

Reference: DA20250020

STATEMENT OF ENVIRONMENTAL EFFECTS

Lot 2 DP1280364, 4 Carramar Drive, Gol Gol NSW 2738

1. Introduction

This Statement of Environmental Effects (SEE) accompanies a Development Application to Wentworth Shire Council for the construction of a new single-storey dwelling with attached garage, alfresco area, and a detached steel-clad shed at Lot 2 DP1280364, 4 Carramar Drive, Gol Gol.

The SEE demonstrates compliance with the Environmental Planning and Assessment Act 1979, the Wentworth Local Environmental Plan 2011 (Wentworth LEP 2011), the Wentworth Development Control Plan 2011 (Wentworth DCP 2011), and the applicable State Environmental Planning Policies including:

- SEPP (Sustainable Buildings) 2022
- SEPP (Resilience and Hazards) 2021 – Flood Planning
- SEPP (Exempt and Complying Development Codes) 2008
- SEPP (Primary Production), SEPP (Transport and Infrastructure), SEPP (Industry and Employment), and others applying to the site.

This SEE also addresses BASIX Certificate 1805304S (23 July 2025), NatHERS Certificate FSMF4IPTEV-01 (7.2 Star), Energy Report MER-025-013, and Positive Covenant AR941391 applying to the land.

2. Site Details

- Property: Lot 2 DP1280364, 4 Carramar Drive, Gol Gol NSW
- Zoning: RU5 – Village (Wentworth LEP 2011)
- Land Area: 1,374 m²
- Existing Use: Vacant residential allotment
- Easements: 4.0 m drainage easement; 3.0 m sewer easement
- Flood Controls: Flood Planning Area (SEPP Resilience & Hazards 2021)
- Local Aboriginal Land Council: Dareton
- No heritage, biodiversity or vegetation constraints.

3. Description of the Proposal

The proposal involves:

- Construction of a single-storey four-bedroom dwelling
- Attached double garage
- Covered alfresco area

- Construction of a detached 12 m × 9 m steel shed
- Site preparation, stormwater and sewer connection, driveway construction, and landscaping
- Implementation of BASIX thermal and energy commitments
- Construction in accordance with NatHERS Energy Report MER-025-013 (7.2-star rating).

The dwelling adopts a contemporary rural-residential character consistent with Carramar Drive and the existing subdivision pattern.

4. Statutory Planning Assessment

4.1 Wentworth LEP 2011

Clause 2.1 – RU5 Village Zone

Single dwellings and ancillary structures are permitted with consent. The proposal supports low-impact village residential development. ✓ Complies.

Clause 4.1A – Minimum Lot Size

Subject lot: 1,374 m² (minimum 400 m²). ✓ Complies.

Clause 4.3 – Height of Buildings

The LEP does not prescribe a mapped maximum height; however, DCP applies 8.5 m. Proposed dwelling height: 5.67 m. ✓ Complies.

Clause 5.10 – Heritage

No heritage items or conservation areas affect the site. ✓ Complies.

Clause 5.21 – Flood Planning

A Positive Covenant (AR941391) requires minimum habitable FFL = 40.35 m AHD.

- Proposed dwelling FFL: 40.486 m AHD ✓
- Garage FFL: 40.400 m AHD (non-habitable)
- Shed FFL: 40.436 m AHD (non-habitable)

The dwelling exceeds minimum FFL. ✓ Complies.

Clause 7.1 – Earthworks

Minor site works. Sediment controls will be installed.

Clause 7.2 – Essential Services

All essential services (water, sewer, stormwater, electricity, vehicular access) are available. ✓ Complies.

4.2 State Environmental Planning Policies

The proposal has been reviewed against the applicable SEPPs:

- SEPP (Sustainable Buildings) 2022 – BASIX compliance demonstrated.
- SEPP (Resilience & Hazards) 2021 – Site within Flood Planning Area; FFL requirements satisfied.
- SEPP (Exempt & Complying Codes) 2008 – Not applicable to this DA but confirms general residential standards.
- SEPP (Transport, Industry & Employment, Primary Production) – No conflict.
- SEPP (Planning Systems) – Procedural only.

5. Assessment Against Wentworth DCP 2011

- Front setback: 7.0 m (minimum 6.0 m) ✓
- Side setbacks: 1.6–2.0 m (minimum 1.5 m) ✓
- Rear setback: >6 m (minimum 3 m) ✓
- Building height: 5.67 m (maximum 8.5 m) ✓
- Site coverage: 28% (maximum 50%) ✓
- Private open space: 368 m² (minimum 60 m²) ✓
- Car parking: 2 compliant spaces ✓

The development fully complies with all applicable DCP controls.

6. BASIX and Energy Compliance

6.1 BASIX Certificate 1805304S

BASIX Scores:

- Water: 2 (Target 0)
- Energy: 69 (Target 68)
- Thermal Performance: Pass

Key BASIX Commitments:

- ≥250 m² indigenous/low-water-use landscaping
- Total garden area ≤550 m²
- 4-star showerheads
- 5-star taps and toilets
- Electric heat pump HWS (21–25 STCs)
- 3-phase air-conditioning to living & bedroom zones
- 80% LED lighting
- Natural lighting to 3 bathrooms
- Exhaust fans ducted to external air
- Day/night zoning
- Fixed outdoor clothesline

6.2 NatHERS 7.2-Star Energy Rating

NatHERS Certificate FSMF4IPTEV-01 confirms a 7.2-star thermal performance rating.

Energy efficiency features include:

- Double-glazed aluminium windows
- R2.5 wall insulation
- R6.0 ceiling insulation (R3.0 to perimeter edge)
- Reflective sarking
- Light roof colour (Surfmist – SA 0.33)
- Slab-on-ground construction
- Sealed ceiling penetrations
- Ceiling fans to bedrooms and living area

Construction will be undertaken in accordance with:

- NatHERS Certificate FSMF4IPTEV-01
- Energy Report MER-025-013

7. Flood Planning and Positive Covenant

The land is within a Flood Planning Area under SEPP (Resilience & Hazards) 2021. Positive Covenant AR941391 requires a minimum habitable FFL of 40.35 m AHD.

The proposed dwelling FFL of 40.486 m AHD exceeds this requirement. Non-habitable structures (garage, shed) are permitted to sit below the habitable FFL.

Stormwater will be directed to the legal point of discharge via existing 4 m and 3 m easements.

8. Environmental and Servicing Considerations

- The site is cleared and contains no biodiversity or heritage constraints.
- No native vegetation removal required.
- Stormwater drains to the legal point within the existing easement.
- Erosion and sediment controls will be implemented during construction.
- Adequate separation from neighbours ensures no overshadowing, privacy or acoustic impacts.

9. Section 4.15 Assessment (EP&A Act 1979)

- (a) Planning instruments – The development complies with LEP, DCP, SEPPs, BASIX and NatHERS.
- (b) Environmental impacts – Minimal and manageable.
- (c) Suitability of site – Fully serviced residential lot; flood requirements satisfied.
- (d) Submissions – No unreasonable impacts.
- (e) Public interest – Supports orderly and economic use of serviced village land.

10. Conclusion

The proposed dwelling and shed:

- Comply with all relevant planning controls
- Meet all BASIX and NatHERS requirements
- Exceed minimum flood safety requirements
- Achieve high residential amenity with no adverse impacts

Approval is therefore recommended, subject to standard conditions of consent.



Brent. A Williams

Managing Director

C.P.P | M.P.I.A | M.A.I.B.S

BASIX REQUIREMENTS:

LANDSCAPE

THE APPLICANT MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THROUGHOUT 250 SQUARE METRES OF THE SITE.

FIXTURES

THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR (→ 4.5 BUT ← 6 L/MIN PLUS SPRAY FORCE AND/OR COVERAGE TESTS) IN ALL SHOWERS IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 5 STAR IN EACH TOILET IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM RATING OF 5 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BASIN TAPS WITH A MINIMUM RATING OF 5 STAR IN EACH BATHROOM IN THE DEVELOPMENT.

THERMAL COMFORT COMMITMENTS

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH ALL THERMAL PERFORMANCE SPECIFICATIONS SET OUT IN THE ASSESSOR CERTIFICATE, AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR A COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THOSE SPECIFICATIONS.

THE APPLICANT MUST CONSTRUCT THE FLOORS AND WALLS OF THE DWELLING IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE BASIX REPORT.

HOT WATER

THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT, OR A SYSTEM WITH A HIGHER ENERGY RATING. ELECTRIC HEAT PUMP WITH A PERFORMANCE OF 21 TO 25 STCS OR BETTER.

COOLING SYSTEM

THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEM, OR A SYSTEM WITH A HIGHER ENERGY RATING, IN AT LEAST 1 LIVING AREA: 3-PHASE AIRCONDITIONING; ENERGY RATING: EER 3.0 - 3.5.

THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEM, OR A SYSTEM WITH A HIGHER ENERGY RATING, IN AT LEAST 1 BEDROOM: 3-PHASE AIRCONDITIONING; ENERGY RATING: EER 3.0 - 3.5.

THE COOLING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS.

HEATING SYSTEM

THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM, OR A SYSTEM WITH A HIGHER ENERGY RATING, IN AT LEAST 1 LIVING AREA: 3-PHASE AIRCONDITIONING; ENERGY RATING: EER 3.0 - 3.5.

THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM, OR A SYSTEM WITH A HIGHER ENERGY RATING, IN AT LEAST 1 BEDROOM: 3-PHASE AIRCONDITIONING; ENERGY RATING: EER 3.0 - 3.5.

THE HEATING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS.

VENTILATION

THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:

AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF

KITCHEN: INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF

LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY; OPERATION CONTROL: N/A

ARTIFICIAL LIGHTING

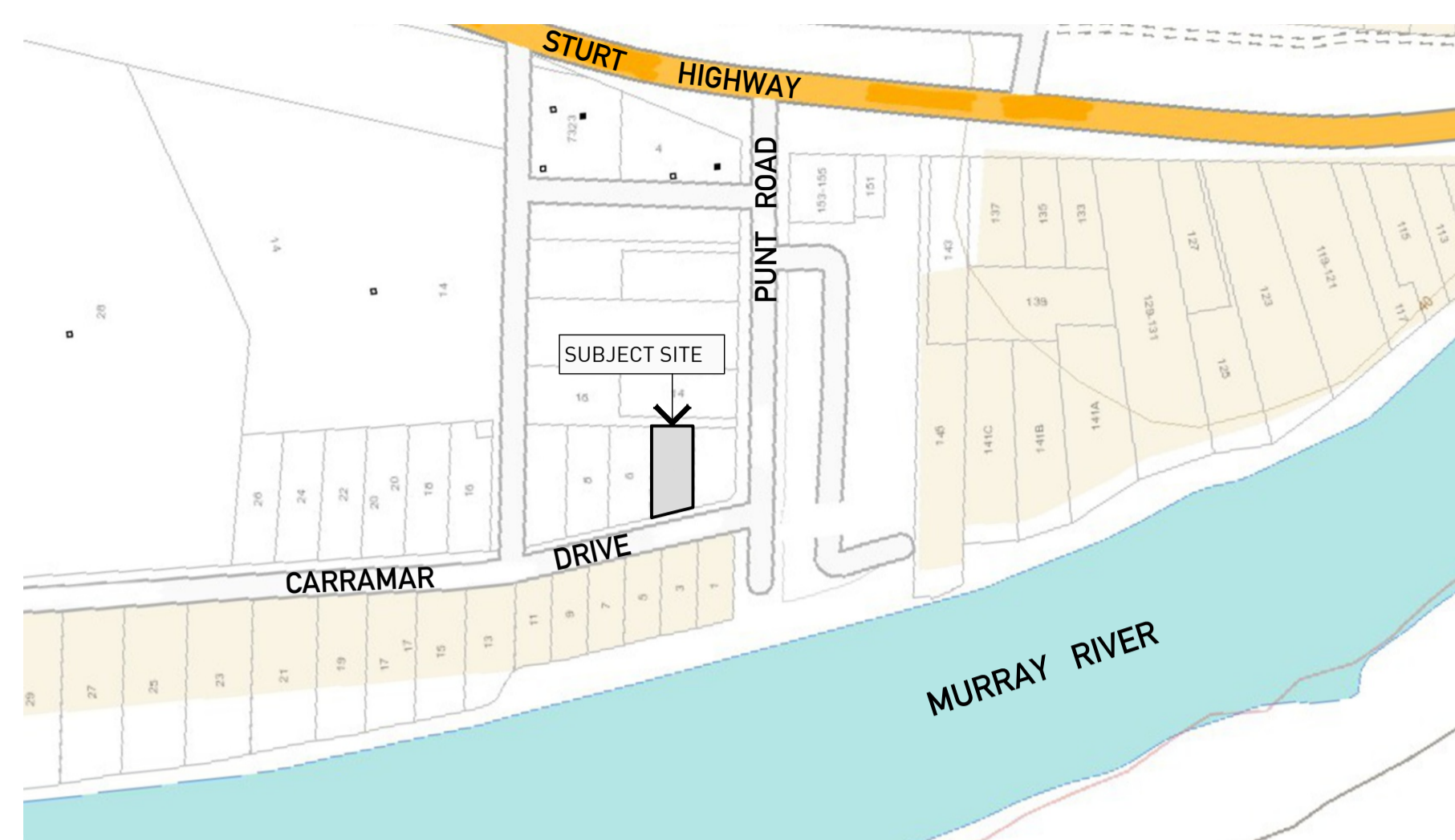
THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING DIODE (LED) LAMPS.

NATURAL LIGHTING

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 3 BATHROOM(S) /TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

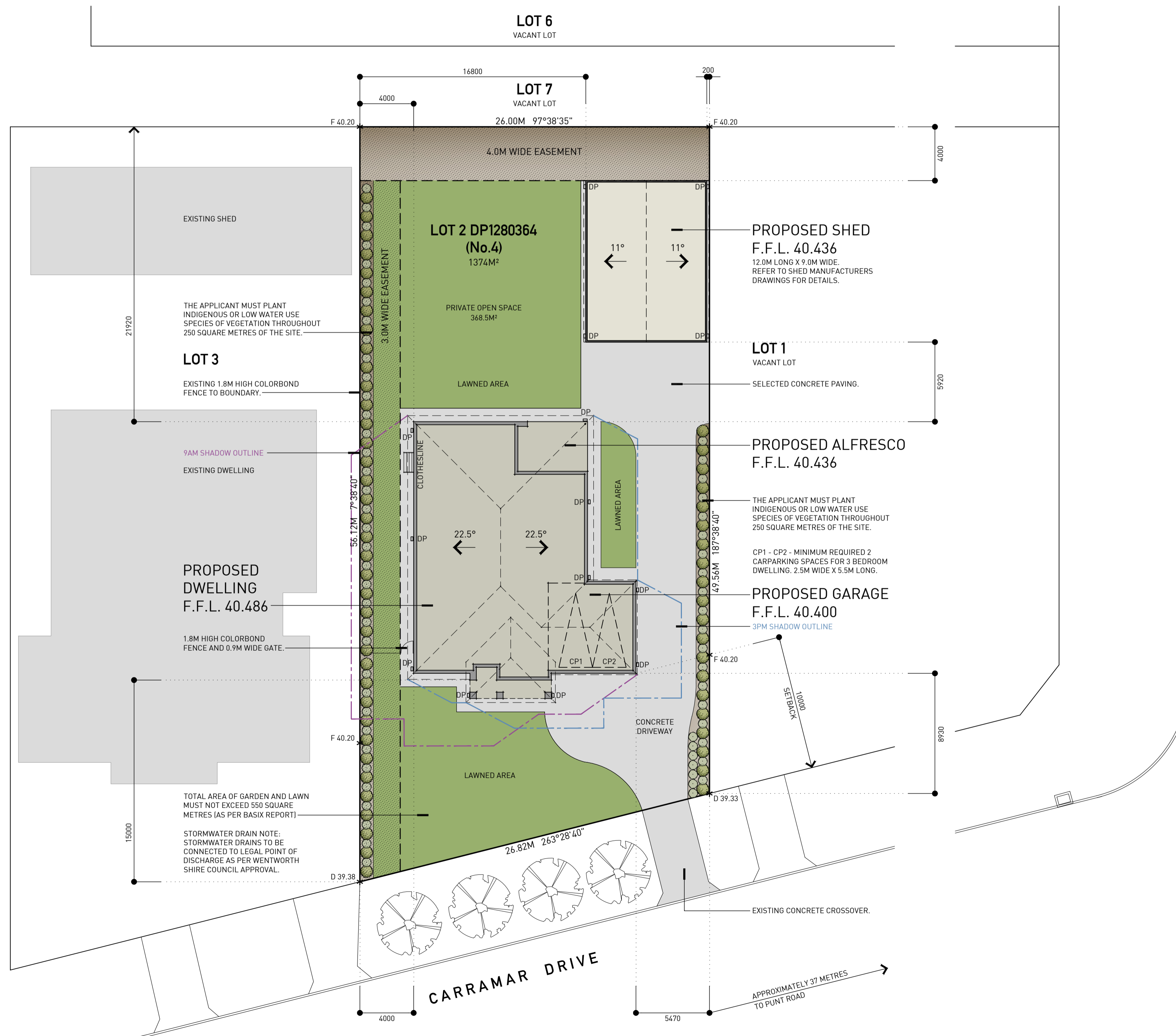
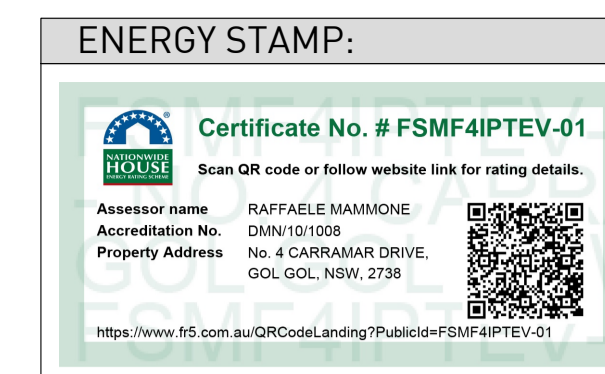
OTHER

THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.



LOCALITY PLAN NTS 2 A01

ENERGY RATING ASSESSMENT SPECIFICATIONS - 7 STAR MINIMUM:
SLAB NOTES:
 • CONCRETE SLAB ON GROUND CONSTRUCTION (CONVENTIONAL).
WALL INSULATION NOTES:
 • 'R2.5' BULK INSULATION TO ALL EXTERNAL WALLS OF DWELLING & DOUBLE GARAGE.
 • 'R2.0' WALL INSULATION TO INTERNAL WALLS BETWEEN DWELLING & DOUBLE GARAGE AS PER PLANS.
 • 'R2.0' WALL INSULATION TO INTERNAL WALLS AROUND LAUNDRY, BATHROOM & TOILET AS PER PLANS.
ROOF/CEILING INSULATION NOTES:
 • SINGLE SIDED REFLECTIVE ROOF SARKING TO DWELLING & GARAGE ROOF.
 • 'R3.0' BULK INSULATION TO DWELLING & GARAGE CEILING PERIMETER EDGE (APPROXIMATELY 450MM) TO MAINTAIN MINIMUM 20MM CLEARANCE BETWEEN INSULATION AND UNDERSIDE OF ROOF CLADDING FOR CONDENSATION CONTROL.
 • 'R6.0' BULK INSULATION TO REMAINDER OF DWELLING & GARAGE CEILING (APART FROM PERIMETER EDGE).
ROOF CLADDING = CORRUGATED ROOF SHEETING
ROOF COLOUR = SURFMIST - SOLAR ABSORPTANCE = 0.33
INSULATION AND PENETRATIONS NOTES:
 • MINIMUM CLEARANCES TO INSULATION OR OTHER COMBUSTIBLE MATERIAL FOR EXHAUST FANS, RECESSED LIGHTS, OR FLUES ARE TO BE FOLLOWED AS PER AS3000.
 • ALL RECESSED DOWNLIGHTS TO BE FITTED WITH A DRAUGHT PROTECTION DEVICE TO EACH EDGE OF AN OPENING LEAF.
ENSURE CEILING & WALL BULK INSULATION IS NOT COMPRESSED.
DOOR NOTES:
 • EXTERNAL SWING DOORS TO BE FITTED WITH A DRAUGHT PROTECTION DEVICE TO EACH EDGE OF AN OPENING LEAF.
AIR MOVEMENT/LEAKAGE NOTES:
 • ALL EXHAUST FANS TO BE FITTED WITH A SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER, FILTER OR THE LIKE.
 • RANGEHOODS ARE TO HAVE A FILTER INSTALLED, AND DUCTED TO EXTERNAL ENVIRONMENT.
 • CEILING FANS (900MM NOMINAL) TO ALL BEDROOMS AS PER PLANS.
GLAZING NOTE:
 • GLAZING AS PER ENERGY REPORT BY 'MAMMONE ENERGY RATERS'.



SITE PLAN 1:200 1 A01

DRAWING SCHEDULE:		
DWG	DESCRIPTION	
TP-A01	SITE PLAN LOCALITY PLAN	1:200 NTS
TP-A02	DWELLING FLOOR PLAN DWELLING ELEVATIONS	1:100 1:100
TP-A03	SECTION A ELECTRICAL PLAN SHED FLOOR PLAN SHED ELEVATIONS	1:50 1:100 1:100 1:100
TP-A04	FLOOR PLAN (INTERNAL LAYOUT REMOVED) DWELLING ELEVATIONS	1:100 1:100

- GENERAL NOTES:**
- ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA STATE BUILDING REGULATIONS & LOCAL AUTHORITIES REQUIREMENTS.
 - CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK.
 - FIGURED DIMENSIONS HAVE PREFERENCE TO SCALE.
 - PLANS SHOULD BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS & ATTACHED DOCUMENTATION.
 - IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE BUILDING IS WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE IS SHOWN CORRECT.
 - IT IS THE BUILDERS RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY SERVICES WHICH MAY HINDER CONSTRUCTION OR CAUSE ALTERATIONS TO DESIGN BEFORE COMMENCING ANY WORK.

- STORMWATER NOTES:**
- 100MM DIAMETER CLASS 4 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.
- THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
- 100MM - UNDER SOIL
 - 50MM - UNDER PAVED OR CONCRETE AREAS
 - 100MM - UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
 - 75MM - UNDER REINFORCED CONCRETE DRIVEWAYS.

- SITE NOTES:**
- INSPECTION OPENINGS
 PROVIDE INSPECTION OPENINGS EVERY 9M OF RUN AND CHANGE IN DIRECTION.
- COMPACTED FILL
 FILL TO BE COMPACTED IN ACCORDANCE WITH A.S. 2870 & TO BE TESTED BY AN APPROVED ENGINEER.
- FINISHED FLOOR LEVELS
 FINISHED FLOOR LEVEL TO BE SET A MINIMUM OF 0.75M ABOVE THE 1956 FLOOD LEVEL (1% AEP CALCULATED FLOOD HEIGHT IS 39.60).
- THE MINIMUM REQUIRED FLOOR LEVEL IS 40.35 (39.60 + 0.75) AS PER WENTWORTH SHIRE COUNCIL APPROVAL.

AREAS:

DWELLING	204.79 m ²	22.04 sq's
DOUBLE GARAGE	44.25 m ²	
ALFRESCO	19.11 m ²	
PORCH	9.73 m ²	
DWELLING TOTAL	277.88 m ²	29.91 sq's
SHED	108.00 m ²	11.63 sq's
TOTAL BUILDING AREA	385.88 m ²	
SITE AREA	1374.00 m ²	
SITE COVERAGE	28.08 %	

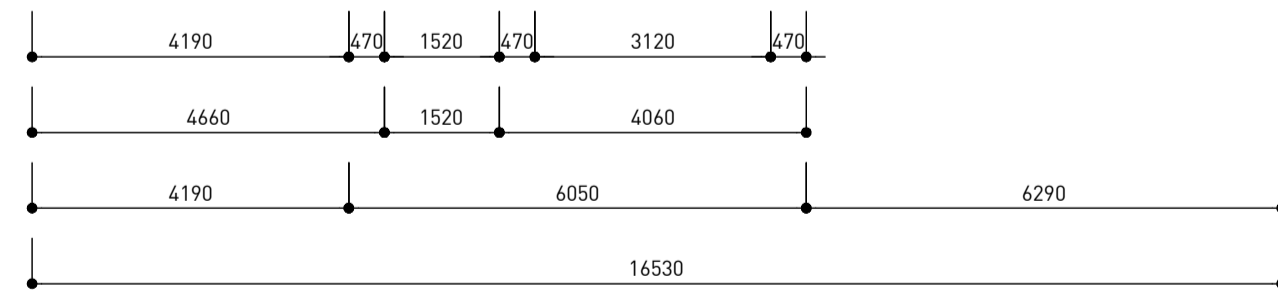
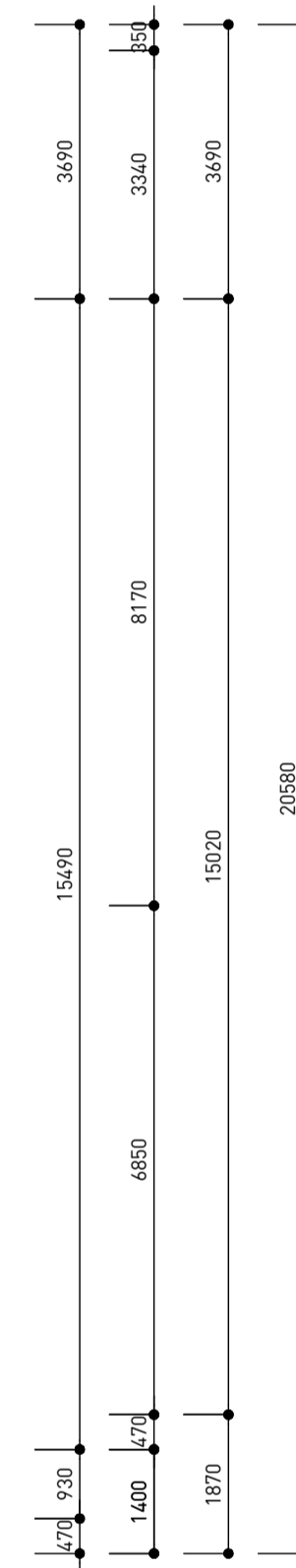
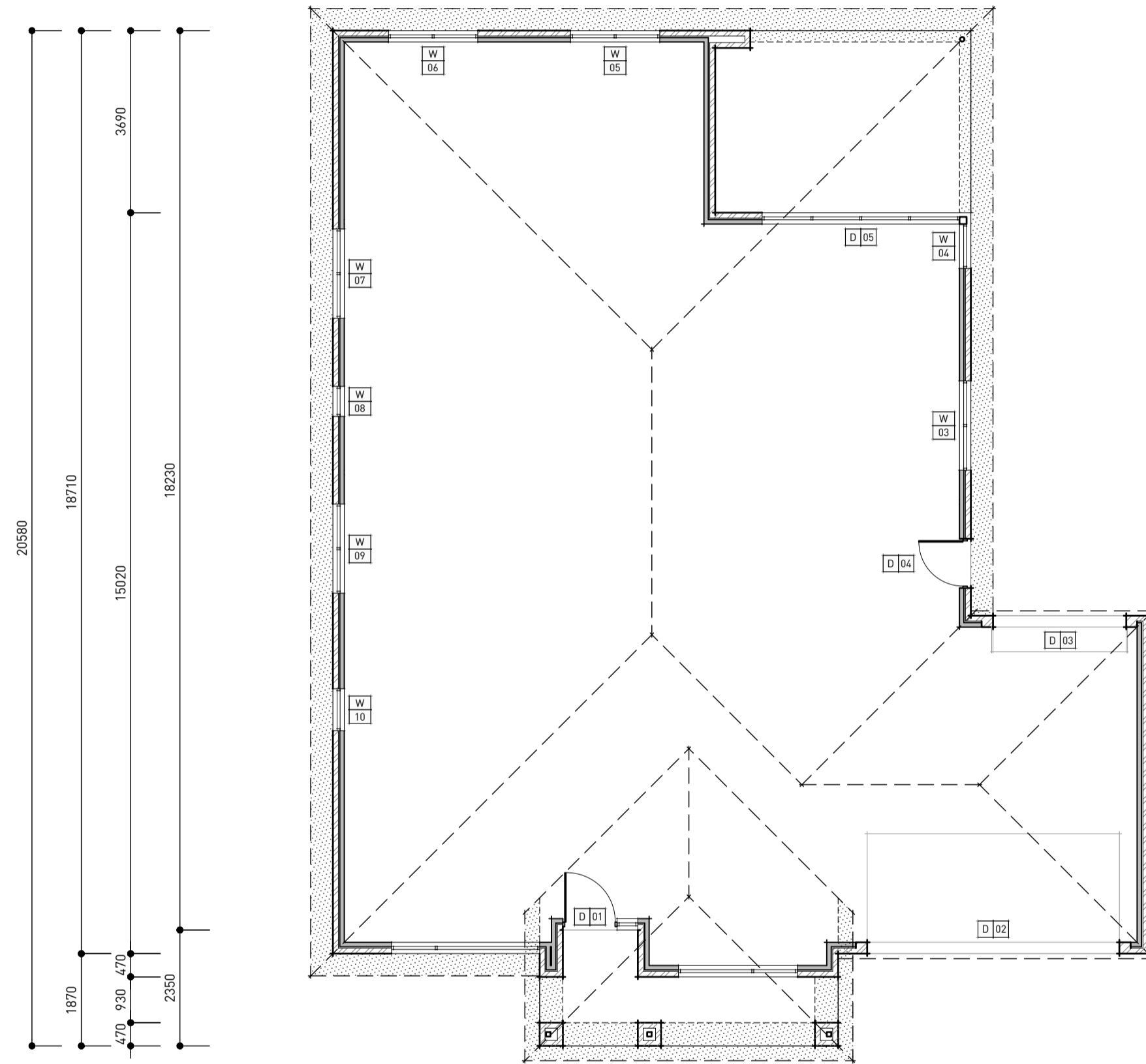
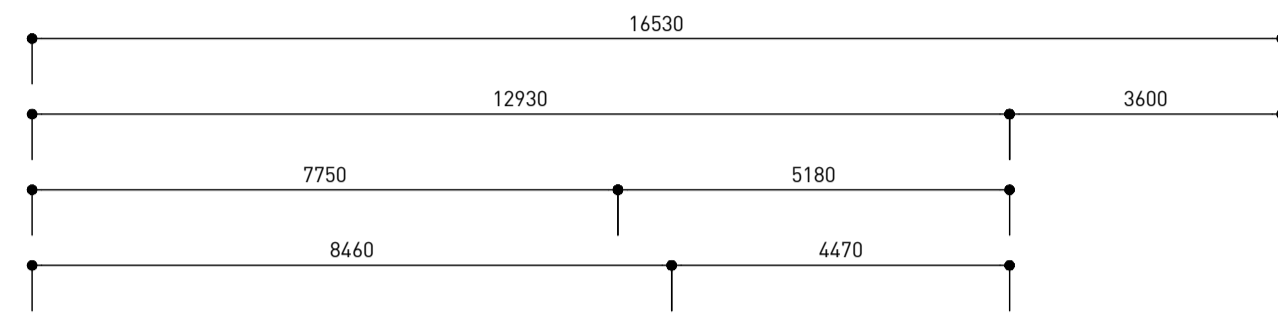
ORIENTATION:

TOWN PLANNING
 ISSUED: OCTOBER 28TH 2025

SHEET No	TP - A01
Project	PROPOSED DWELLING & SHED
Client	SEAN & JODIE BROMLEY
Location	LOT 2 DP1280364 (No. 4) CARRAMAR DRIVE, GOL GOL NSW 2738
Scale	1:200
Date	OCTOBER 27TH 2025
Design	LC
Rev No.	Rev. Date
Drawn	BC

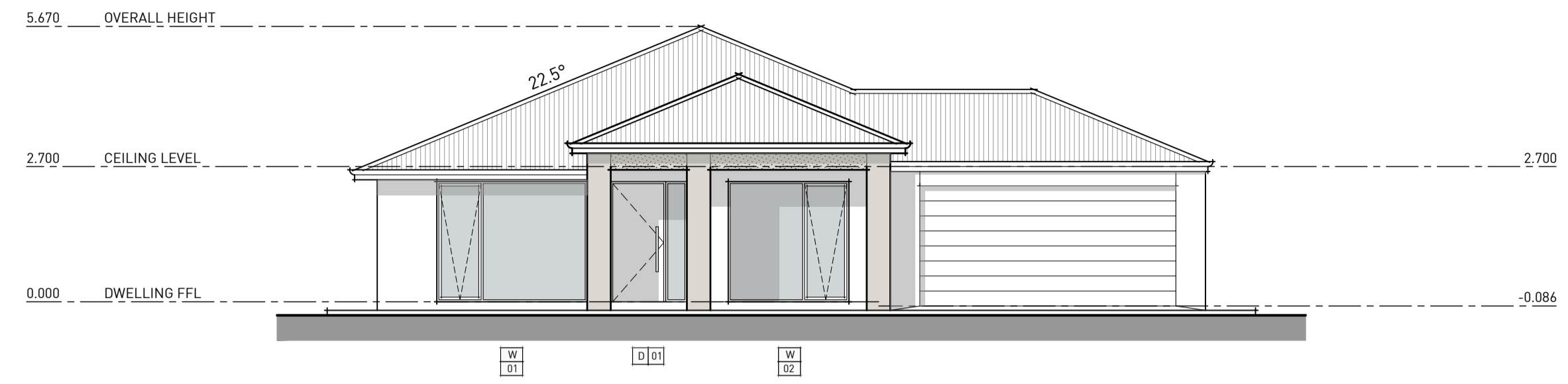
PROJECT No. **AA25-047**

105 Pine Avenue, Mildura, Vic 3500



INTERNAL LAYOUT INTENTIONALLY REMOVED

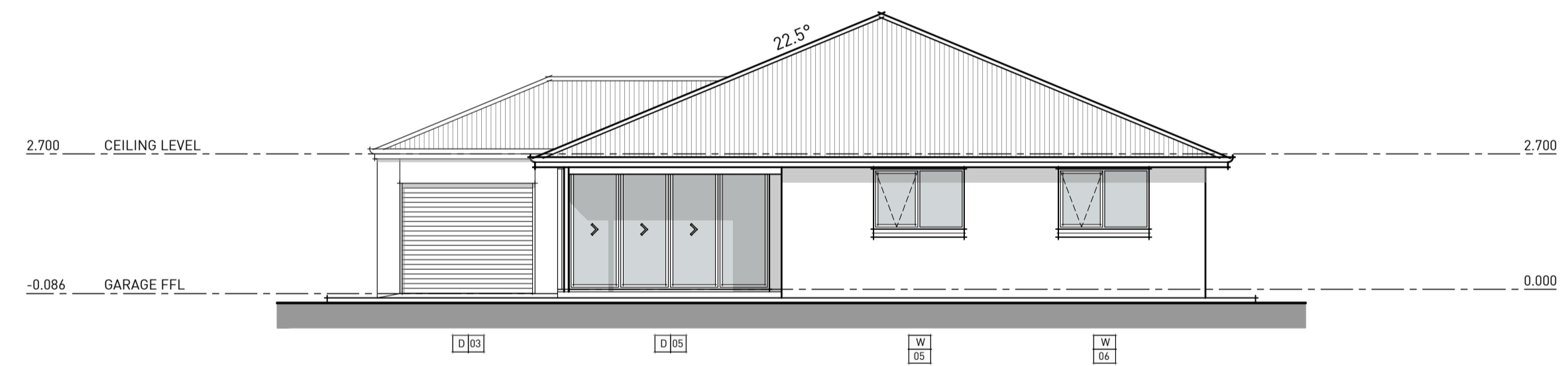
FLOOR PLAN 1:100 1 A04



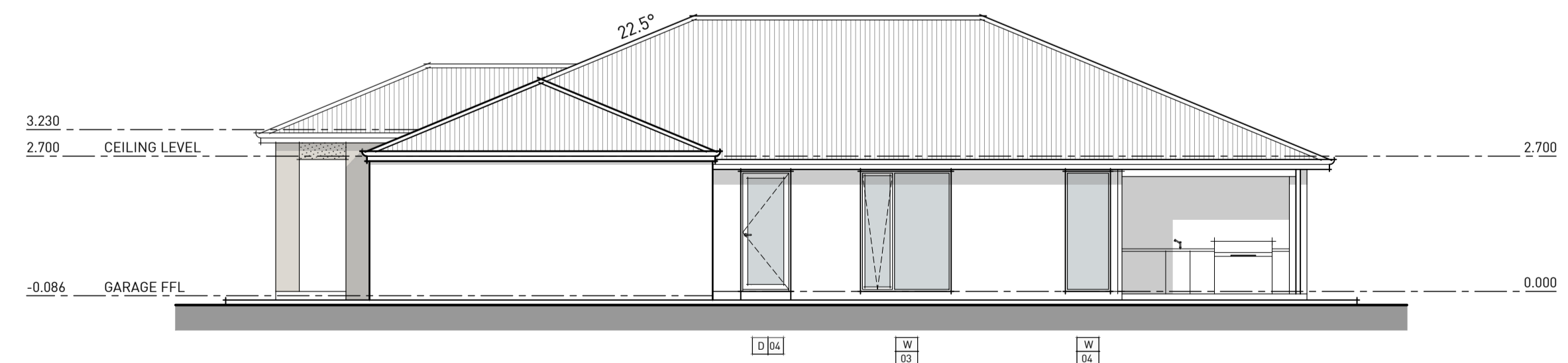
SOUTH ELEVATION



WEST ELEVATION

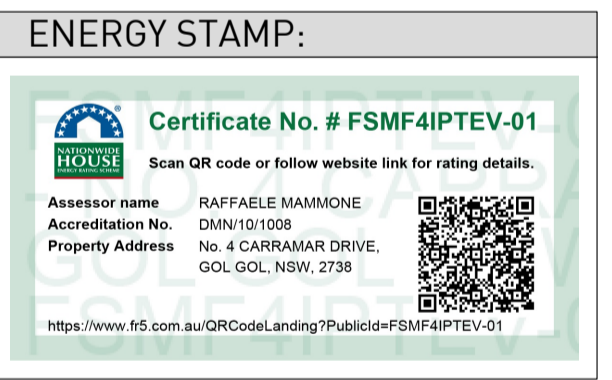


NORTH ELEVATION



EAST ELEVATION

DWELLING ELEVATIONS 1:100 2 A04



TOWN PLANNING
ISSUED: OCTOBER 28TH 2025

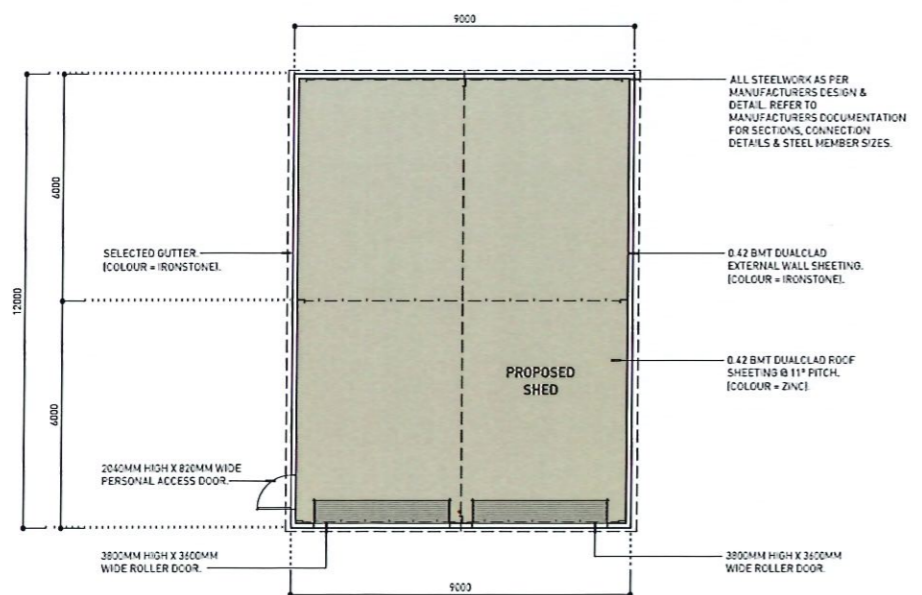
SHEET No	TP - A04	
Project	PROPOSED DWELLING & SHED	
Client	SEAN & JODIE BROMLEY	
Location	LOT 2 DP1280364 (No.4) CARRAMAR DRIVE, GOL GOL NSW 2738	
Scale	Date	Design
1:100	OCTOBER 27TH 2025	LC
Rev No.	Rev. Date	Drawn:-
-	-	BC

PROJECT No. **AA25-047**

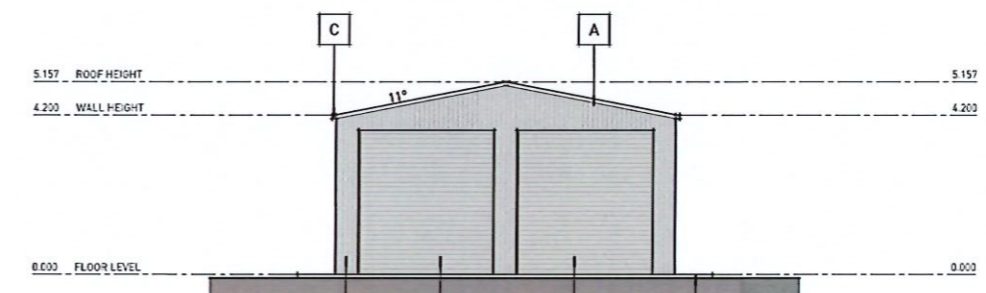


ELECTRICAL SYMBOLS:	
	PENDANT LIGHT - 23 WATTS
	STANDARD BATTEN - 20 WATTS
	STANDARD BATTEN - EXTERNAL - 20 WATTS
	DOWNLIGHT (SEALED) - 10 WATTS
	DOWNLIGHT (SEALED) - EXTERNAL - 10 WATTS
	36W FLUORO
	EXHAUST FAN & LIGHT - 40 WATTS
	EXHAUST FAN (WITH EXHAUST FAN) - 40 WATTS
	EXTERNAL WALL LIGHT (TO HAVE DAYLIGHT SENSOR)
	EXTERNAL FLOODLIGHT (TO HAVE DAYLIGHT SENSOR)
	CEILING FAN & LIGHT - 40 WATTS
	CEILING FAN
	EXHAUST FAN TRIGGERED BY LIGHT SWITCH
	DISTRIBUTION METRE BOX
	TELEPHONE POINT
	DOUBLE GPO - 300MM CFF FFL
	DOUBLE GPO - 700MM CFF FFL
	DOUBLE GPO - 950MM CFF FFL
	DOUBLE GPO - 1000MM CFF FFL
	DOUBLE GPO - 1500MM CFF FFL
	SINGLE GPO FOR REFRIGERATOR - 1500MM CFF FFL
	SINGLE GPO - CEILING MOUNTED
	SINGLE GPO FOR RANGEHOOD
	SINGLE GPO FOR UNDER BENCH OVEN
	SINGLE GPO FOR DISHWASHER - 300MM CFF FFL
	SINGLE GPO FOR WASHING MACHINE - 300MM CFF FFL
	SMOKE DETECTOR
	TV ANTENNA POINT - 300MM CFF FFL
	TV ANTENNA POINT - 1500MM CFF FFL
	SINGLE GPO
	DOUBLE GPO
	WEATHERPROOF EXTERNAL DOUBLE GPO

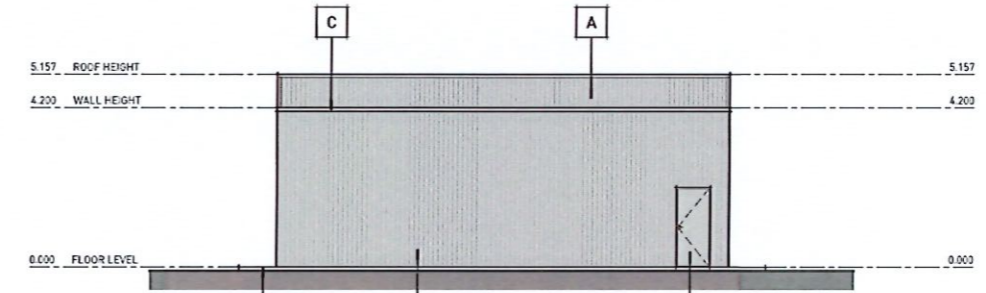
NOTES:
 • ALL ELECTRICAL FIXTURES & LOCATIONS ARE TO BE VERIFIED ON SITE WITH THE OWNER PRIOR TO CONSTRUCTION.
 • ARTIFICIAL LIGHTING AROUND THE PERIMETER OF A BUILDING MUST BE CONTROLLED BY A DAYLIGHT SENSOR, OR HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF NOT LESS THAN 40 LUMENS/W.



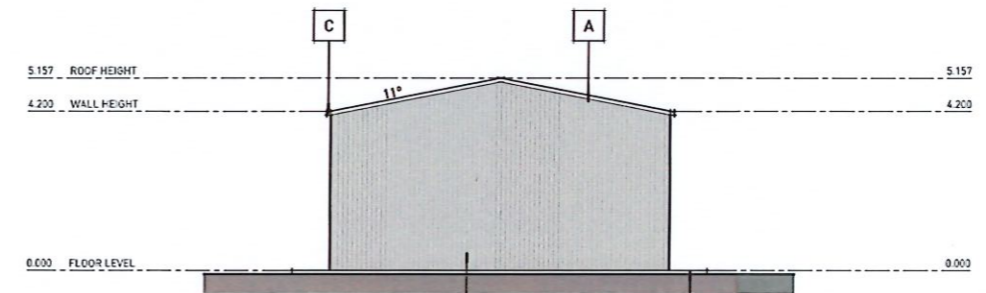
SHED FLOOR PLAN 1:100 3 A03



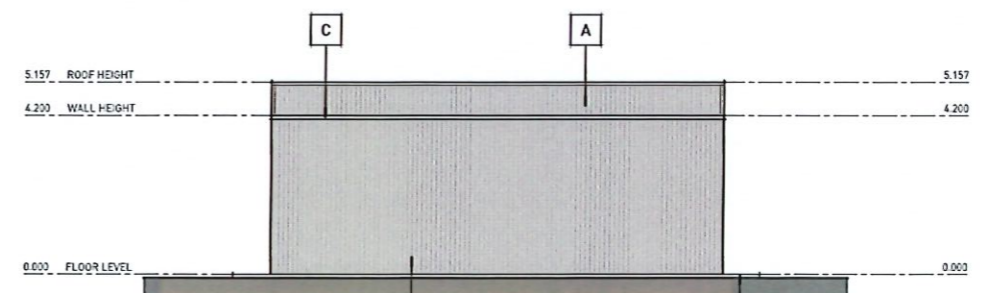
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

SHED ELEVATIONS 1:100 4 A03

SHED ELEVATION SCHEDULE:	
TAG NO.	DESCRIPTION
A	0.42 BMT DUALCLAD ROOF SHEETING @ 11° PITCH (COLOUR = ZINC - SOLAR ABSORPTANCE = 0.35)
B	0.42 BMT DUALCLAD EXTERNAL WALL SHEETING (COLOUR = IRONSTONE - SOLAR ABSORPTANCE = 0.73)
C	SELECTED GUTTER (COLOUR = IRONSTONE)
D	200MM HIGH X 820MM WIDE PERSONAL ACCESS DOOR
E	3800MM HIGH X 3600MM WIDE ROLLER DOOR
F	FINISHED SURFACE TO FALL AWAY FROM BUILDING EDGE A MIN. OF 50MM FOR THE FIRST 1.0 METRE.

CONSTRUCTION NOTES:

FLOOR
 REINFORCED VIBRATED CONCRETE SLAB AS PER ENGINEERS DESIGN AND SPECIFICATIONS.

WALLS
 0.42 BMT DUALCLAD EXTERNAL WALL SHEETING INSTALLED AS PER MANUFACTURERS DETAILS. (COLOUR = IRONSTONE - SOLAR ABSORPTANCE = 0.73)

ROOF & CEILING
 0.42 BMT DUALCLAD ROOF SHEETING @ 11° PITCH INSTALLED AS PER MANUFACTURERS DETAILS. (COLOUR = ZINC - SOLAR ABSORPTANCE = 0.35)

SELECTED GUTTER.

STEELWORK
 ALL STEELWORK AS PER ENGINEERS DESIGN & DETAIL. REFER TO ENGINEERS DOCUMENTATION FOR SIZES.

AREAS:	
TOTAL SHED AREA	108.00 m ²

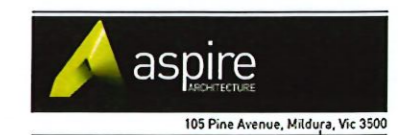
AREAS:



TOWN PLANNING
 ISSUED: OCTOBER 27TH 2025

SHEET No	TP - A03	
Project	PROPOSED DWELLINGS & SHED	
Client	SEAN & JODIE BROMLEY	
Location	LOT 2 DP1280344 (No 4) CARRAMAR DRIVE, GOL GUL NSW 2738	
Scale	1:100	
Date	OCTOBER 27TH 2025	
Design	LC	
Rev. No.	Rev. Date	Drawn: BC

PROJECT No. **AA25-047**



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