

Reference: DA20250014

STATEMENT OF ENVIRONMENTAL EFFECTS

Lot 5 DP1014355, 14 Riverview Rise, Gol Gol NSW 2738

Proposal: Repair and Reconstruction of Existing Flood-Damaged Retaining Walls

Date: October 2025

1. Introduction

This Statement of Environmental Effects (SEE) accompanies a development application for the repair and reconstruction of existing flood-damaged retaining walls at 14 Riverview Rise, Gol Gol. The works will restore structural integrity and safety following the 2022 flood event. All activities will occur within the footprint of the existing retaining wall system on private land above the top of bank. The design, prepared by Tonkin Consulting (2025), incorporates erosion, sediment, and flood resilience measures to maintain slope stability and minimise environmental disturbance.

2. Site and Locality

The subject land, Lot 5 in Deposited Plan 1014355, is located on the northern side of Riverview Rise in the township of Gol Gol, within the Wentworth Local Government Area. The property adjoins the Murray River and forms part of an established R5 Large Lot Residential subdivision characterised by large allotments and landscaped river terraces. A licensed surveyor has verified that all works are located landward of the mapped top of bank. The lowest footing level is more than 1.5 metres above and approximately 8 metres horizontally from the river edge. The property is zoned R5 Large Lot Residential under the Wentworth Local Environmental Plan 2011 (LEP 2011) and is affected by mapped Riparian Lands, Terrestrial Biodiversity, and Wetlands layers.

3. Proposed Development

The application seeks approval for the like-for-like reconstruction and localised repair of existing timber sleeper retaining walls that were damaged during the 2022 flood event. The proposal includes two wall types approximately 0.6 metres and 1.6 metres in height. Each wall consists of red-gum or H5-treated hardwood sleepers between UC steel posts, supported by bored or driven piers designed in accordance with Tonkin Consulting's structural drawings. The proposed works maintain the existing wall alignment, height, and appearance. No additional excavation, fill, or structural elements extend below the natural top of bank or into the riparian corridor. Erosion and sediment controls, spoil containment, and vegetation protection measures will be implemented prior to and during construction.

4. Statutory Framework

Methodology for Determining 'Top of Bank' and 40-metre Waterfront Land Extent

The extent of waterfront land under section 91E of the Water Management Act 2000 was determined in accordance with NRAR's Guidelines for Controlled Activities on Waterfront Land (2023) and clause 2(1) of the Water Management (General) Regulation 2018.

The "top of bank" was identified as the point nearest to the Murray River where the ground slope becomes less than 1 vertical : 3 horizontal and continues at that lesser gradient for at least 10 metres.

Site-specific analysis used:

- Registered feature and level survey (AHD-referenced, 0.2 m contours);
- Identification of the break-of-slope from survey data;
- Measurement of horizontal offset between the top-of-bank line and lowest proposed works using CAD/GIS tools; and
- Verification against Council's flood and riparian mapping layers.

While the works are located on waterfront land as defined by section 91E of the Water Management Act 2000, all retaining-wall works are wholly landward of the surveyed top of bank, with no excavation or construction on the river bank or bed. As the proposal does not involve a controlled activity under the Act, a Controlled Activity Approval is not required. Accordingly, the development is not integrated development and may be assessed solely under the Environmental Planning and Assessment Act 1979 and the Wentworth LEP 2011.

The proposal is permissible with consent in the R5 Large Lot Residential zone under the Wentworth LEP 2011 and is consistent with the zone objectives, which seek to maintain residential amenity while preserving environmental and visual values. Relevant environmental planning instruments include SEPP (Resilience and Hazards) 2021, SEPP (Biodiversity and Conservation) 2021, SEPP (Transport and Infrastructure) 2021, and SEPP (Sustainable Buildings) 2022. All works occur wholly within the private allotment and above the top of bank. Therefore, no approval is required under the Water Management Act 2000 and the development is not integrated development under Section 4.46 of the Environmental Planning and Assessment Act 1979.

5. Assessment Against the Wentworth Local Environmental Plan 2011

The following table provides an assessment of the proposal against the relevant provisions of the Wentworth Local Environmental Plan 2011.

Clause	Objective / Control	Assessment and Compliance Comment
1.2 – Aims of the Plan	Promote sustainable management and conservation of land adjoining waterways.	The development reinstates existing retaining walls, maintaining slope stability and preventing erosion. The works conserve the riverine environment and uphold the scenic and ecological values of the Murray River corridor. Complies.

2.1–2.3 – Land-Use Zoning (R5)	Provide for large-lot housing and protect environmental and scenic qualities.	The site is zoned R5 Large Lot Residential. The works maintain existing use and improve safety and stability without intensifying development. Consistent with zone objectives. Complies.
5.9 – Buildings Affected by Natural Disaster	Enable lawful rebuilding of structures damaged by natural events within five years.	The 2022 flood event damaged the existing walls. Reconstruction occurs within five years and restores lawful structures consistent with the clause. Complies.
5.21 – Flood Planning	Ensure development is compatible with flood hazard and maintains flood function.	Wall crest levels (36.5–42.8 m AHD) are above the 1% AEP flood level from the 2022 event. The works will not alter flood conveyance or storage and will enhance stability. The 1 % AEP flood level for this reach of the Murray River is approximately RL 40.3 m AHD. All retaining-wall crest levels (ranging from 36.5 m to 42.8 m AHD) are at or above this level, ensuring that the development does not affect flood storage or conveyance capacity and maintains flood resilience for the site. Complies.
7.6 – Development on River-Front Areas	Protect the visual, ecological and geomorphological qualities of river-front land.	The reconstructed walls maintain the landscaped terrace form using red-gum sleepers and galvanised steel uprights. Minimal visual impact from the river. Complies.
7.7 – Riparian Land and Murray River	Protect riparian vegetation and water quality.	Works are above the top of bank; no vegetation removal required. Erosion and sediment controls will protect downstream water quality. Complies.

7.8 – Development on River Bed and Banks	Prevent works that disturb the bed or banks of the Murray River.	No portion of works extends into the river bed or bank. No Controlled Activity Approval under the Water Management Act 2000 required. Complies.
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6. Assessment Against the Wentworth Development Control Plan (Wentworth DCP – Part C1 Riverbank Protection)

The proposal is consistent with the objectives and provisions of the Wentworth Development Control Plan (DCP). Earthworks are confined to the existing footprint and will not alter the natural topography. An erosion and sediment control plan will be implemented and maintained for the duration of the works. Drainage patterns will remain unchanged, and disturbed areas will be reinstated with turf and mulch. The proposal satisfies Part C1 Riverbank Protection objectives by retaining natural finishes and ensuring no encroachment below the top of bank.

7. Environmental Impact Assessment (EP&A Act Section 4.15)

The development has been assessed against the matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979. The proposal complies with all relevant environmental planning instruments. It will have negligible environmental impact, maintain visual character, and improve flood resilience. The site is suitable for the development, and the works are in the public interest as they support slope stability, safety, and environmental protection.

8. Consultation and Notification

Consultation will be limited to adjoining owners under Council’s standard notification procedures. Essential Energy will be consulted to confirm any required clearance for construction equipment. No referrals to State agencies are required.

9. Mitigation and Management Measures

To ensure environmental protection and site compliance, the following management measures will be implemented during construction:

- Works confined to the existing retaining wall footprint and alignment.
- Erosion and sediment controls installed prior to any excavation.
- Vegetation and tree roots retained and protected.
- No material storage or stockpiling within 20 metres of drainage lines.
- All spoil and removed timber disposed of at a licensed facility.
- A spill-response kit maintained on-site at all times.
- Unexpected-finds and geotechnical-validation procedures followed in accordance with relevant standards.

10. Conclusion

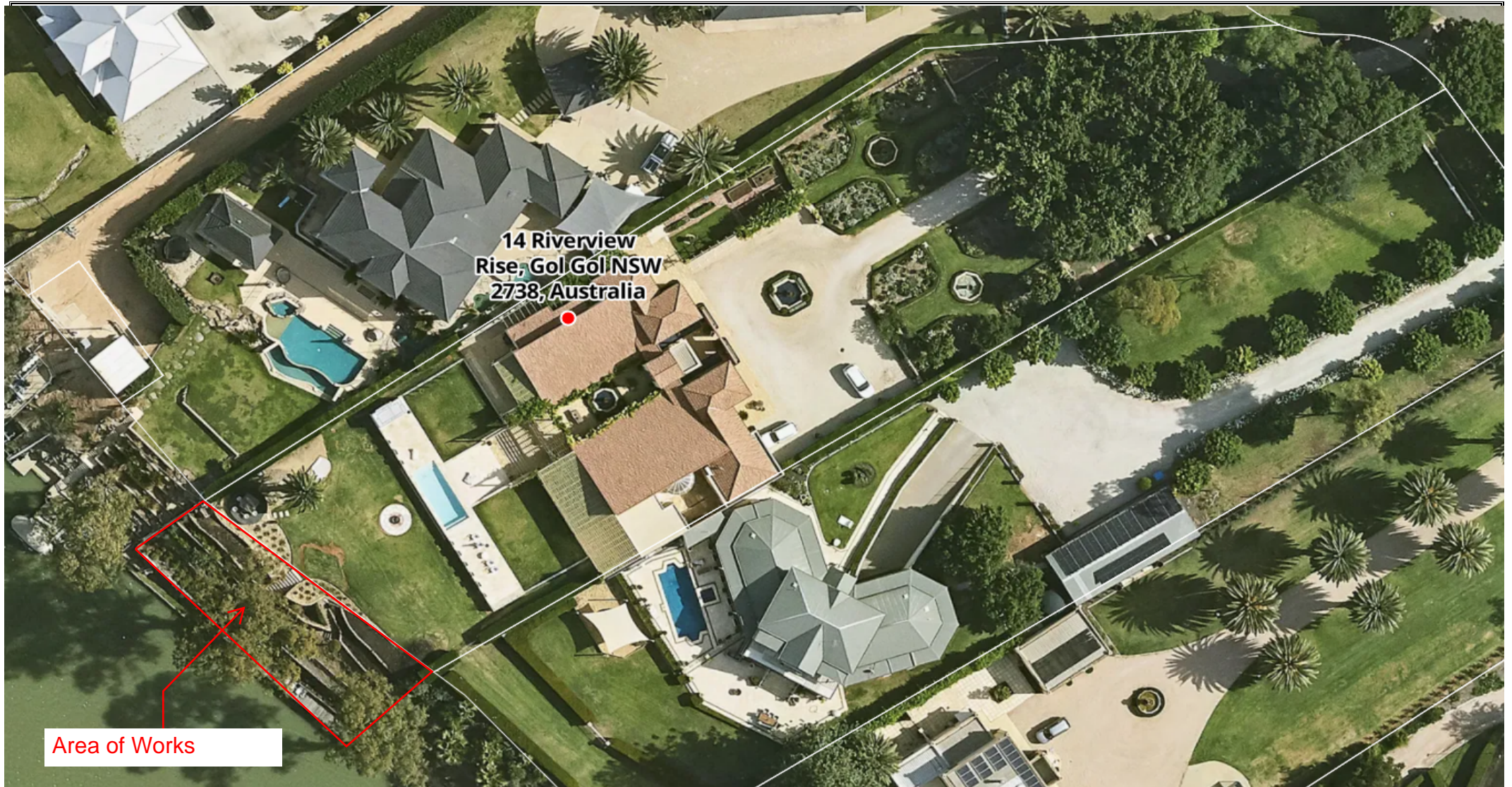
The proposed repair and reconstruction of existing flood-damaged retaining walls at 14 Riverview Rise represent essential maintenance of existing residential infrastructure. The development maintains the visual and environmental character of the Murray River frontage, improves flood resilience, and complies with the relevant provisions of the Wentworth LEP 2011, Wentworth DCP, and SEPP (Resilience and Hazards) 2021. The proposal poses negligible environmental risk and is recommended for approval.



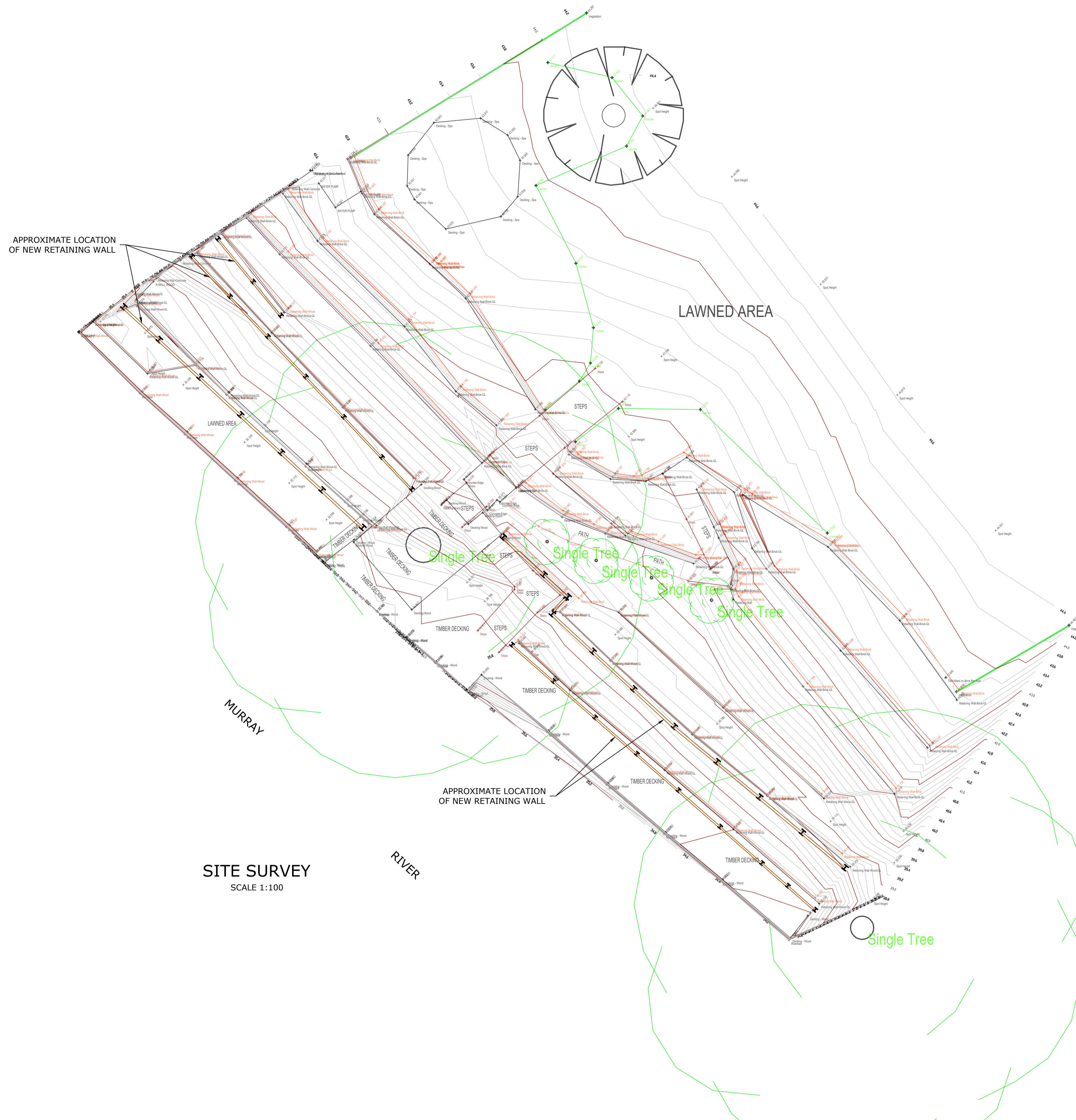
Brent. A Williams

Managing Director

C.P.P | M.P.I.A | M.A.I.B.S



Proposed Works:	Owner:	Builder:	Site Plan:
14 Riverview Rise, Gol Gol NSW			Not to Scale



DRIVEN PILE WALL SCHEDULE			
HEIGHT H (mm)	EMBEDMENT E (mm)	UPRIGHT @ 2400 CTS. MAX.	RED GUM SLEEPERS
600	2000	150UC23	200 x 75 SLEEPER
1600	5000	200UC46	200 x 100 SLEEPER
1600	3000	200UC46 + 600x16 PLATE	200 x 100 SLEEPER

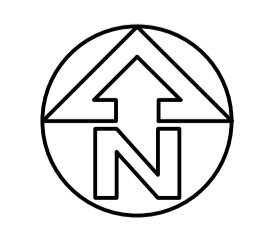
BORED PIER WALL SCHEDULE				
HEIGHT H (mm)	PIER DIA B (mm)	PIER DEPTH D (mm)	UPRIGHT @ 2400 CTS. MAX.	RED GUM SLEEPERS
600	450	1200	150UC23	200 x 75 SLEEPER
1600	600	3000	200UC46	200 x 100 SLEEPER

SITE SURVEY
SCALE 1:100

100mm ON ORIGINAL DRAWING - DO NOT SCALE DRAWING

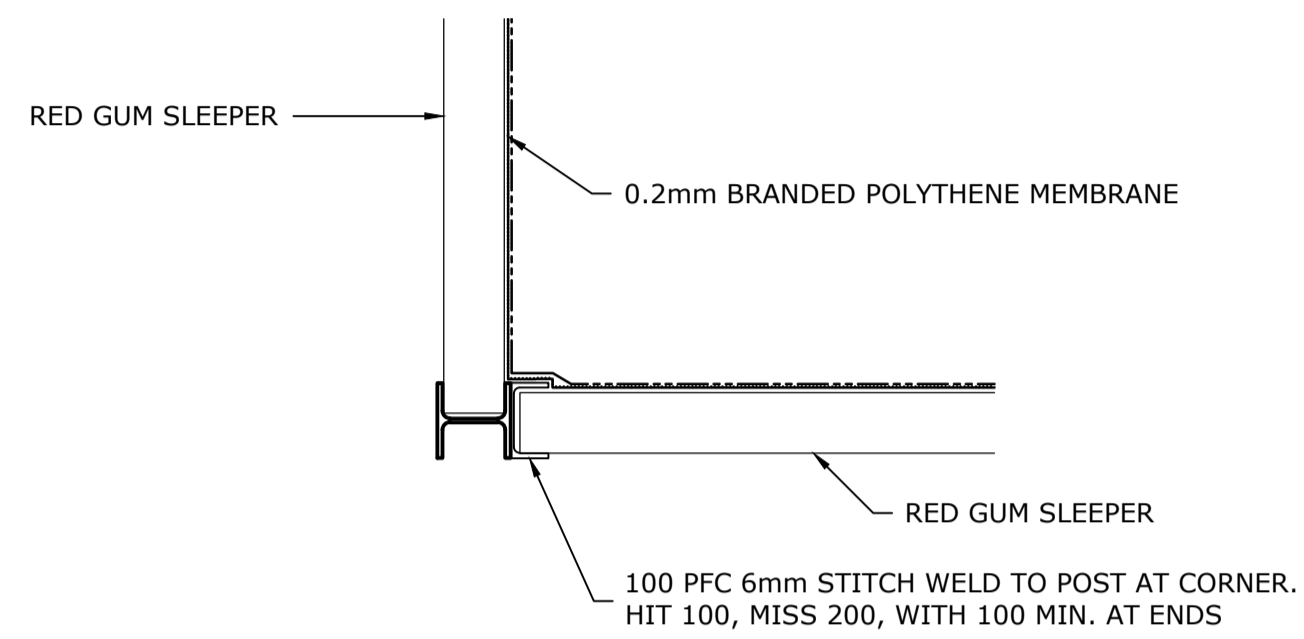
SHEET SIZE
A1

COORDS:				
DATUM:	ALL LEVELS TO A.H.D.			
SCALE:				
SURVEYED:-				
SURVEY DATE:-				
APPROVED / PROJECT LEADER	ANDREW SEATON-STEWART			
REV	ISSUED FOR CONSTRUCTION	20.10.25	J.Y.	N.G.A.
A	PRELIMINARY ISSUE	08.10.25	J.Y.	N.G.A.
	AMENDMENT / REASON FOR ISSUE	DATE	DES.	DWN.



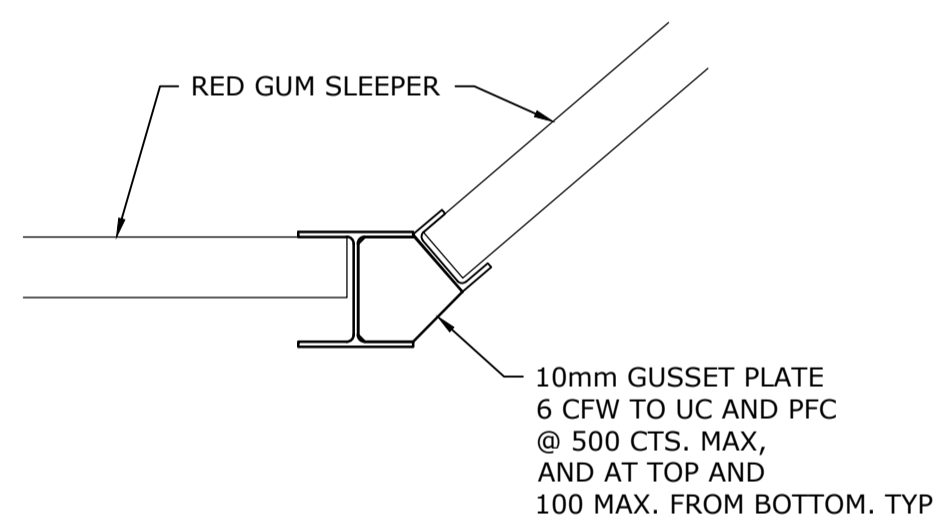
ISSUED FOR CONSTRUCTION
 ELDERS INSURANCE - QBE INSURANCE AUST. LTD
 PROPOSED RETAINING WALLS
 14 RIVERVIEW RISE. GOL GOL
 PLAN LAYOUT

FILENAME:	251449 [0].DWG	PROJECT NUMBER	251449	DRAWING NUMBER	02	REVISION	0
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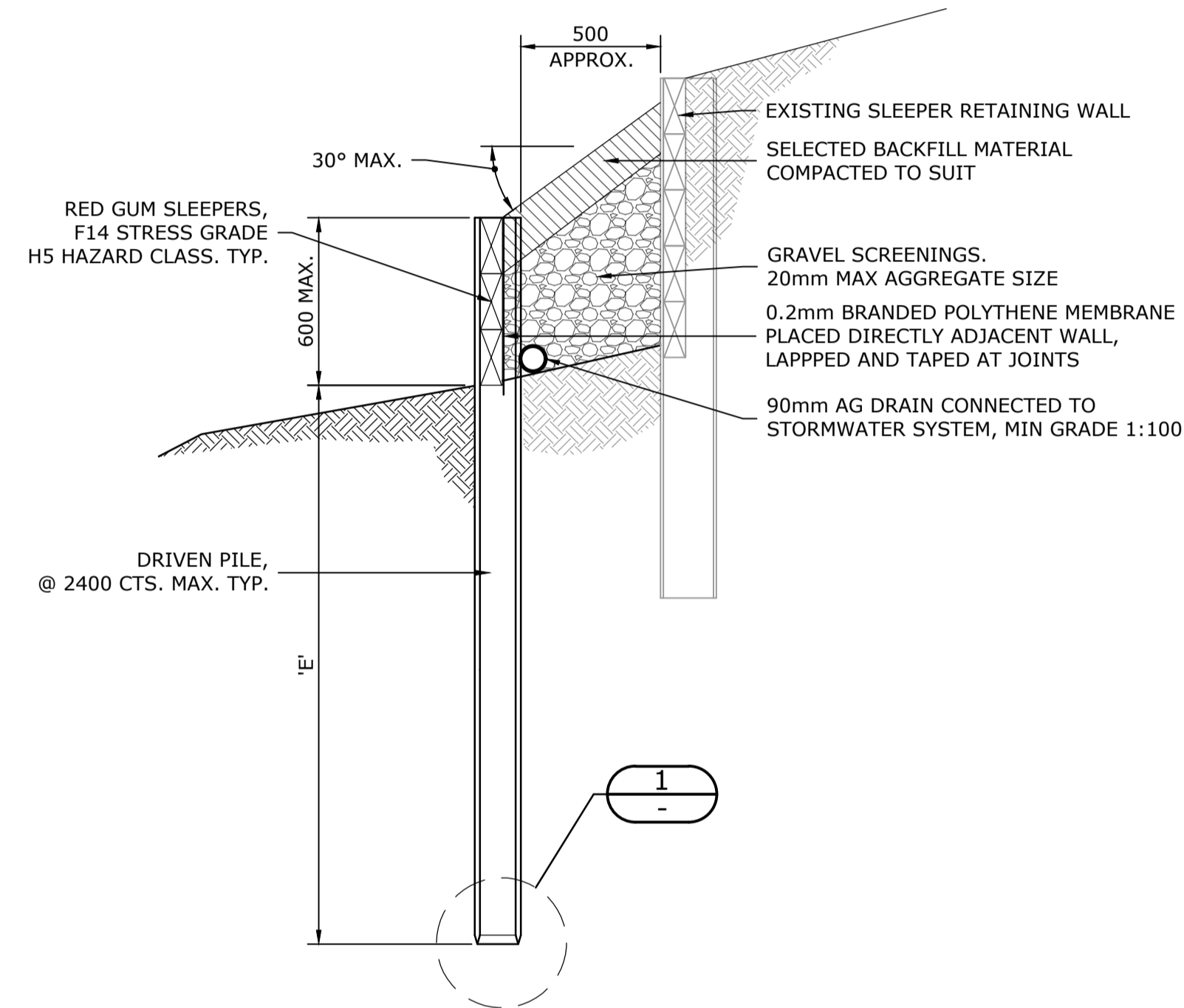
TYPICAL RETAINING WALL CORNER POST

PLAN
SCALE 1 : 10



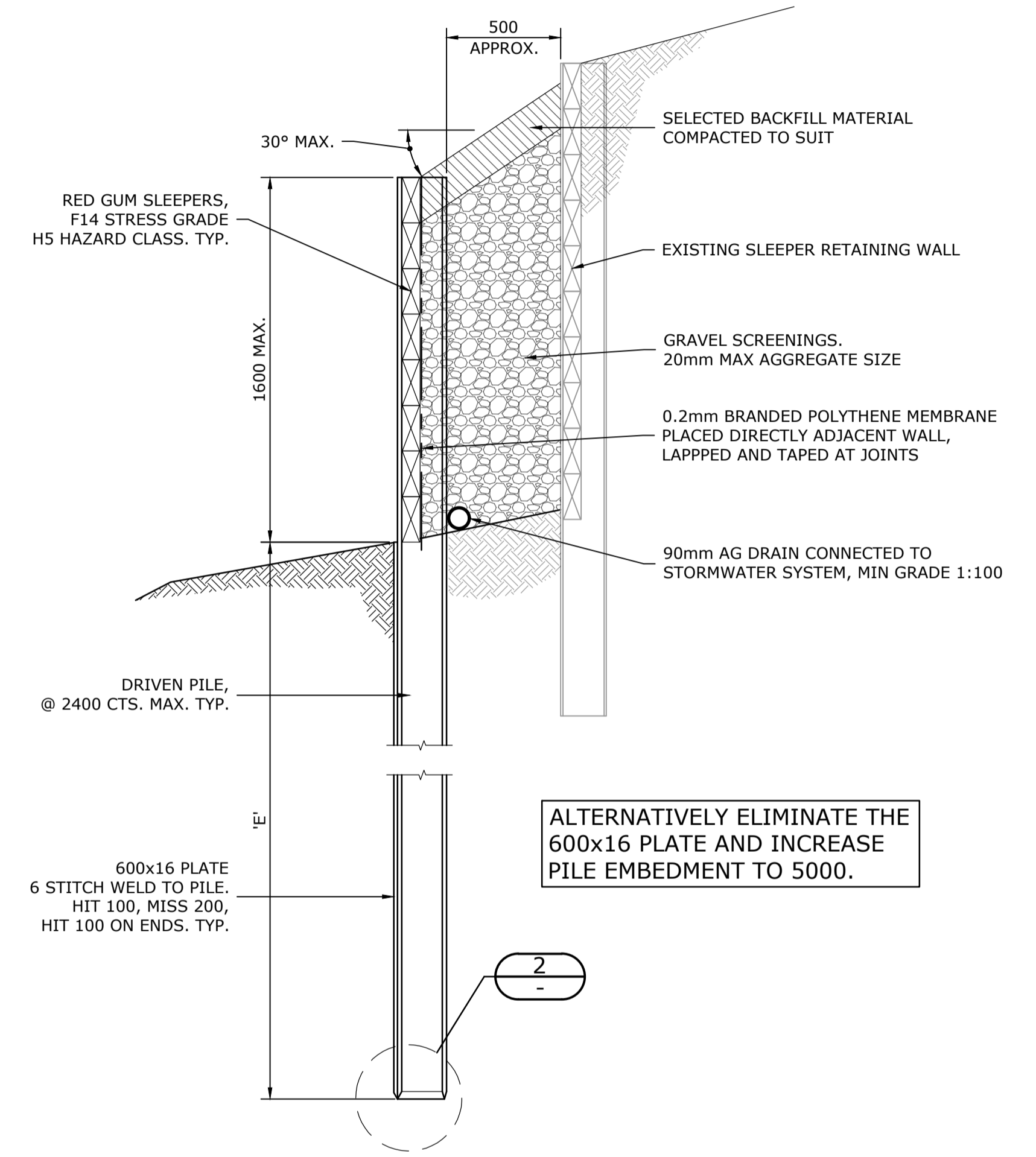
TYPICAL RETAINING WALL POST AT CHANGE OF DIRECTION

PLAN
SCALE 1 : 10



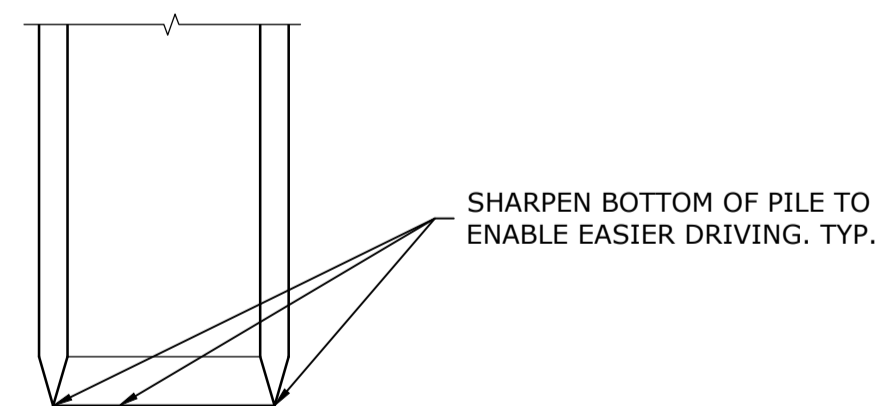
TIMBER SLEEPER RETAINING WALL (600 HIGH)

ELEVATION
SCALE 1 : 20

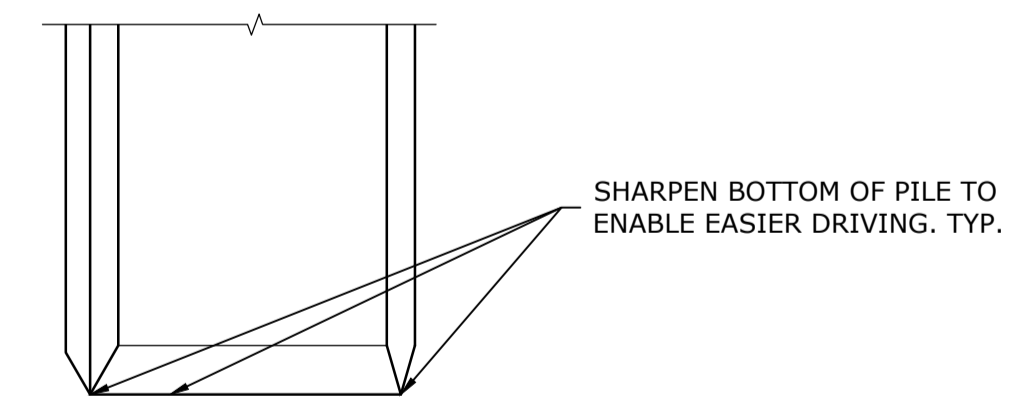


TIMBER SLEEPER RETAINING WALL (1600 HIGH)

ELEVATION
SCALE 1 : 20



DETAIL 1
SCALE 1:5



DETAIL 2
SCALE 1:5

SHEET SIZE
A1

100mm ON ORIGINAL DRAWING - DO NOT SCALE DRAWING

COORDS:					
DATUM:	ALL LEVELS TO A.H.D.				
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SURVEYED:-					
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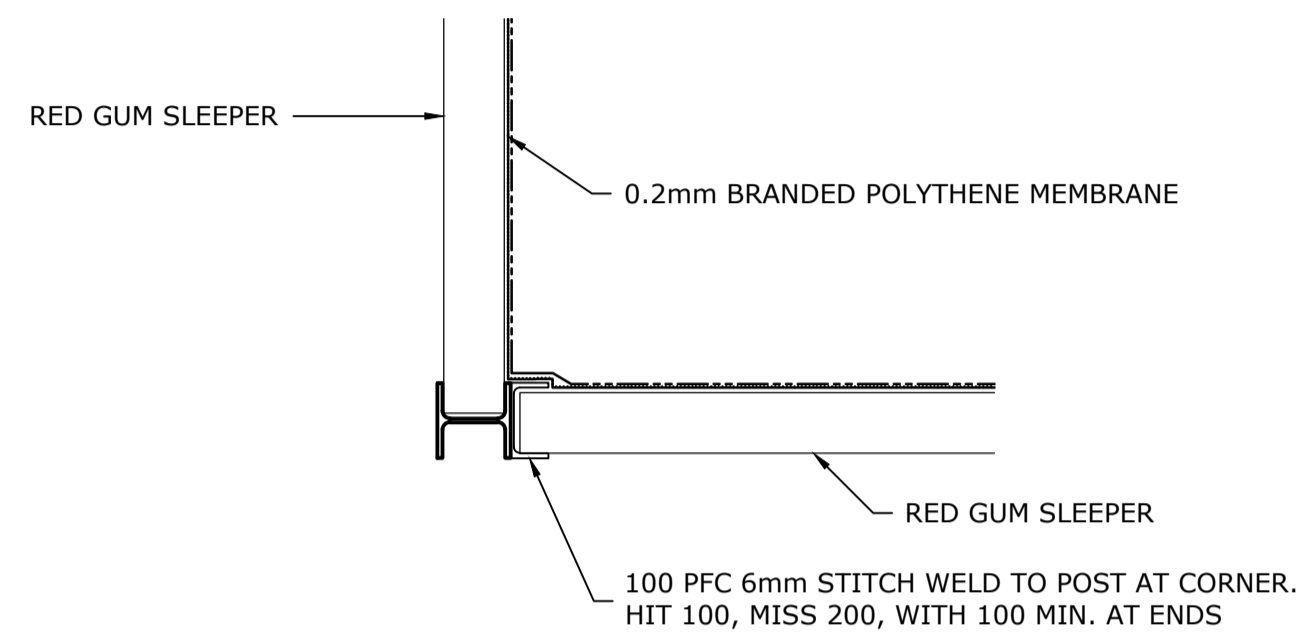


ISSUED FOR CONSTRUCTION

ELDERS INSURANCE - QBE INSURANCE AUST. LTD

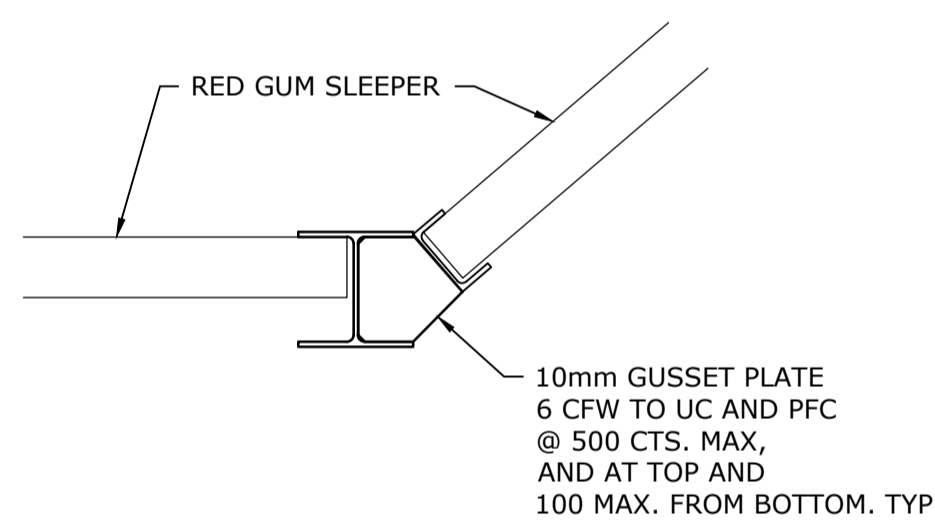
PROPOSED RETAINING WALLS
14 RIVERVIEW RISE. GOL GOL
DRIVEN PILE RETAINING WALL SECTION DETAILS

FILENAME:	PROJECT NUMBER	DRAWING NUMBER	REVISION
251449 [0].DWG	251449	03	0



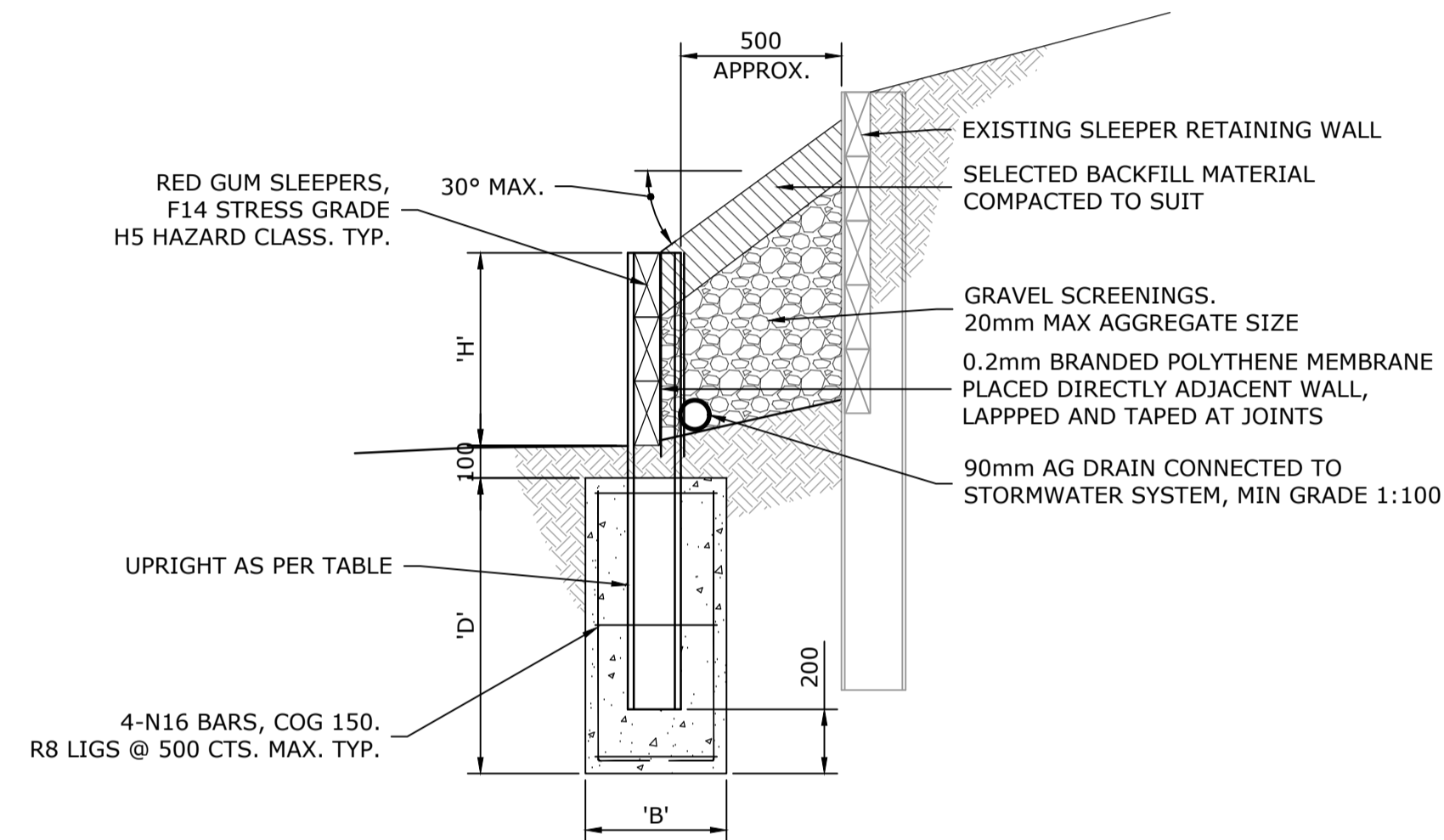
TYPICAL RETAINING WALL CORNER POST

PLAN
SCALE 1 : 10



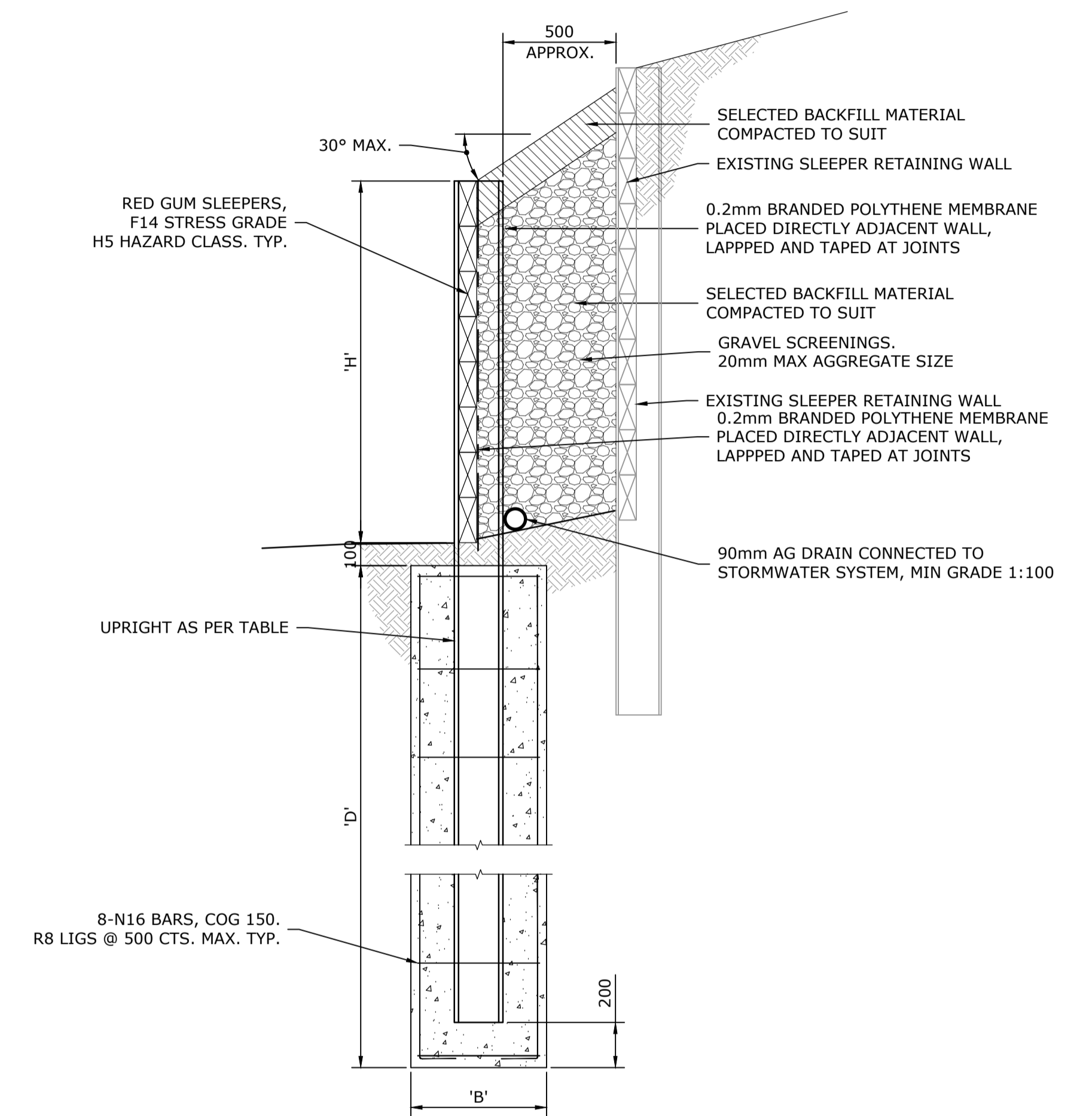
TYPICAL RETAINING WALL POST AT CHANGE OF DIRECTION

PLAN
SCALE 1 : 10



TIMBER SLEEPER RETAINING WALL (600 HIGH)

ELEVATION
SCALE 1 : 20



TIMBER SLEEPER RETAINING WALL (1600 HIGH)

ELEVATION
SCALE 1 : 20

SHEET SIZE
A1

100mm ON ORIGINAL DRAWING - DO NOT SCALE DRAWING

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SCALE:					
SURVEYED:-					
SURVEY DATE:-					
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