING, BEDDING, SUPPORT AND BACKFILLING TO BE CARRIED OUT IN ACCORDANCE WITH AS 2302 - PLUMBING AND DRAINAGE CODE.

THRUST BLOCK
ALL PIPE BENDS, TEES ETC SHALL BE SECURED AGAINST MOVEMENT IN ANY DIRECTION WITH CONCRETE THRUST BLOCKS AND WELD STEEL RODS. THRUST BLOCKS SHALL BE MINIMUM 300MM CONCRETE. MASS OF CONCRETE BLOCK TO BE OF A SIZE DEPENDANT ON THE BEARING CAPACITY OF THE SOIL. PRESSURE TEST OF PIPE IS NOT TO BE CARRIED OUT UNTIL CONCRETE BLOCK IS CURED.

TESTING
ALL PERSONS TO BE INDEPENDENTLY TESTED BY A/FAPAR LISTED TESTER. ALL COMMISSIONING TESTS TO BE IN ACCORDANCE WITH AS 2419:2005.

AUTHORITIES LIST -
REGULATORY: WEST MORTON SHIRE COUNCIL
DRAINAGE AUTHORITY: WEST MORTON SHIRE COUNCIL
RELEVANT BUILDING SURVEYOR: WEST MORTON SHIRE COUNCIL
RELEVANT FIRE AUTHORITY: WEST MORTON SHIRE COUNCIL
RELEVANT ELECTRICAL SUPPLY AUTHORITY: ESSENTIA ENERGY

(D.A. APPROVAL ONLY)

SHEET NO: 7 OF 7 **DRG NO:** MH2 2025-078

PROJECT:
PROPOSED 2 x WAREHOUSE COOL ROOMS

CLIENT:
PICKERING TRANSPORT

ADDRESS:
No. 24 CORBETT AVENUE, BURONGA, NSW

SCALE: AS SHOWN **DATE:** NOV '25



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