

INTRODUCTION

To assist Council in assessing your development application, in accordance with relevant legislative requirements, it is necessary for you to answer the following questions and provide justification of your responses. These questions relate to common matters that need to be addressed in order to mitigate potential impacts resulting from your development.

Please note: Incomplete or insufficient information may lead to your application be delayed or rejected.

PERMISSIBILITY

- | | | |
|--|---|-----------------------------|
| • Is your proposal permissible in the zone? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is your proposal consistent with the zone objectives? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is your proposal in accordance with the relevant development control plan? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |

If you answered "No" to any of the above, you should make an appointment to discuss your proposal with a member of the Health & Planning Division before lodging a development application.

Please justify your answers below:

This proposal is for the construction of a warehouse & offices for the purpose of facilitating a commercial business at Lot 14 Two Up Drive, Buronga DP1305730.

The land is zoned E4 pursuant to the Wentworth Local Environmental Plan 2011.

The objectives of this zone are:

- To provide a range of industrial, warehouse, logistics and related land uses.
- To ensure the efficient and viable use of land for industrial uses.
- To minimise any adverse effect of industry on other land uses.
- To encourage employment opportunities.
- To enable limited non-industrial land uses that provide facilities and services to meet the needs of businesses and workers.

The Statement of Environmental Effects is to show that the proposal is in line with these objectives.

DESCRIPTION OF DEVELOPMENT

This needs to include where applicable a description of matters such as proposed buildings, proposed building materials, nominated colour scheme, nature of use, staging of the development details of any demolition and other works etc.

The proposal is for the construction of two warehouses with office/reception, staff room & amenity facilities which will equate to 600.00m² & 666.50m² (1,266.50m² total).

There will be an awning along the side of each of the buildings and equate to 240.00m² & 159.96m².

There will be 8 car park spaces provided and simple 3m wide landscaping along the front boundary.

Two new concrete crossover's will be provided to allow for vehicle access also.

The total area of the site is 3,636m²

DESCRIPTION OF SITE

1. Describe the site including any physical features of the site such as shape, slope, vegetation, any waterways. Also describe the current use/s on the site.

The site is rectangular in shape, and is sloping from the rear boundary to the front boundary. The height difference from the rear to the front boundary is approximately 2.0m. There is no vegetation on the site, and is currently cleared for construction. The site has been recently developed and has all services available along the front boundary.

2. What is the present use and previous uses of the site?

The previous use of the site was an orange tree plantation, and has been recently developed into Industrial Allotments with all services available.

3. Is the development site subject to any of the following natural hazards: (e.g. bushfire prone, salinity, flooding or stormwater inundation etc.)

The site has been recently developed and all drainage issues have been addressed. There is a drainage design completed for this site to incorporate the new warehouse and car parking. The site isn't in a bush fire prone area.

4. What other constraints exist on the site? (e.g. vegetation, easements, sloping land, drainage lines contamination, etc.)

There is a 3m wide easement to the front of the property in favour of Sewerage. The site is sloping from rear to front, and this will assist in drainage of the site

5. What types of land use and development exist on surrounding land?

The site is surrounded by other newly developed industrial allotments, and an existing orange plantation to the eastern & southern boundary. The orange plantation to the south is zoned RU5 and may be developed in the near future. The orange plantation to the east is zoned RU4 - Primary Production Small Lots and isn't planned for development at present.

CONTEXT AND SETTING

- Will the development be:
 - Visually prominent in the surrounding area? ☐ Yes ☒ No
 - Inconsistent with the existing streetscape? ☐ Yes ☒ No
 - Out of character with the surrounding area? ☐ Yes ☒ No
 - Inconsistent with surrounding land uses? ☐ Yes ☒ No

Please justify your answers below:

The design of the proposal is consistent with current land zoning and permitted use of land.

PRIVACY, VIEWS AND OVERSHADOWING

- Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space, etc.? ☐ Yes ☒ No
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? ☐ Yes ☒ No
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners and pumps, bedroom and living room windows, etc.? ☐ Yes ☒ No
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks roads and footpaths? ☐ Yes ☒ No

Please justify your answers below:

The proposed development will not adversely impact privacy, views, or cause overshadowing.

Appropriate setbacks have been adopted, and is within an Industrial Subdivision which these concerns are minimal.

ACCESS, TRAFFIC AND UTILITIES

- Is legal and practical access available to the development? ☒ Yes ☐ No
- Will the development increase local traffic movements / volumes?
If yes, by how much? ☒ Yes ☐ No
- Are additional access points to a road network required? ☒ Yes ☐ No
- Has vehicle manoeuvring and onsite parking been addressed in the design? ☒ Yes ☐ No
- Are power, water, sewer and telecommunication services readily available to the site? ☒ Yes ☐ No

Please justify your answers below:

- Access to the site is available from Two Up Drive. Vehicles can easily and safely ingress and egress the site. No additional roads or access will be required.

- Approximate number of customers per day: 5

- Estimated volume of traffic will include staff arriving to and from site and customers visiting site.

- Services are available to the site

ENVIRONMENTAL IMPACTS

- | | | |
|---|---|--|
| • Is the development likely to result in any form of air pollution (smoke, dust, odour etc.)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Does the development have the potential to result in any form of water pollution (eg. sediment run-off)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Will the development have any noise impacts above background noise levels (eg. swimming pool pumps)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Does the development involve any significant excavation or filling? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Could the development cause erosion or sediment run-off (including during the construction period)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is there any likelihood in the development resulting in soil contamination? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development considered to be environmentally sustainable (including provision of BASIX certificate where required)? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is the development situated in a heritage area or likely to have an impact on any heritage item or item of cultural significance? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development likely to disturb any aboriginal artefacts or relics? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

Please justify your answers below:

No artefacts or relics are likely to be disturbed.

The site has already been cleared and developed into lots.

A Part J Report has been completed for this Development.

A Drainage Design has been completed to identify the area requiring cut / fill.

FLORA AND FAUNA IMPACTS

- | | | |
|---|------------------------------|--|
| • Will the development result in the removal of any native vegetation from the site? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development likely to have any impact on threatened species or native habitat? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

For further information on threatened species, visit www.threatenedspecies.environment.nsw.gov.au

Please justify your answers below:

No native vegetation is proposed to be removed from the site, and the development will not impact threatened species or native habitat because the site has already been cleared and prepared for industrial development.

WASTE AND STORMWATER DISPOSAL

- How will effluent be disposed of?
☒ To Sewer ☐ Onsite
- How will stormwater (from roof and hard standing) be disposed of:
☒ Council Drainage System ☐ Other (please provide details)
- Will liquid trade waste be discharged to Council's sewer? ☒ Yes ☒ No
- Will the development result in any hazardous waste or other waste disposal issue? ☐ Yes ☒ No
- Does the development propose to have rainwater tanks? ☐ Yes ☒ No
- Have all potential overland stormwater risks been considered in the design of the development? ☒ Yes ☐ No

Please justify your answers below:

Sewer connection is available to the site.
Drainage will be directed to Council approved connection point.

SOCIAL AND ECONOMIC IMPACTS

- Will the proposal have any economic or social consequences in the area? ☐ Yes ☒ No
- Has the development addressed any safety, security or crime prevention issues? ☒ Yes ☐ No

Please justify your answers below:

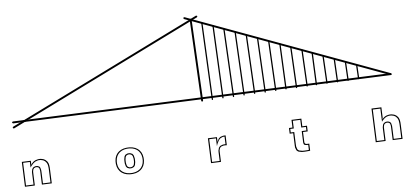
The proposal will bring industry to the area thereby generating further employment and development of the area.

A security camera system will be installed as crime prevention measure.

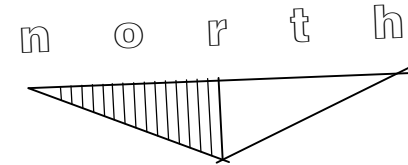
CONCLUSION

Cumulative effects of all factors.

The Statement of Environmental Effects has not identified any planning and environmental reasons why this proposed development cannot proceed.



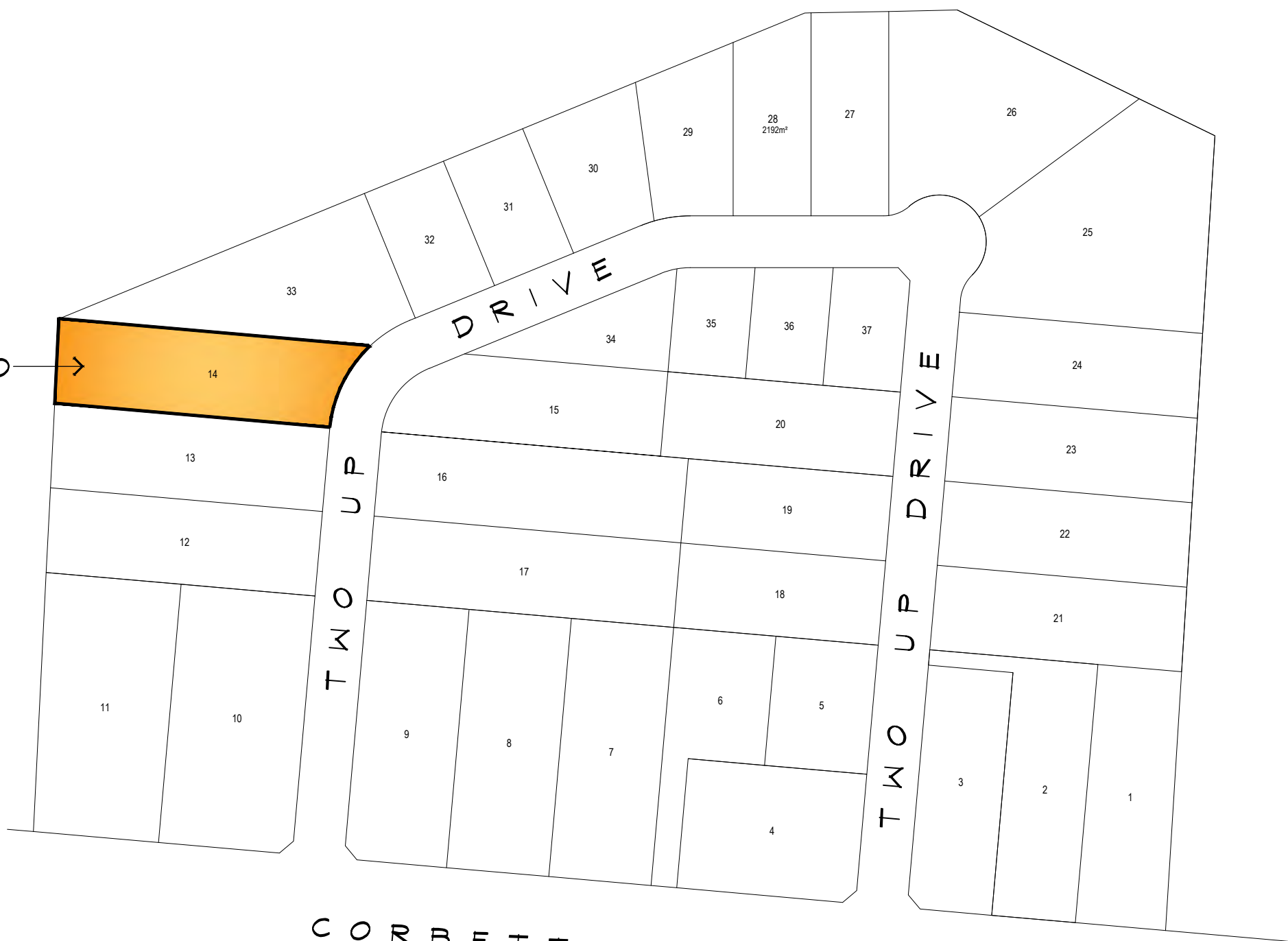
CORBETT AVENUE



PARKING NOTES:
ALL OFF STREET PARKING TO BE IN ACCORDANCE WITH AS / NZS 2890.1 : 2004
ALL STANDARD CARPARKS SHOWN ARE: 2.8m WIDE x 4.9m LONG
DISABLED CARPARK SHOWN IS: 2.4m WIDE x 5.4m LONG WITH 2.4m WIDE SHARED AREA'S.
7 CARPARKING SPACES (TOTAL)

SITE NOTES:
REFER TO ENGINEERS DOCUMENTATION FOR STORM WATER DESIGN
ALL LEVELS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.

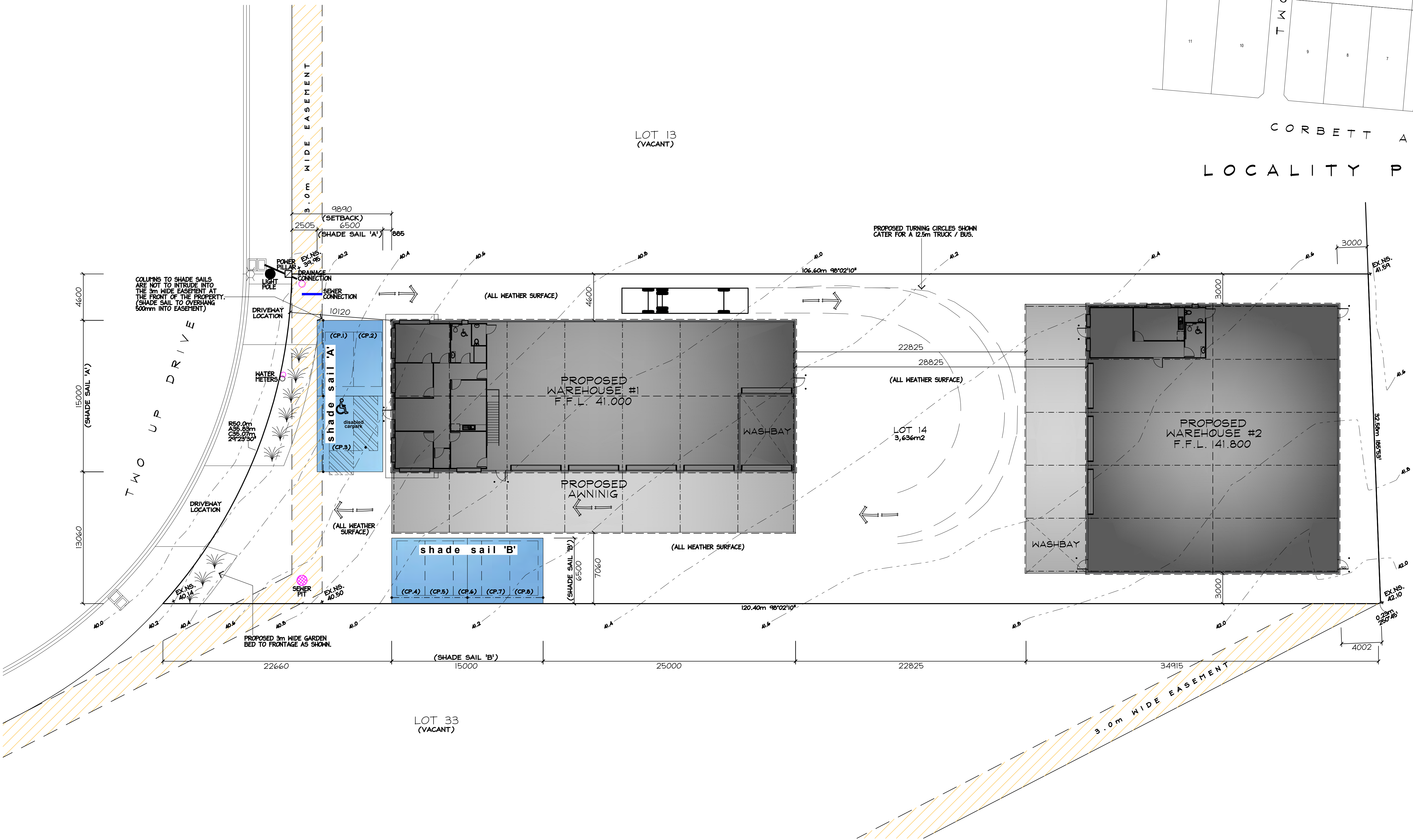
SITE OF PROPOSED WORKS



CORBETT AVENUE

LOCALITY PLAN 1:2000

LOT 13
(VACANT)

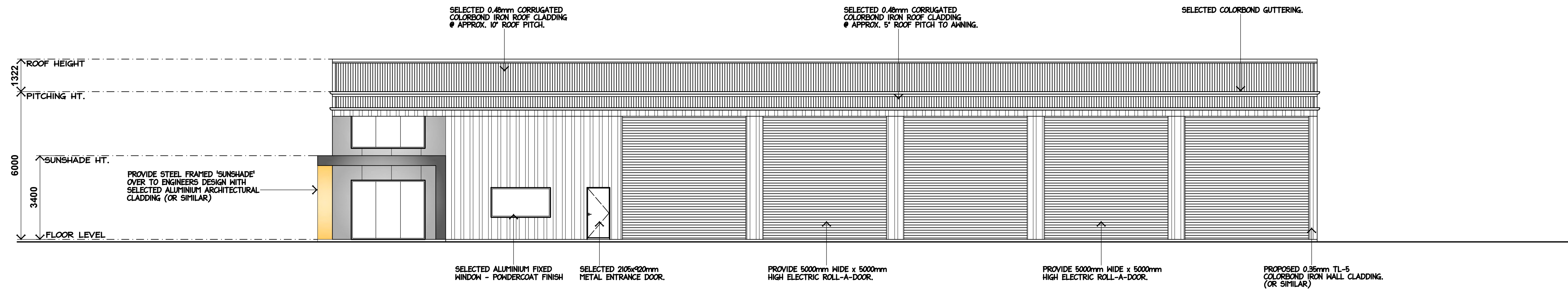


powerhouse
This page was referenced in the following
NCC 2022 Section J compliance report:
REPORT NO. **PHR-25-676** REV. **C1**

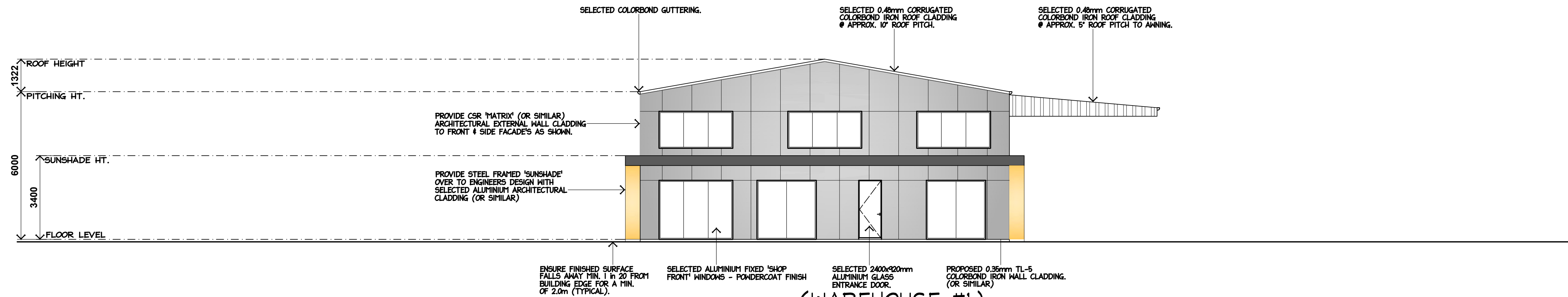
(D.A. APPROVAL ONLY)
SHEET NO: 12 OF 12 **DRG NO:** MH2 2025-077
PROJECT:
PROPOSED 2 x WAREHOUSES
CLIENT:
TENROD ENTERPRISES PTY LTD
ADDRESS:
LOT 14, TWO UP DRIVE, BURONGA, NSW.
SCALE: AS SHOWN **DATE:** SEP '25

MH²
ENGINEERING & ARCHITECTURAL SERVICES
mark@mh2.com.au mick@mh2.com.au
0438 210 139 0427 237 668
No. 5 Burns Street, Gol Gol, N.S.W. 2738
ABN: 43 634 027 464 DP No: AD 26770

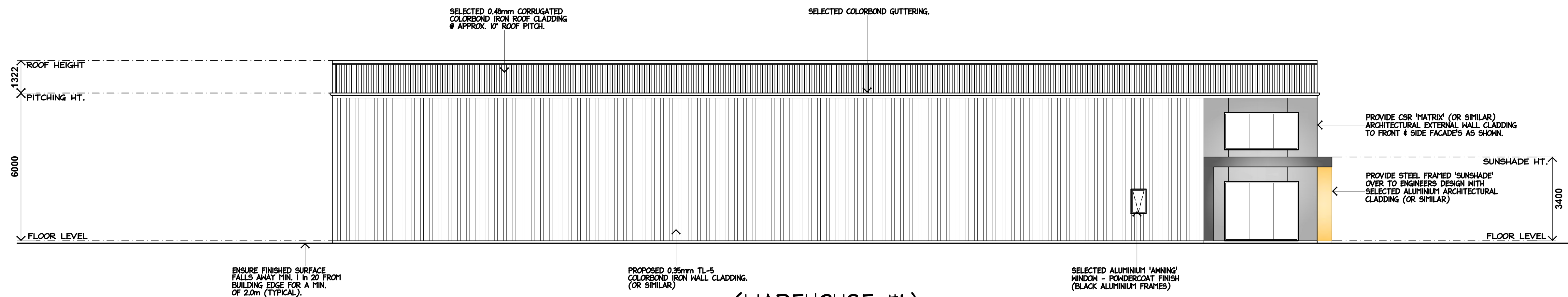
SITE PLAN 1:200



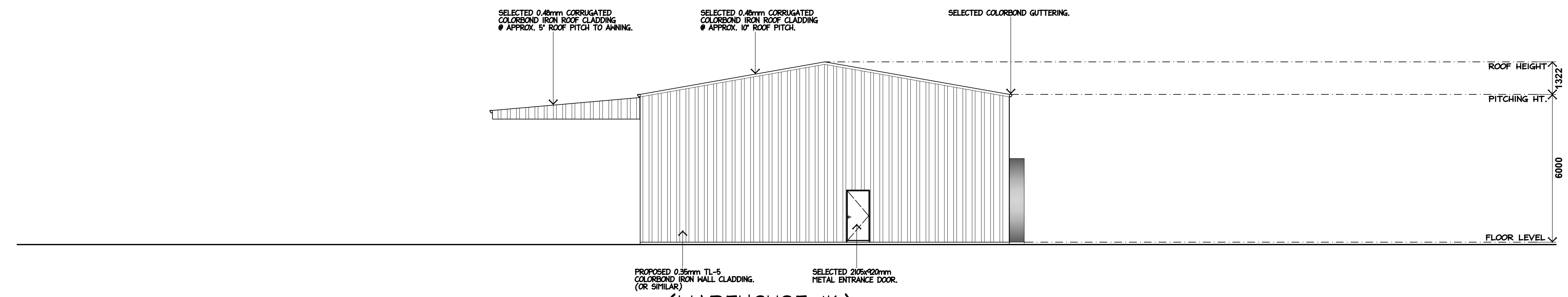
(WAREHOUSE #1)
SOUTH ELEVATION 1:100



(WAREHOUSE #1)
WEST ELEVATION 1:100



(WAREHOUSE #1)
NORTH ELEVATION 1:100

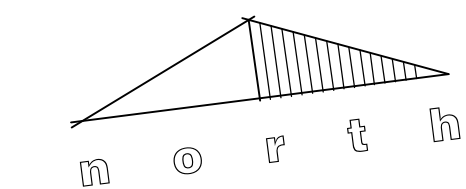


(WAREHOUSE #1)
EAST ELEVATION 1:100



SHEET NO: 2 OF 12 **DRG NO:** MH2 2025-077
PROJECT:
PROPOSED 2 x WAREHOUSES
CLIENT:
TENROD ENTERPRISES PTY LTD
ADDRESS:
LOT 14, TWO UP DRIVE, BURONGA, NSW.
SCALE: AS SHOWN **DATE:** SEP '25

ENGINEERING & ARCHITECTURAL SERVICES
mark@mh2.com.au mick@mh2.com.au
0438 210 139 0427 237 668
No. 5 Burns Street, Gol Gol, N.S.W. 2738
ABN: 43 634 027 464 DP No: AD 26770

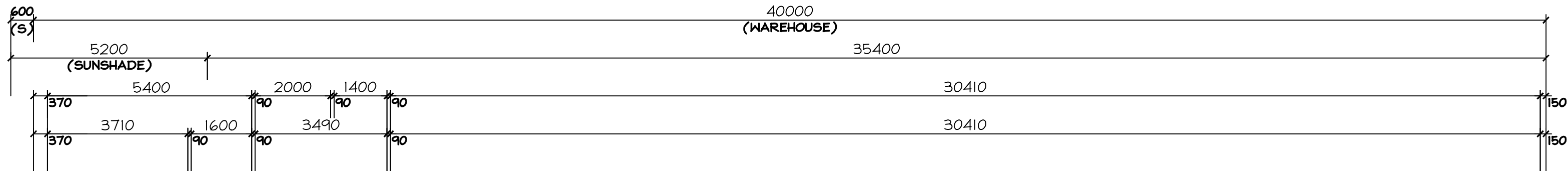


NOTES:

- DENOTES EMERGENCY EXIT SIGNS COMPLYING WITH AS/NZS 2298.1
- DENOTES EMERGENCY LIGHTING COMPLYING WITH AS/NZS 2298.1
-EMERGENCY LIGHTING TO BE FLUORESCENT LIGHTS HARD-WIRED BACK TO SWITCHBOARD.
- DENOTES 250mm \varnothing EXHAUST FAN TRIGGERED BY LIGHT SWITCH & TO BE DUCTED TO OUTSIDE AIR.
- 4A-60B-E - DRY CHEMICAL FIRE EXTINGUISHERS
- SELECTED BOLLARDS

ALL EXIT DOORS ARE TO BE READILY OPENABLE WITHOUT THE USE OF A KEY FROM THE PERSON SEEKING EGRESS, BY A SINGLE HANDED DOWNWARD ACTION OF PUSHING ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900 AND 1100mm FROM THE FLOOR, IN ACCORDANCE WITH CLAUSE D 2.21 OF THE BUILDING CODE OF AUSTRALIA 2014.

- FIRE EXTINGUISHERS TO COMPLY WITH AS 2444
- STORMWATER DRAINAGE TO COMPLY WITH AS 3500.3
- ROOF COVERINGS TO COMPLY WITH AS 1562.1
- DAMP PROOFING / VAPOUR BARRIER TO COMPLY WITH AS 2670



ALUMINIUM WINDOW / DOOR SCHEDULE

WINDOW No.	SERIAL No.	WINDOW SIZE	QUANTITY	LINTEL SIZE
W1	SF2124	2400x2410	2	SHED MANUF'S DETAILS
W2	SF2430	2400x3000	3	SHED MANUF'S DETAILS
W3	SF1530	1500x3000	5	SHED MANUF'S DETAILS
W4	A1006	1000x610	1	SHED MANUF'S DETAILS
W5	F1224	1200x2410	1	SHED MANUF'S DETAILS
D1	D2109	2105x920	1	SHED MANUF'S DETAILS

-LINTEL & STUDS BESIDE OPENINGS, SIZES ARE TO BE CHECKED ONCE A ROOF TRUSS PLAN HAS BEEN DEVELOPED. THIS IS TO BE DONE BY THE ROOF TRUSS MANUFACTURER.

PROVIDE 2No. 90 x 45mm MGP12 JAMB STUDS TO ALL OPENINGS.



PROVIDE STEEL FRAMED 'SUNSHADE' OVER TO ENGINEERS DESIGN WITH SELECTED ALUMINIUM ARCHITECTURAL CLADDING (OR SIMILAR)

SELECTED 2105x920mm ALUMINIUM GLASS ENTRANCE DOOR.

SELECTED ALUMINIUM FIXED 'SHOP FRONT' WINDOWS - PONDEROAT FINISH

PROPOSED UNISEX DISABLED ACCESS AS PER AS1428.1-2001. WATER PROOFING TO AS3740.

REFER TO ENGINEERS DOCUMENTATION FOR ALL STRUCTURAL STEEL DETAILS

CLADDING NOTE:
PROVIDE 15mm COMPRESSED SHEET WALL CLADDING TO SHED SIDE OF WALL FRAMING - SELECTED PAINTED FINISH. (OR SIMILAR)

PROVIDE 1200 x 1600mm SHOWER LOCATION.

PROVIDE STORAGE CUPBOARDS BENEATH STEEL STAIRS AS REQUIRED.

PROVIDE STEEL STAIRCASE AS PER ENGINEERS DESIGN. 250mm MIN. TREADS, 140mm MAXIMUM RISERS.

NOTE:
PROVIDE TACTILES TO TOP & BOTTOM OF STAIRCASE AS PER AS 1428.4

PROPOSED 0.35mm TL-5 COLORBOND IRON WALL CLADDING. (OR SIMILAR)

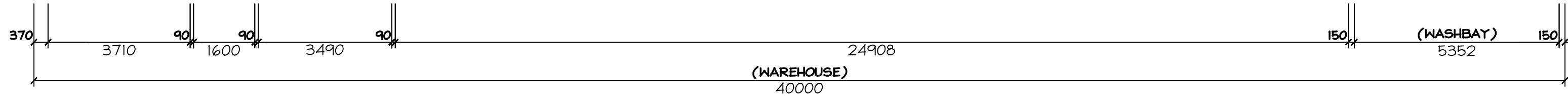
SELECTED 2105x920mm METAL ENTRANCE DOOR.

PROVIDE 5000mm WIDE x 5000mm HIGH ELECTRIC ROLL-A-DOOR.

SELECTED 2105x920mm METAL ENTRANCE DOOR.

PROVIDE 5000mm WIDE x 5000mm HIGH ELECTRIC ROLL-A-DOOR.

PROVIDE 5000mm WIDE x 5000mm HIGH ELECTRIC ROLL-A-DOOR.



PROPOSED FLOOR PLAN 1:100

general notes:

- ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE NATIONAL CONSTRUCTION CODE, STATE BUILDING REGULATIONS & LOCAL AUTHORITY REQUIREMENTS.
- CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS.
- FIGURED DIMENSIONS HAVE PREFERENCE TO SCALE.
- PLANS SHALL BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS & ATTACHED DOCUMENTATION.
- IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE BUILDING IS WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE IS SHOWN CORRECT.
- IT IS THE BUILDERS RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY SERVICES WHICH MAY HINDER CONSTRUCTION OR CAUSE ALTERATIONS TO DESIGN BEFORE COMMENCING ANY WORK.
- DENOTES SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH AS 3786 - 2014, & TO BE INTERCONNECTED IF MORE THAN ONE.
- DENOTES ARTICULATION JOINT TO BE CONSTRUCTED IN ACCORDANCE WITH CACA TECHNICAL NOTE 61.
- GLAZING TO COMPLY WITH 1298 - 2021 "GLASS IN BUILDINGS - SELECTION & INSTALLATION", & 2047-2014 "WINDOWS IN BUILDINGS - SELECTION & INSTALLATION"
- OVERFLOW RELIEF GULLY REQUIREMENTS ARE TO COMPLY WITH AS 3500 - 2021 "SANITARY PLUMBING & SANITARY DRAINAGE"
- SOLID FUEL COMBUSTION HEATERS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2918 - 2018 "DOMESTIC SOLID FUEL".
- BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2021 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
- PROVIDE EXPANSION JOINTS IN TILED AREAS EVERY 5m MINIMUM.

WINDOW TYPE	ALUMINIUM FIXED & AWNING
LINTEL TYPE	STEEL
FLYWIRE TO ALL OPENINGS	*CHECK LINTELS SUPPORTING GIRDER TRUSSES

AREAS:	
PROPOSED WAREHOUSE #1	416.31m2
PROPOSED OFFICE / AMENITIES	141.60m2
PROPOSED AWNING	240.00m2
PROPOSED WASHBAY	42.09m2

TOTAL 840.00 m2

TERRAIN CATEGORY 2.5 WIND CLASSIFICATION (N2)
REGION A
TOPOGRAPHIC EFFECT (T1)
WIND DIRECTION (PARTIAL SHIELDING)
CALCULATION OF WIND SPEED = 33

SHEET NO: 1 OF 12 DRG NO: MH2 2025-077

PROJECT:
PROPOSED 2 x WAREHOUSES

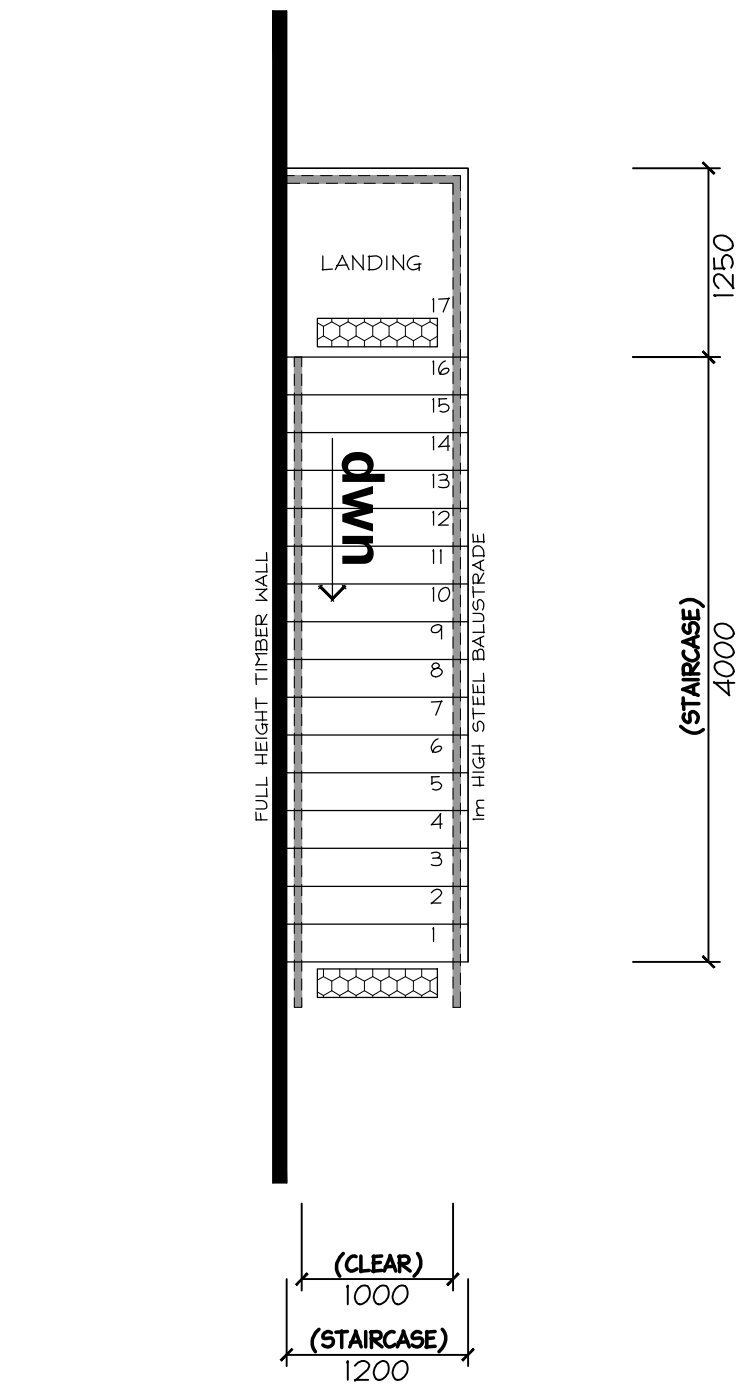
CLIENT:
TENROD ENTERPRISES PTY LTD

ADDRESS:
LOT 14, TWO UP DRIVE, BURONGA, NSW.

SCALE: AS SHOWN DATE: SEP '25

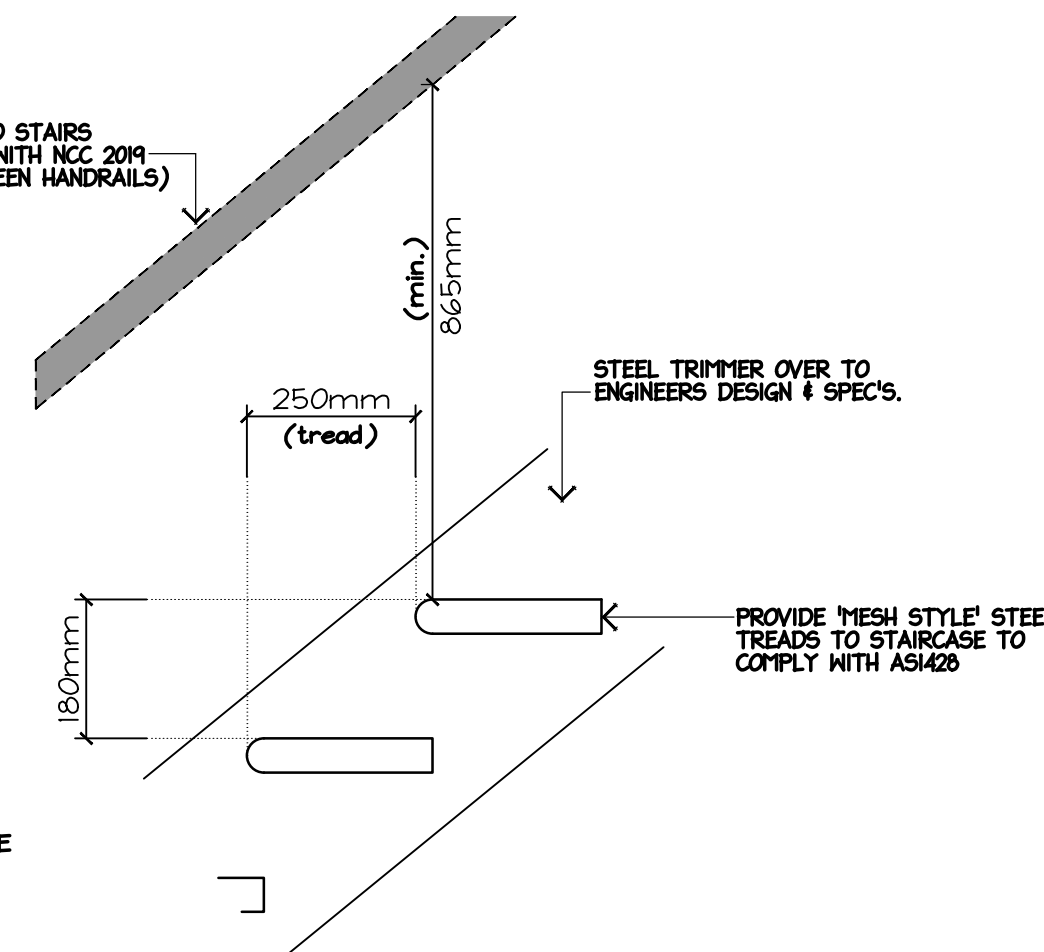


mark@mh2.com.au mick@mh2.com.au
0438 210 139 0427 237 668
No. 5 Burns Street, Gol Gol, N.S.W. 2738
ABN: 43 634 027 464 DP No: AD 26770



STAIR LAYOUT 1:50

PROVIDE SELECTED HANDRAIL TO STAIRS
AS SHOWN SHADED TO COMPLY WITH NCC 2019
(ENSURE 1000mm OPENING BETWEEN HANDRAILS)



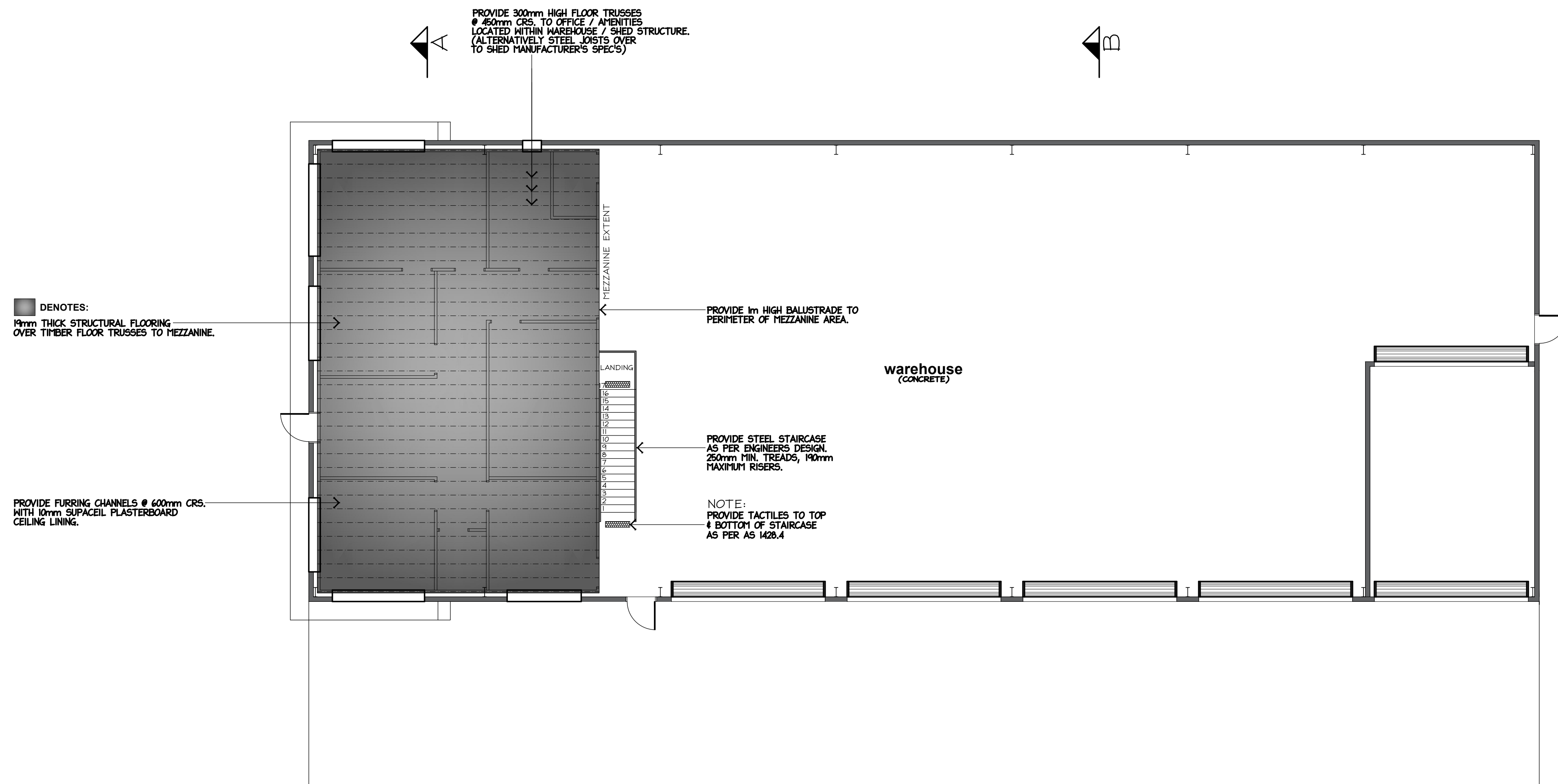
DIMENSIONS: 3054mm OVERALL HEIGHT OF STAIRS.
17 RISERS @ 174.6mm APPROX. HEIGHT PER STEP.
MINIMUM TREAD = 240mm (ADOPT 250mm)
STAIR SHALL COMPLY WITH THE BUILDING CODE
OF AUSTRALIA.

HANDRAILS: 865mm MIN. ABOVE STAIR NOSING.

BALUSTRADE: 1000mm HIGH (MINIMUM) STEEL BALUSTRADE

NOTES: OPENINGS BETWEEN OPEN STAIR TREADS,
BALUSTERS AND RAILS MUST NOT EXCEED
125mm. A 125mm SPHERE MUST NOT
PASS THROUGH.

STAIR DETAIL 1:10



(WAREHOUSE #1)
MEZZANINE/STRUCTURAL
LAYOUT PLAN 1:100



SHEET NO: 4 OF 12 **DRG NO:** MH2 2025-077

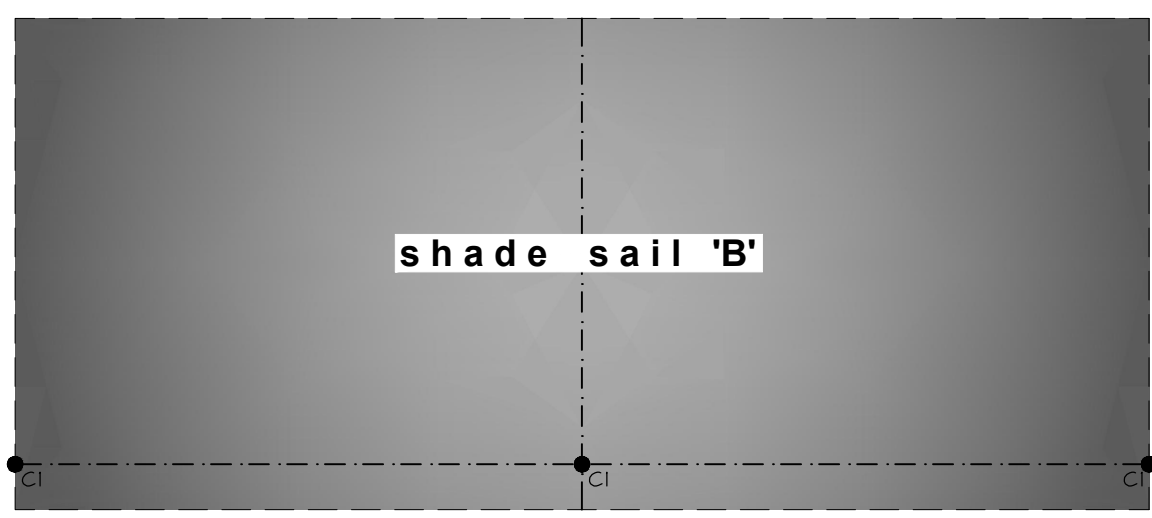
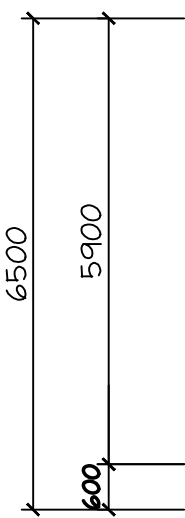
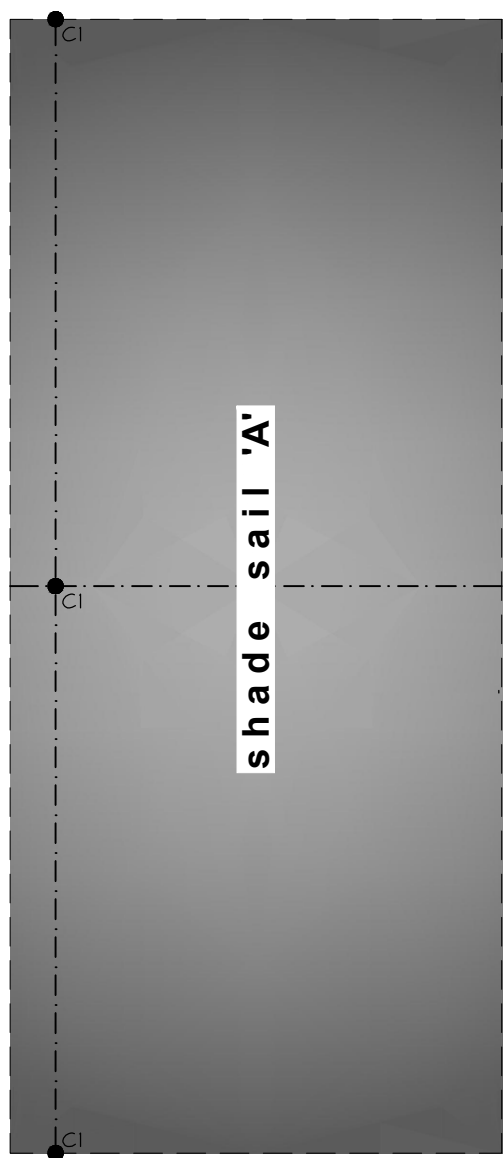
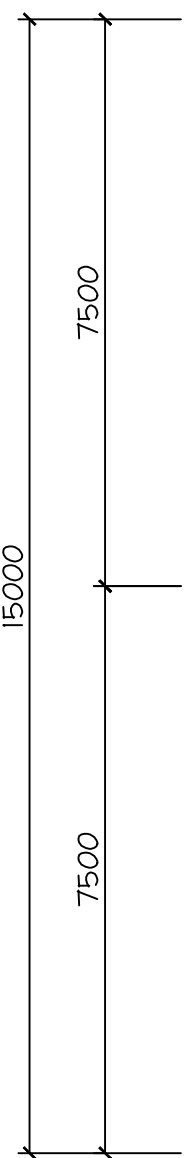
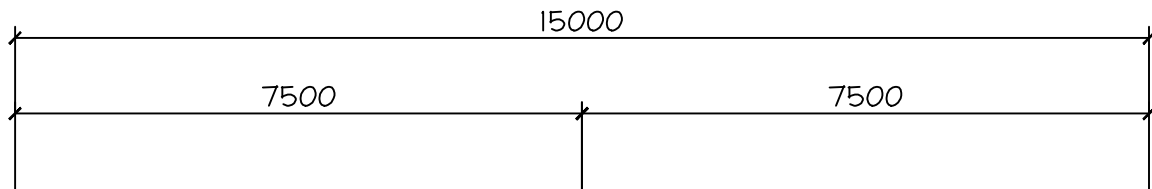
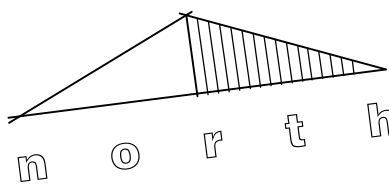
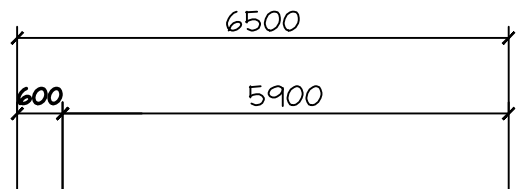
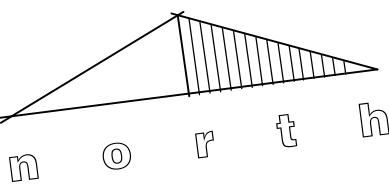
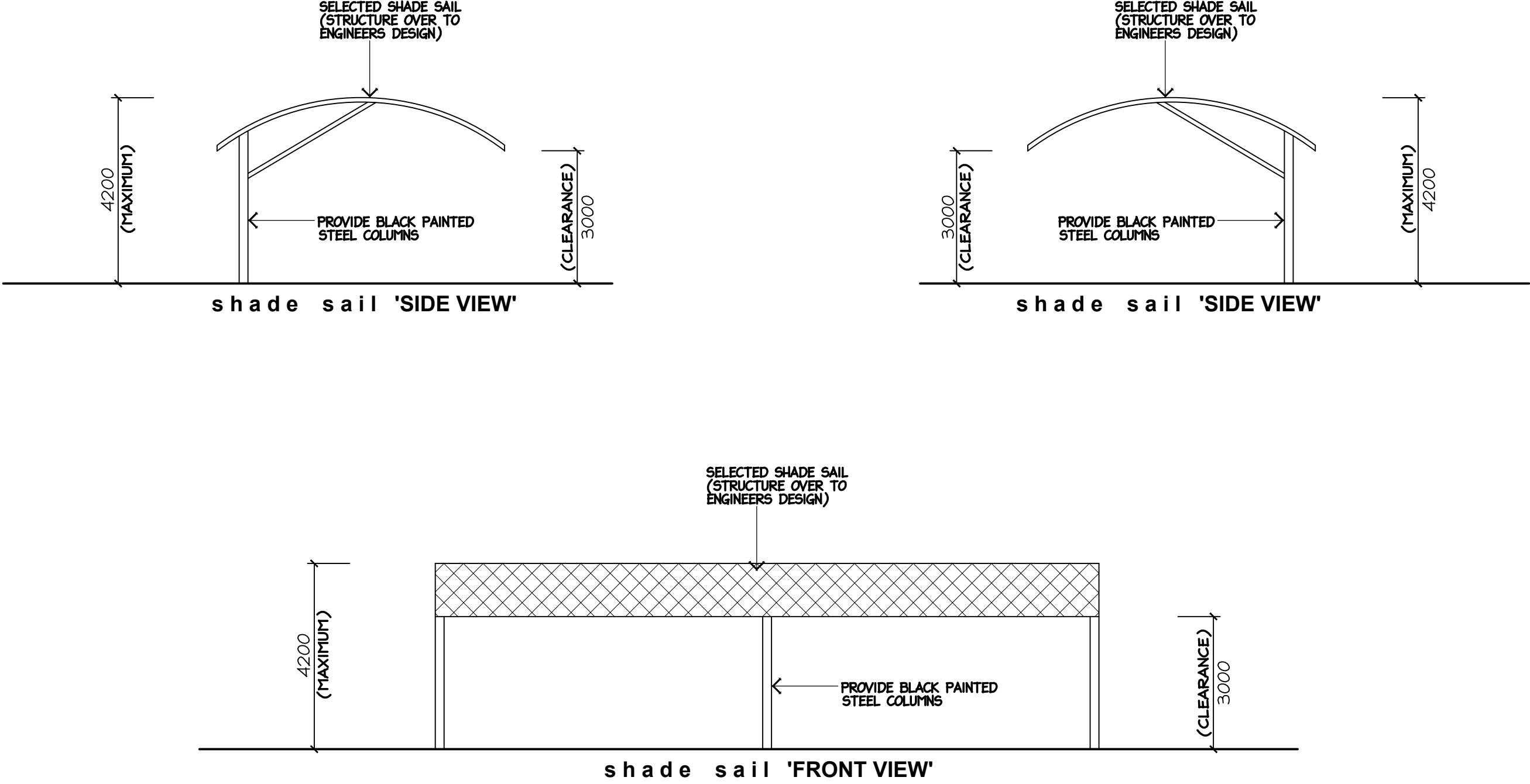
PROJECT:
PROPOSED 2 x WAREHOUSES

CLIENT:
TENROD ENTERPRISES PTY LTD

ADDRESS:
LOT 14, TWO UP DRIVE, BURONGA, NSW.

SCALE: AS SHOWN **DATE:** SEP '25





(SHADE SAILS)
PROPOSED FLOOR PLAN 1:100



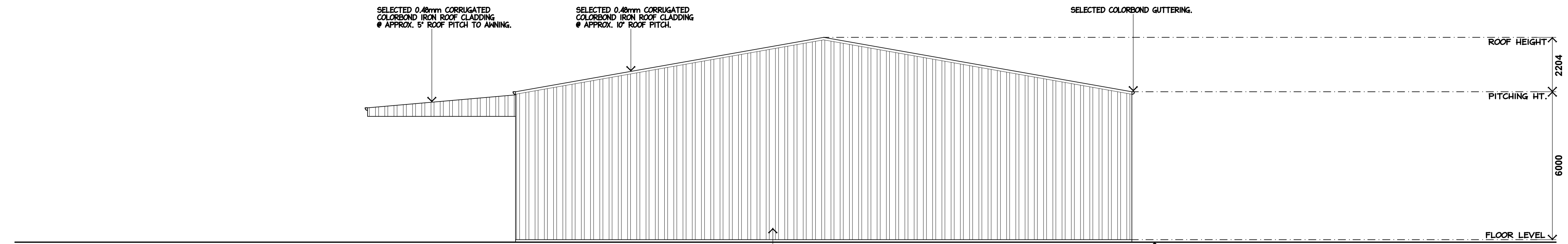
This page was referenced in the following
NCC 2022 Section J compliance report:
REPORT NO. **PHR-25-676** REV. **C1**

SHEET NO: 10 OF 12 **DRG NO:** MH2 2025-077
PROJECT:
PROPOSED 2 x WAREHOUSES
CLIENT:
TENROD ENTERPRISES PTY LTD
ADDRESS:
LOT 14, TWO UP DRIVE, BURONGA, NSW.
SCALE: AS SHOWN **DATE:** SEP '25

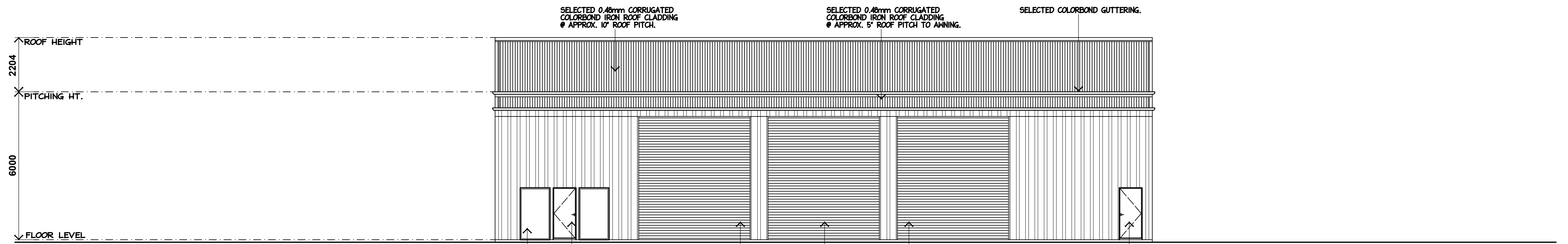
(D.A. APPROVAL ONLY)



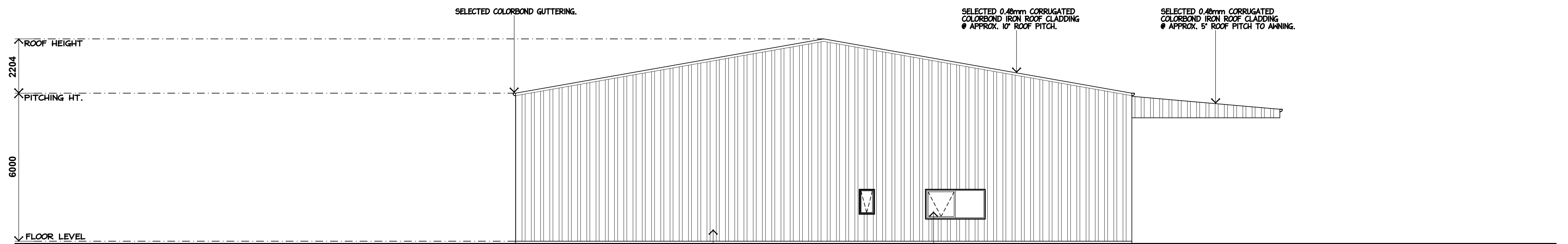
mark@mh2.com.au mick@mh2.com.au
0438 210 139 0427 237 668
No. 5 Burns Street, Gol Gol, N.S.W. 2738
ABN: 43 634 027 464 DP No: AD 26770



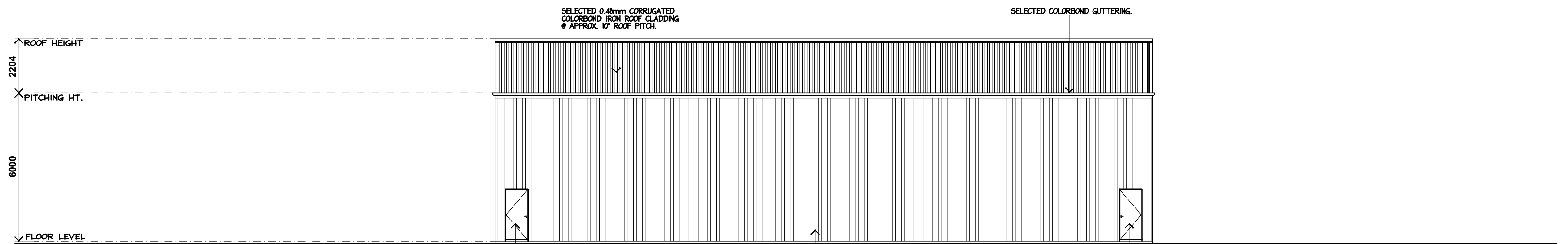
(WAREHOUSE #2)
SOUTH ELEVATION 1:100



(WAREHOUSE #2)
WEST ELEVATION 1:100



(WAREHOUSE #2)
NORTH ELEVATION 1:100



(WAREHOUSE #2)
EAST ELEVATION 1:100



SHEET NO: 7 OF 12 **DRG NO:** MH2 2025-077

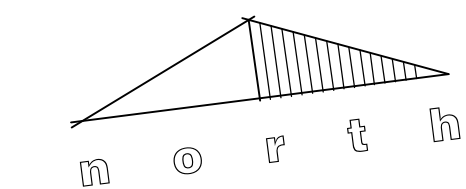
PROJECT:
PROPOSED 2 x WAREHOUSES

CLIENT:
TENROD ENTERPRISES PTY LTD

ADDRESS:
LOT 14, TWO UP DRIVE, BURONGA, NSW.

SCALE: AS SHOWN **DATE:** SEP '25



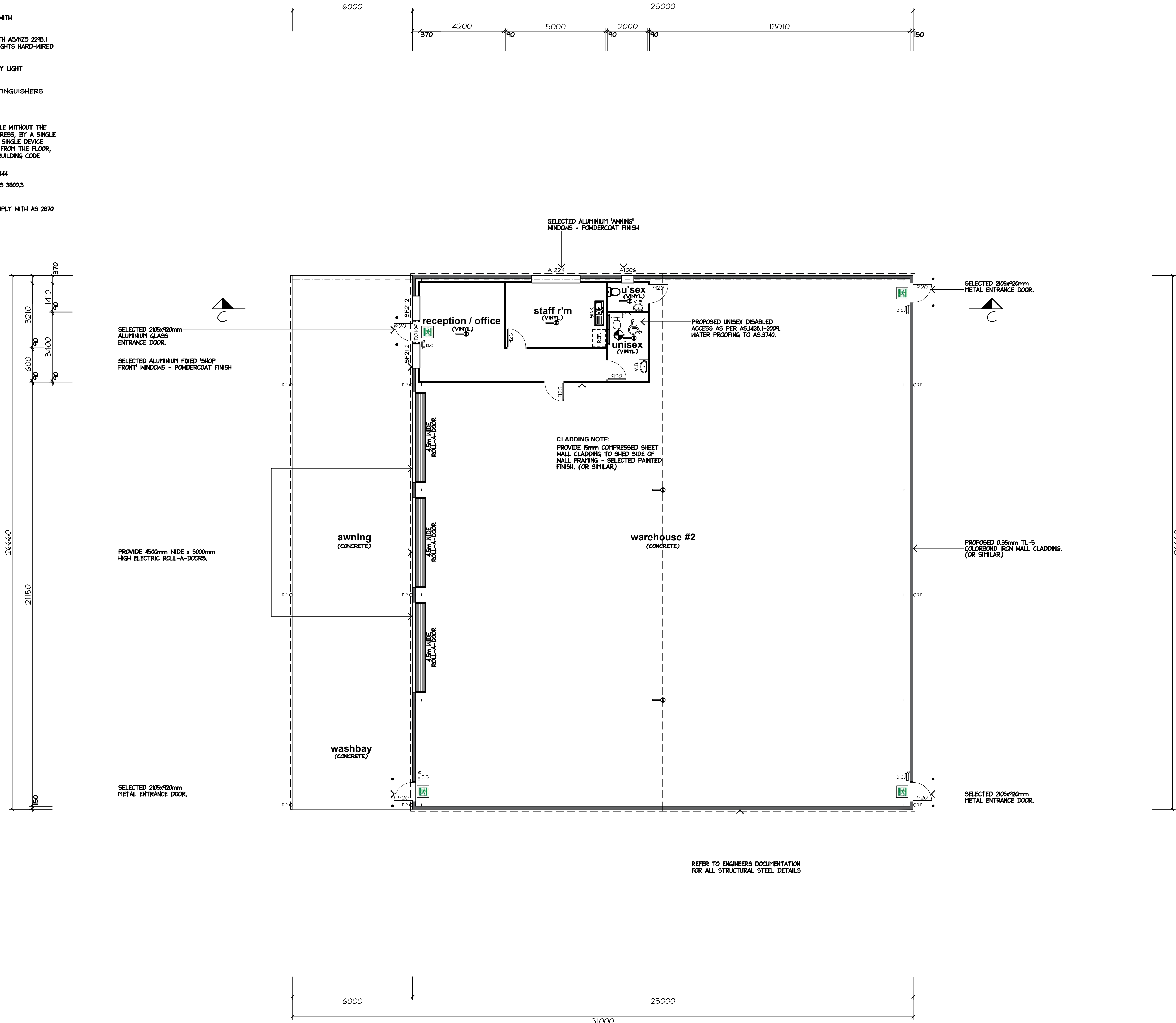


NOTES:

- DENOTES EMERGENCY EXIT SIGNS COMPLYING WITH AS/NZS 2293.1
- DENOTES EMERGENCY LIGHTING COMPLYING WITH AS/NZS 2293.1
-EMERGENCY LIGHTING TO BE FLUORESCENT LIGHTS HARD-WIRED BACK TO SWITCHBOARD.
- DENOTES 250mm EXHAUST FAN TRIGGERED BY LIGHT SWITCH # TO BE DUCTED TO OUTSIDE AIR.
- 4A-60B/E - DRY CHEMICAL FIRE EXTINGUISHERS
- SELECTED BOLLARDS

ALL EXIT DOORS ARE TO BE READILY OPENABLE WITHOUT THE USE OF A KEY FROM THE PERSON SEEKING EGRESS, BY A SINGLE HANDED DOWNWARD ACTION OF PUSHING ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900 AND 1000mm FROM THE FLOOR, IN ACCORDANCE WITH CLAUSE D 2.21 OF THE BUILDING CODE OF AUSTRALIA 2014.

- FIRE EXTINGUISHERS TO COMPLY WITH AS 2444
- STORMWATER DRAINAGE TO COMPLY WITH AS 3500.3
- ROOF COVERINGS TO COMPLY WITH AS 1562.1
- DAMP PROOFING / VAPOUR BARRIER TO COMPLY WITH AS 2670



ALUMINIUM WINDOW / DOOR SCHEDULE

WINDOW No.	SERIAL No.	WINDOW SIZE	QUANTITY	LINTEL SIZE
W1	SF2112	2100x1210	2	SHED MANUF'S DETAILS
W2	A1224	1200x2410	1	SHED MANUF'S DETAILS
W3	A1006	1000x610	1	SHED MANUF'S DETAILS
D1	D2109	2105x920	1	SHED MANUF'S DETAILS

-LINTEL & STUDS BESIDE OPENINGS, SIZES ARE TO BE CHECKED ONCE A ROOF TRUSS PLAN HAS BEEN DEVELOPED. THIS IS TO BE DONE BY THE ROOF TRUSS MANUFACTURER.

PROVIDE 2No. 90 x 45mm MGP12 JAMB STUDS TO ALL OPENINGS.



general notes:

- ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE NATIONAL CONSTRUCTION CODE, STATE BUILDING REGULATIONS & LOCAL AUTHORITY REQUIREMENTS.
- CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS.
- FIGURED DIMENSIONS HAVE PREFERENCE TO SCALE.
- PLANS SHALL BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS & ATTACHED DOCUMENTATION.
- IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE BUILDING IS WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE IS SHOWN CORRECT.
- IT IS THE BUILDERS RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY SERVICES WHICH MAY HINDER CONSTRUCTION OR CAUSE ALTERATIONS TO DESIGN BEFORE COMMENCING ANY WORK.
- DENOTES SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH AS 3786 - 2014, & TO BE INTERCONNECTED IF MORE THAN ONE.
- DENOTES ARTICULATION JOINT TO BE CONSTRUCTED IN ACCORDANCE WITH CACA TECHNICAL NOTE 61.
- GLAZING TO COMPLY WITH 1298 - 2021 "GLASS IN BUILDINGS - SELECTION & INSTALLATION", & 2047-2014 "WINDOWS IN BUILDINGS - SELECTION & INSTALLATION".
- OVERFLOW RELIEF GULLY REQUIREMENTS ARE TO COMPLY WITH AS 3500 - 2021 "SANITARY PLUMBING & SANITARY DRAINAGE".
- SOLID FUEL COMBUSTION HEATERS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2918 - 2018 "DOMESTIC SOLID FUEL".
- BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2021 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
- PROVIDE EXPANSION JOINTS IN TILED AREAS EVERY 5m MINIMUM.

WINDOW TYPE	ALUMINIUM FIXED & AWNING
LINTEL TYPE	STEEL
FLYWIRE TO ALL OPENINGS	*CHECK LINTELS SUPPORTING GIRDER TRUSSES

AREAS:	
PROPOSED WAREHOUSE #2	603.04m2
PROPOSED OFFICE / AMENITIES	63.46m2
PROPOSED AWNING	159.96m2

TOTAL 826.46 m2

TERRAIN CATEGORY 2.5 WIND CLASSIFICATION (N2)
REGION A
TOPOGRAPHIC EFFECT (T1)
WIND DIRECTION (PARTIAL SHIELDING)
CALCULATION OF WIND SPEED = 33

SHEET NO: 6 OF 12 DRG NO: MH2 2025-077

PROJECT:
PROPOSED 2 x WAREHOUSES

CLIENT:
TENROD ENTERPRISES PTY LTD

ADDRESS:
LOT 14, TWO UP DRIVE, BURONGA, NSW.

SCALE: AS SHOWN DATE: SEP '25

(D.A. APPROVAL ONLY)



mark@mh2.com.au mick@mh2.com.au
0438 210 139 0427 237 668
No. 5 Burns Street, Gol Gol, N.S.W. 2738
ABN: 43 634 027 464 DP No: AD 26770