

Reference: DA20250012

Statement of Environmental Effects

Accompanying a development application for removal of
garden shed and development of shed in association with a
dwelling house

At

83 and 90/-/DP756946

39 GOL GOL NORTH ROAD GOL GOL

1. Introduction

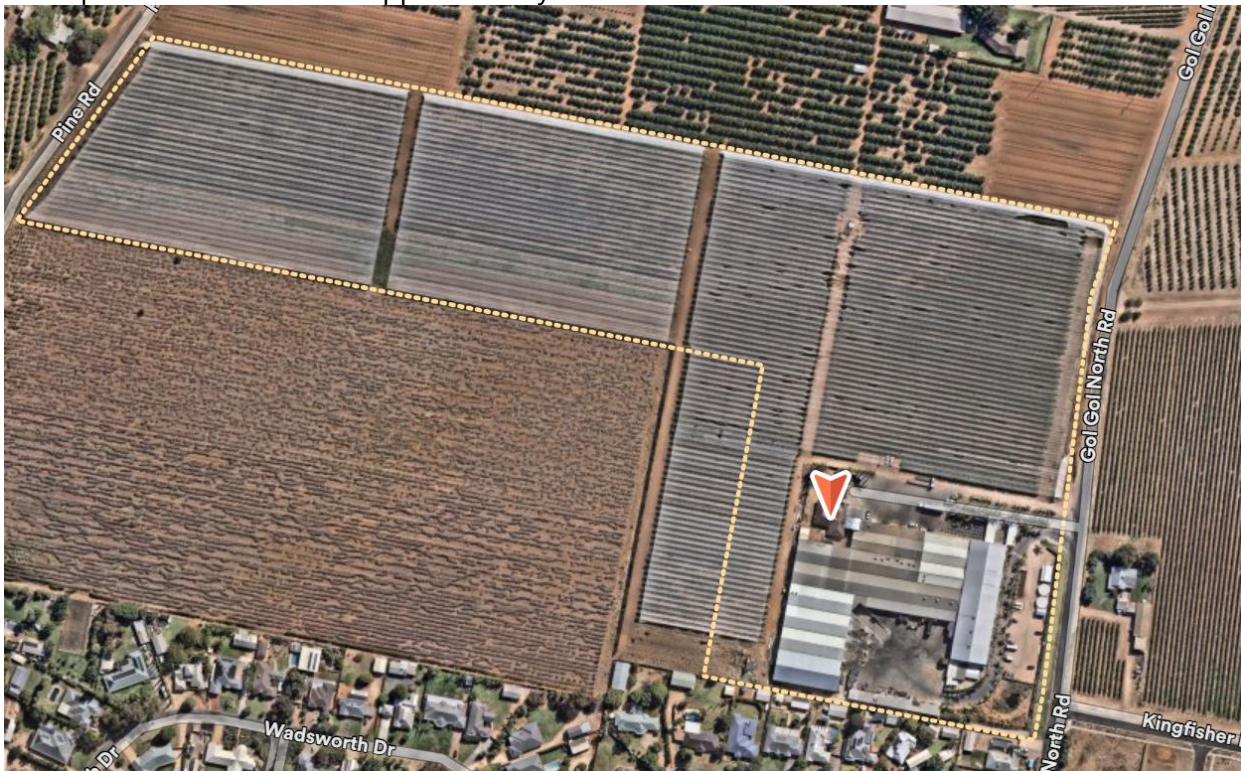
This statement of environmental effects has been prepared to accompany a development application for construction of a storage shed at 39 Gol Gol North Road, Gol Gol.

The proposal has been designed to achieve the relevant provisions of Wentworth Local Environmental Plan 2011, and Clause 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). This application seeks approval for the construction of a shed. The shed will be utilised solely in association with the existing dwelling.

2. Site description and analysis

2.1 Location and property description

The subject site is located on the east side of Gol Gol North Road and west side of Pine Road. It is irregular in shape and has an area of approximately 13.85 hectares.

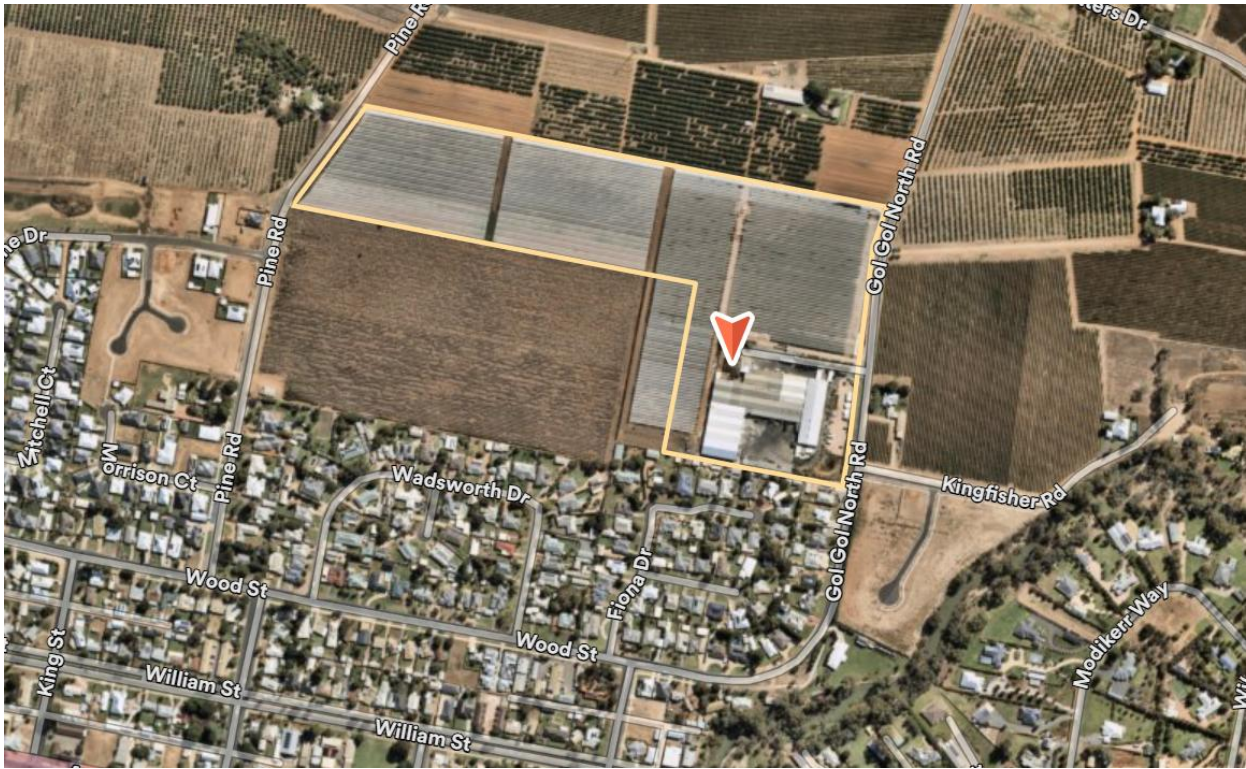


2.2 Site characteristics

The site currently contains a dwelling house, large industrial sheds and horticultural fields. The site is clear in terms of vegetation.

2.3 Surrounding development

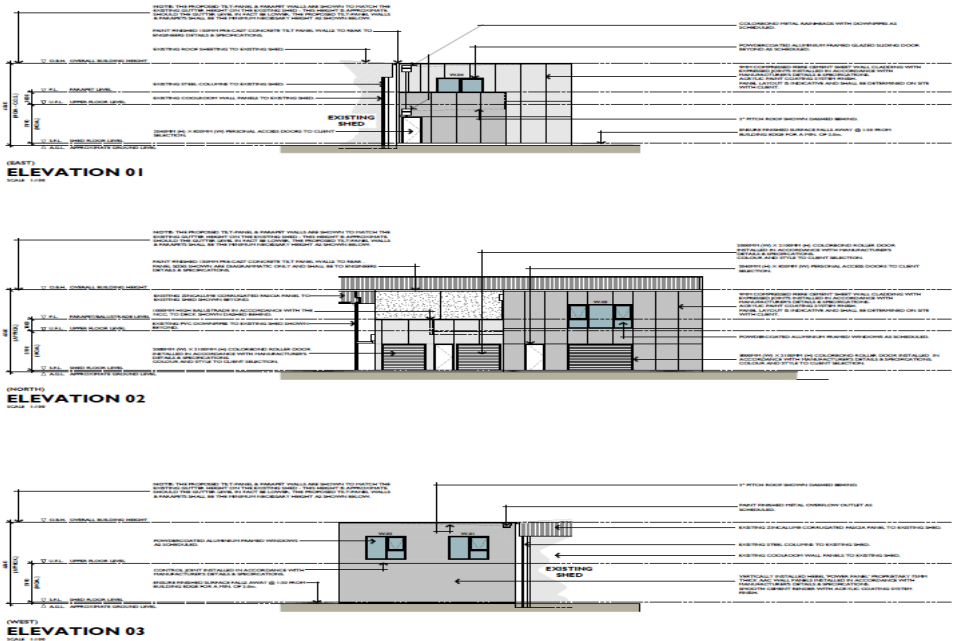
Immediate surrounding area to the south comprises smaller lots within RU5 and are developed with single dwellings with associated infrastructure. Allotments to the north and west comprises larger lots with agricultural uses in RU4.



3. Details of proposal

3.1 Proposed works

The proposal is to remove the existing garden shed and construct a double storey storage shed in association with the dwelling house on the land. It will have a ground floor area of 107.92m² and will be used to store garden equipment and general storage. The first floor will have an area of 94.7m². It will have three roller doors along the northern elevation and will have an overall height of 6.56m. It will be located to the south of existing dwelling house and adjacent to the existing shed.



4. Clause 4.15 -Matters for consideration

The following provides an assessment of the proposal against the provisions of Clause 4.15 of the Environmental Planning and Assessment Act (as amended).

State Environmental Planning Policies

The following State Environmental Policies apply to this land:

- *State Environmental Planning Policy (Biodiversity and Conservation) 2021: Excluded (pub. 21 -10-2022)*
- *State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021)*
- *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008)*
- *State Environmental Planning Policy (Housing) 2021: Land Application (pub. 26-11-2021)*
- *State Environmental Planning Policy (Industry and Employment) 2021: Land Application (pub. 2-12-2021)*
- *State Environmental Planning Policy (Planning Systems) 2021: Land Application (pub. 2-12- 2021)*
- *State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12- 2021)*
- *State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2 -12-2021)*
- *State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2- 12-2021)*
- *State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29- 8-2022)*
- *State Environmental Planning Policy (Transport and Infrastructure) 2021: Land Application (pub. 2-12-2021)*

The proposal will not contravene any of the above policies as the scale of the development is small. No vegetation has been proposed for removal.

Local Environmental Plan

The subject site is zoned RU1- Village and the zone has the following objectives:

- *To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.*
- *To encourage diversity in primary industry enterprises and systems appropriate for the area.*
- *To minimise the fragmentation and alienation of resource lands.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To encourage and promote the growth and diversification of economic and employment opportunities in agriculture, horticulture and tourism.*
- *To enable the development of restaurants and cafes and kiosks as part of agritourism development.*

The proposal does not contravene the zone in any way and is consistent with the development on surrounding properties. Such development is anticipated in the zone in association with existing dwelling houses for storage purposes.

Wentworth Development control plan 2011

The proposal in general complies with the Development Control Plan. The site is located outside the boundary of Gol Gol urban release area as per the DCP.

The proposal will not result in any unreasonable impact on the landscape and on the adjoining properties as it will not be visible from the road given it will be located to the rear of the existing large shed.

5.3 Rural Dwellings

Objective

To ensure the appropriate form of residential development in the rural zones within the Wentworth Shire Council local government area.

The shed will meet the controls under this section as follows:

It will be setback more than 50 metres from the road. Colours and materials will be consistent with the rural character of the area. The amenity of the surrounding landowners will not be impacted as it will not be visible.

5.4 Rural Sheds

Objective

To ensure the appropriate use of sheds within the rural zone within the Wentworth local government area.

No habitation has been proposed for the shed, and it will only be used for storage purposes.

The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.

The amenity of the area will not be impacted as such development is anticipated under the zone. The surrounding area is developed in a similar manner particularly to the south with dwellings and sheds and therefore it will be consistent with the character of the area. No vegetation will be removed to facilitate the construction.

The suitability of the site for the development,

The area of the land is large enough to accommodate the proposal.

5.0 Other considerations

5.1 Visual Impacts

The subject land is already developed with a dwelling house and large sheds. Being reasonably setback from the road, the proposed works will not have any visual impact on the local area. The shed will be setback significantly from the boundaries.

5.2 Open Space

The subject land has an area of approximately 13.85 hectares and provides for adequate open space.

5.3 Overshadowing and Privacy

The proposal will be setback reasonably from the dwellings in the area and will not impact any existing dwellings in relation to overshadowing therefore not resulting in any overlooking which can cause privacy issues.

5.4 Noise

Such development is anticipated under the zone and is considered normal.

5.5 Erosion Control Measures

All erosion control measures will be undertaken by the builder to ensure no offsite impacts.

5.6 Economic and Social Impacts

The proposal will not result in any social or economic impacts. It will rather create economic benefit in relation to jobs by employing a local business to do the works.

5.7 Environmental Benefits

There are to be no adverse environmental impacts that will result from the proposal.

5.8 Disabled Access

Not applicable.

5.9 Security, Site Facilities and Safety

Not applicable as the proposal only involves construction of a shed.

5.10 Waste Management

No waste management will be required. Waste during construction will be managed by the provision of garbage receptacle.

5.11 Building Code of Australia

The proposal will be constructed in accordance with the Building Code of Australia and Council requirements.

5.12 Traffic

The proposal will not generate any additional traffic.

5.13 Stormwater/flooding

Stormwater will be managed on site as the area of the land is large.

6.0 Conclusion

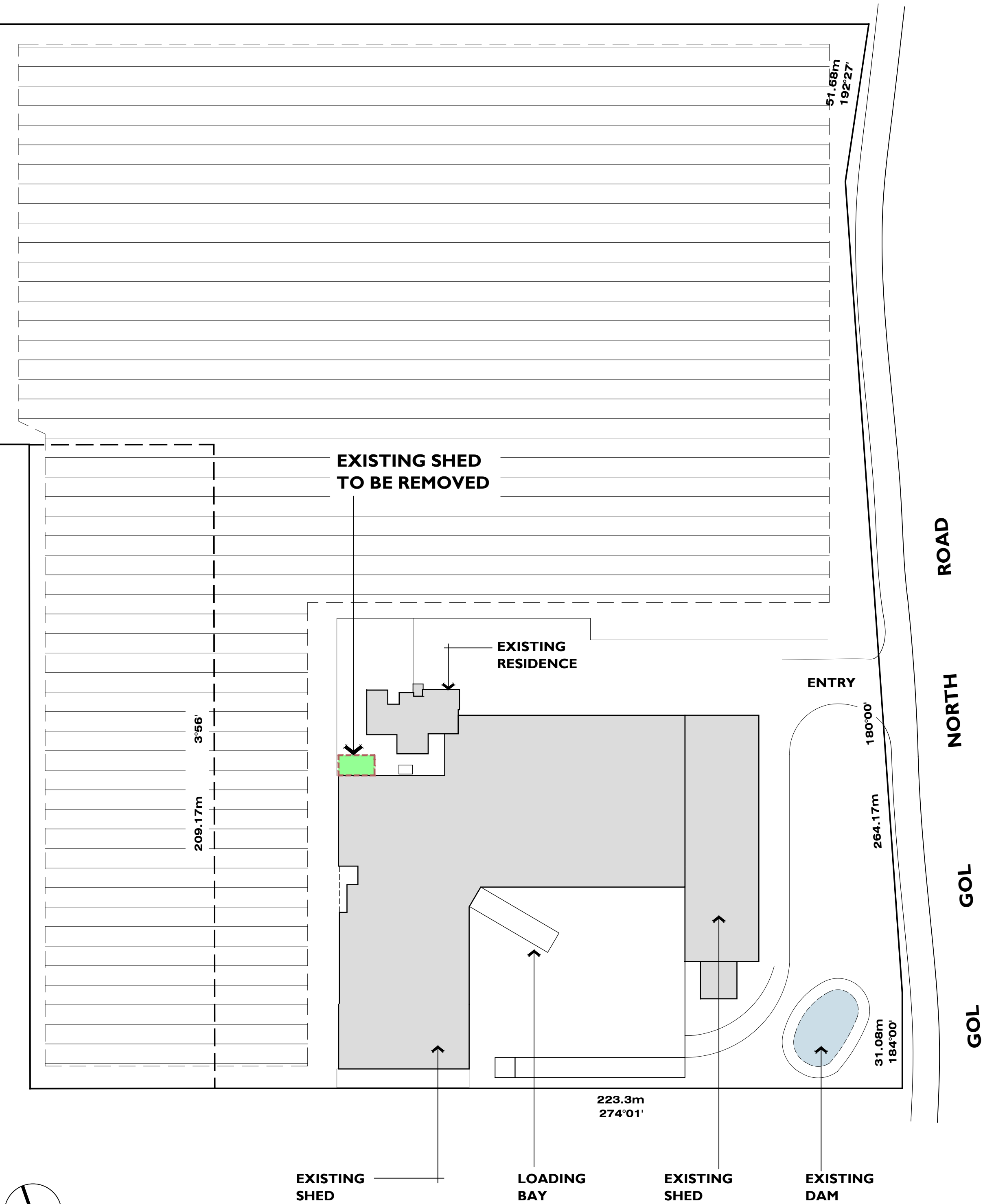
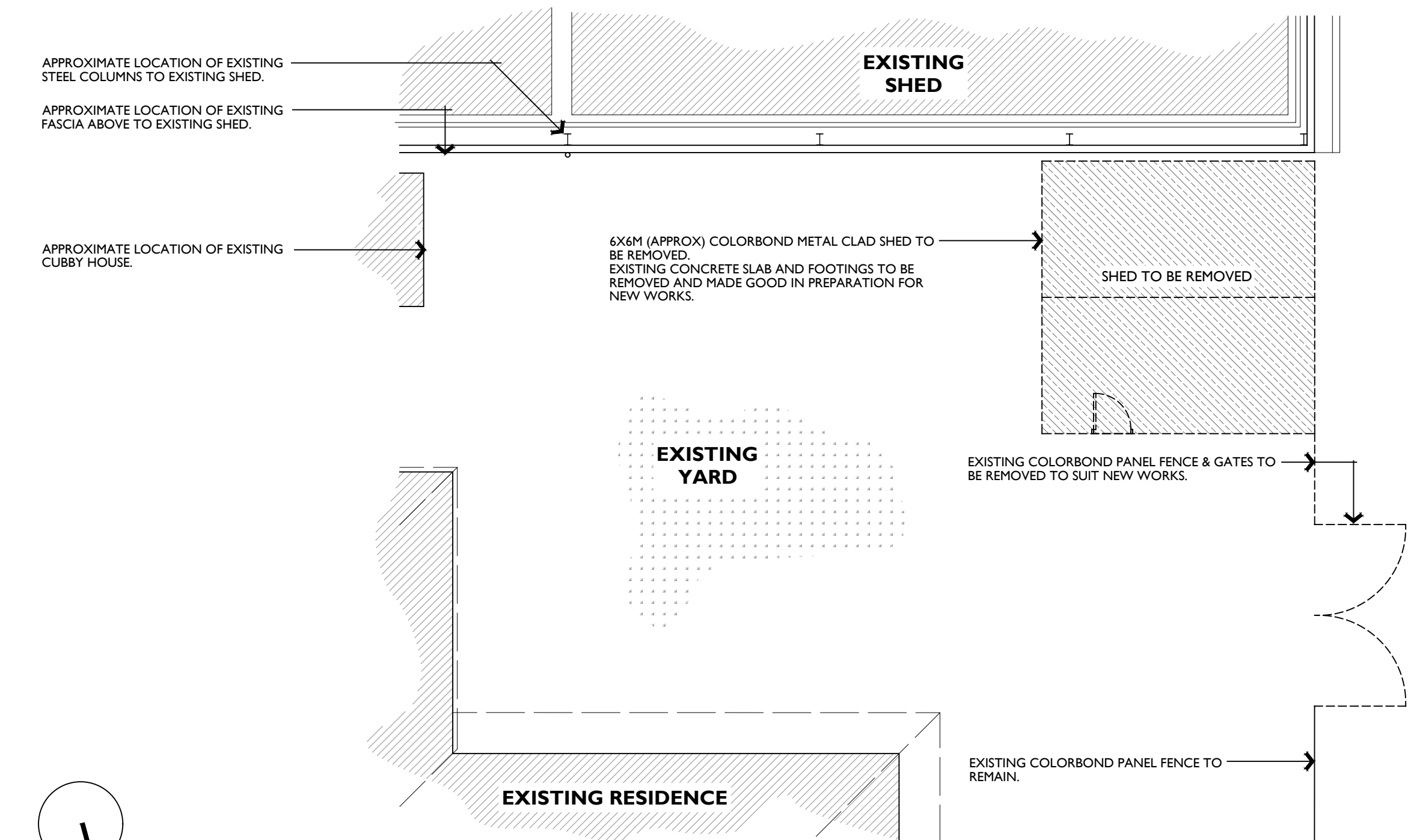
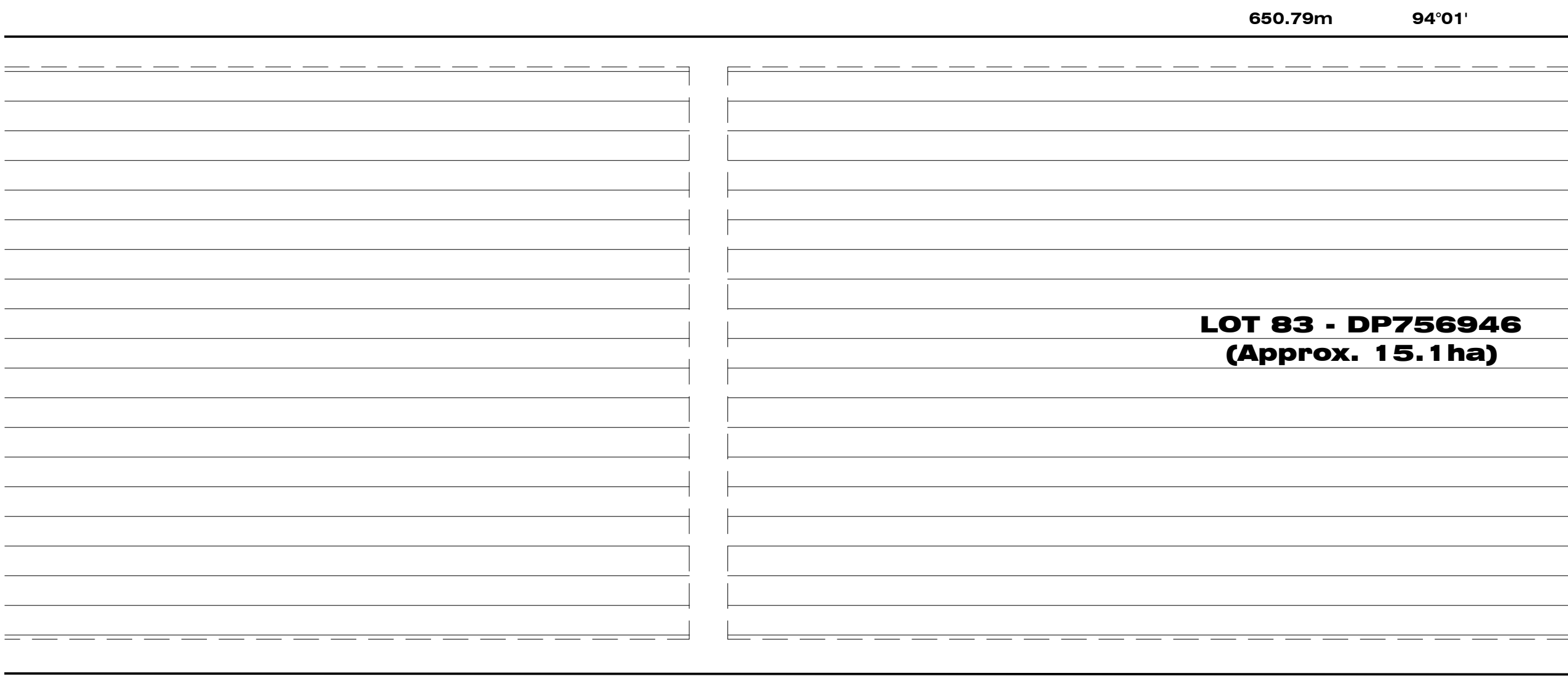
The application is considered appropriate in this instance. The proposal in general is consistent with the surrounding land uses and development. Accordingly, it is recommended the development approval be granted.



Brent. A Williams

Managing Director

C.P.P | M.P.I.A | M.A.I.B.S



PART SITE/DEMOLITION PLAN

SCALE: 1:1000

DEMOLITION FLOOR PLAN

SCALE: 1:100

DEMOLITION NOTES

GENERAL DEMOLITION ITEM SHOWN DASHED.

- ALL DEMOLITION WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH AS2601 AND ALL RELEVANT CODES OF PRACTICE.
- SERVICES:**
ALLOW FOR CUTTING OFF AND/OR SEALING OFF OF EXISTING SERVICES WHERE REQUIRED. ALL SERVICES TO BE CHECKED ON SITE PRIOR TO ANY WORKS & ALLOWANCE MUST BE MADE FOR THE RELOCATION OR TERMINATION.
- HAZARDOUS MATERIALS:**
GIVE NOTICE IMMEDIATELY IF HAZARDOUS MATERIALS OR CONDITIONS ARE FOUND, INCLUDING THE FOLLOWING: ASBESTOS OR MATERIAL CONTAINING ASBESTOS, FLAMMABLE OR EXPLOSIVE LIQUIDS OR GASES, TOXIC INFECTIVE OR CONTAMINATED MATERIALS, RADIATION OR RADIO-ACTIVE MATERIALS, NOXIOUS OR EXPLOSIVE CHEMICALS, TANKS OR OTHER CONTAINERS WHICH HAVE BEEN USED FOR STORAGE OF EXPLOSIVE/TOXIC/INFECTIVE OR CONTAMINATED SUBSTANCES.
- DUST PROTECTION:**
PROVIDE DUST-PROOF SCREENS, BULKHEADS AND COVERS TO PROTECT EXISTING FINISHES AND THE IMMEDIATE ENVIRONMENT FROM DUST & DEBRIS.
- SAFETY:**
THE SAFETY OF ALL STRUCTURES, ETC. IS THE ENTIRE RESPONSIBILITY OF THE BUILDER.
- CLEARING EXCAVATED MATERIAL:**
ALL EXCAVATED MATERIAL IS TO BE REMOVED FROM SITE AS IT IS PRODUCED AN NO RUBBISH OR SURPLUS OF EXCAVATED MATERIAL IS TO ACCUMULATE.
GENERAL:
ANY HIGH TEMPERATURE CUTTING OR WELDING IS TO BE CARRIED OUT AND PRECAUTIONS IN AS1674 SHALL BE OBSERVED. ANY MATERIALS PAINTED IN LEAD BASED PAINTS ARE REQUIRING CUTTING OR WELDING, COULD CAUSE NOXIOUS FUMES AND THE APPROPRIATE RESPIRATORY EQUIPMENT SHALL BE PROVIDED TO ALL WORKERS IN THE AREA.
- NO DEMOLITION ACTIVITY SHALL CAUSE DAMAGE TO, OR AFFECT THE STRUCTURAL INTEGRITY OF NEIGHBOURING BUILDINGS.
- BEFORE COMMENCEMENT OF ANY STRIPPING OR DEMOLITION, AN INSPECTION OF ANY POSSIBLE HAZARDOUS MATERIALS SHOULD BE CARRIED OUT PRIOR TO COMMENCEMENT OF WORKS.
- NO DEMOLITION REFUSE OR WASTE SHALL BE ALLOWED TO ENTER THE SEWER OR STORMWATER SYSTEMS.

ISSUED FOR
PLANNING

Do & Die

Project:
PROPOSED STORAGE SHED

Client:
C & L SIMONETTA

Location:
39 GOL GOL NORTH ROAD, GOL GOL - NSW 2738

Project No: 24/25-037
Drawing No: SD-07

Drawing: PART SITE/DEMOLITION PLAN & DEMOLITION FLOOR PLAN

Date: 30 JULY 2025
Scale: AS SHOWN (at A1)

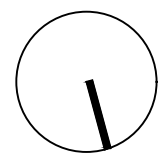
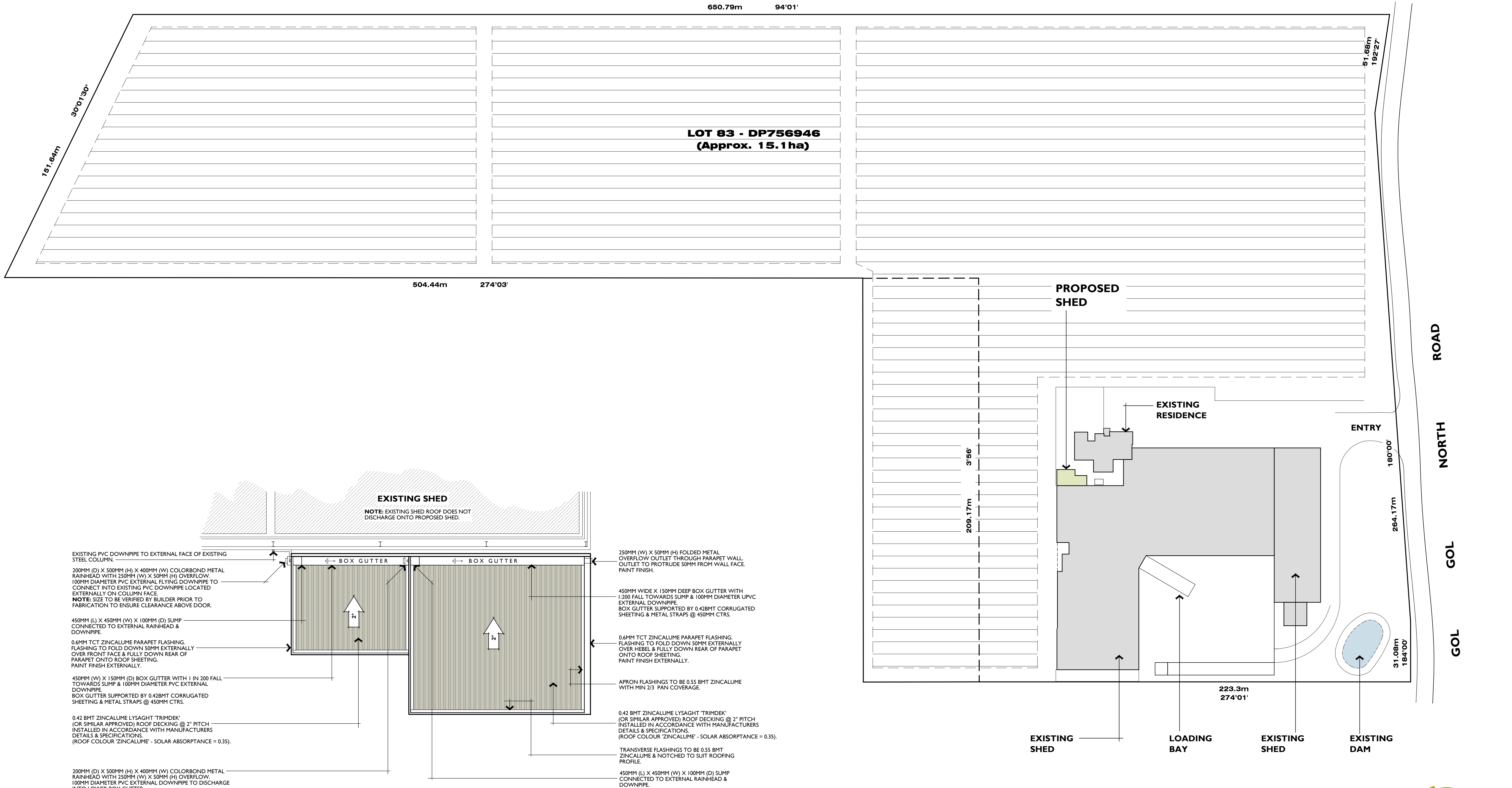
Sheet Size: A1

BUILDING DESIGN

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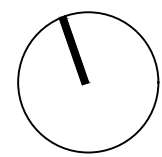
Contractor shall verify all dimensions on site and report any discrepancies to the Building Designer.
Scale verification (office use only)

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ROOF PLAN

SCALE: 1:100



SITE PLAN

SCALE: 1:1000



Project:
PROPOSED STORAGE SHED

Client:
C & L SIMONETTA

Location:
39 GOL GOL NORTH ROAD, GOL GOL - NSW 2738

Project No: 24/25-037
Drawing No: SD-02

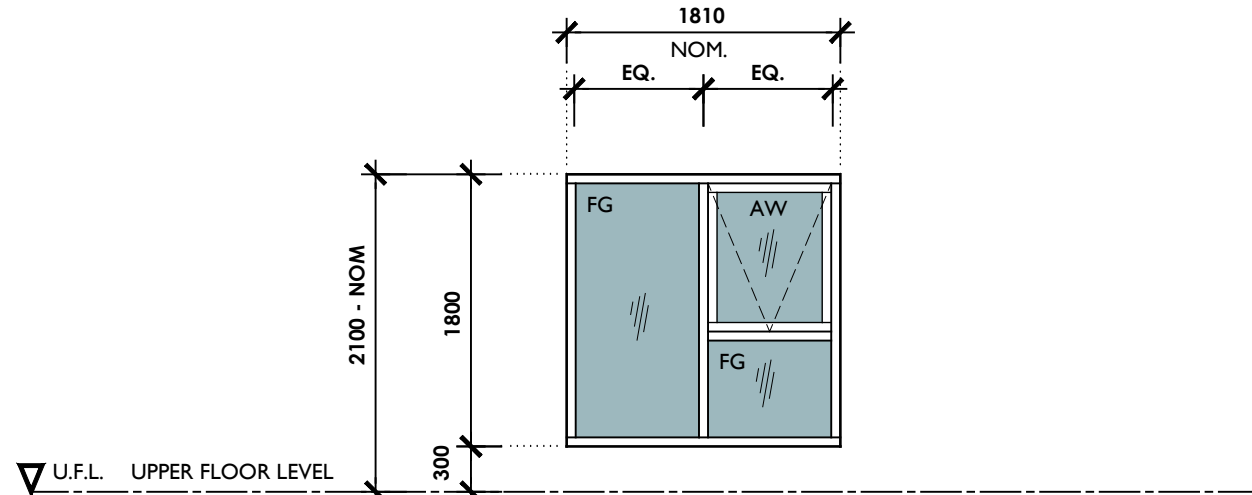
Drawing: SITE PLAN & ROOF PLAN

Date: 30 JULY 2025
Scale: AS SHOWN (at A1)
Sheet Size: A1

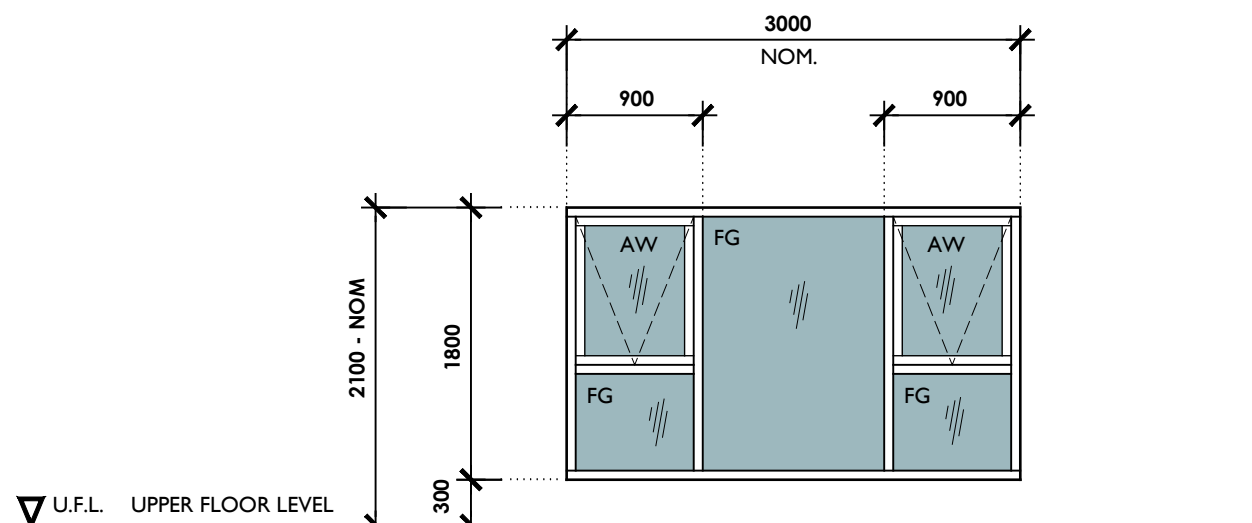
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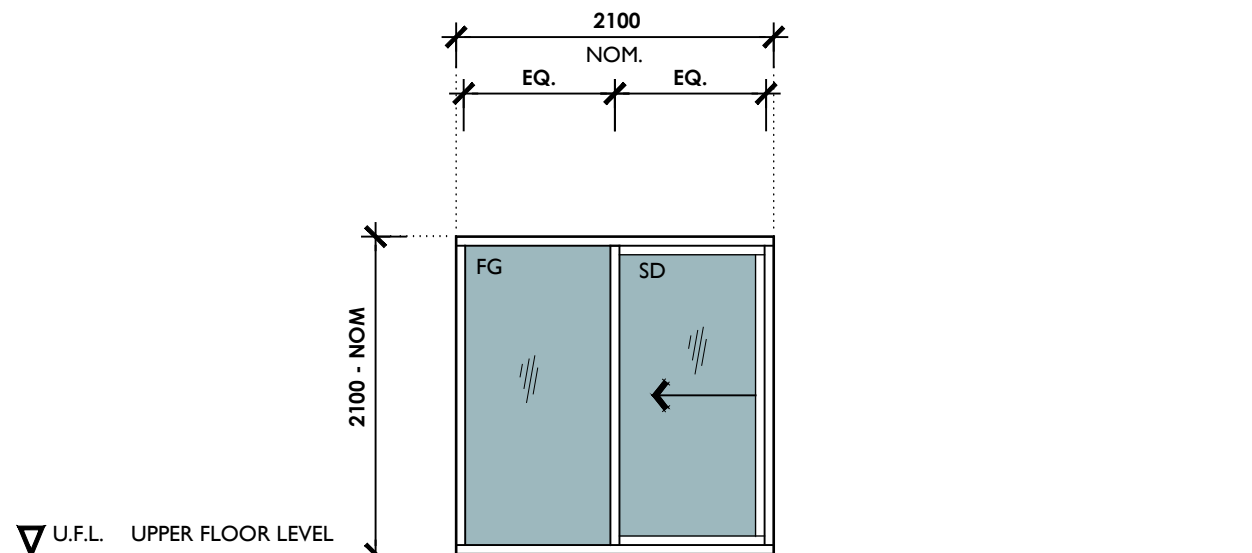
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WINDOW NO:	WD.01 & WD.02
WINDOW TYPE:	AW'S WINDOWS VANTAGE RESIDENTIAL 'S16 SERIES' ALUMINIUM FRAMED 50MM AWNING WINDOW.
FLY SCREEN:	YES.
FINISH:	POWDERCOAT FINISH. (COLOUR TO BE SELECTED).
LINTEL:	190X45 F17
GLAZING TYPE:	VIRIDIAN 'VTOUGH' GRADE A SAFETY GLASS. Colour: TO CLIENT SELECTION.
REVEAL:	TIMBER REVEAL INTERNALLY TO SUIT TIMBER FRAMED/HEBEL PANEL WALL CONSTRUCTION.
HARDWARE:	REFER WINDOW & DOOR NOTES.
NOTES:	AWNING WINDOW OPENING TO BE RESTRICTED TO 125MM.



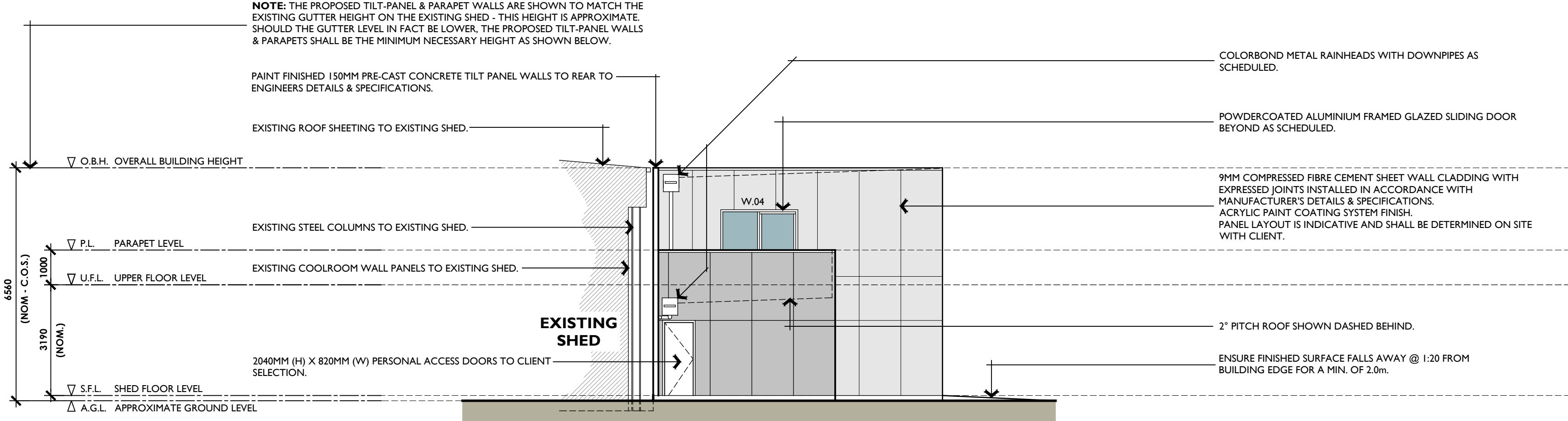
WINDOW NO:	WD.03
WINDOW TYPE:	AW'S WINDOWS VANTAGE RESIDENTIAL 'S16 SERIES' ALUMINIUM FRAMED 50MM AWNING WINDOW.
FLY SCREEN:	YES.
FINISH:	POWDERCOAT FINISH. (COLOUR TO BE SELECTED).
LINTEL:	290X45 F17
GLAZING TYPE:	VIRIDIAN 'VTOUGH' GRADE A SAFETY GLASS. Colour: TO CLIENT SELECTION.
REVEAL:	TIMBER REVEAL INTERNALLY TO SUIT 90MM TIMBER FRAMED WALL CONSTRUCTION.
HARDWARE:	REFER WINDOW & DOOR NOTES.
NOTES:	AWNING WINDOW OPENING TO BE RESTRICTED TO 125MM.



WINDOW NO:	WD.04
WINDOW TYPE:	AW'S WINDOWS VANTAGE RESIDENTIAL 'S41 SERIES' ALUMINIUM FRAMED SLIDING DOOR.
FLY SCREEN DOOR:	YES.
FINISH:	POWDERCOAT FINISH. (COLOUR TO BE SELECTED).
LINTEL:	190X45 F17
GLAZING TYPE:	VIRIDIAN 'VTOUGH' GRADE A SAFETY GLASS. Colour: TO CLIENT SELECTION.
REVEAL:	TIMBER REVEAL INTERNALLY TO SUIT 90MM TIMBER FRAMED WALL CONSTRUCTION.
HARDWARE:	REFER WINDOW & DOOR NOTES.

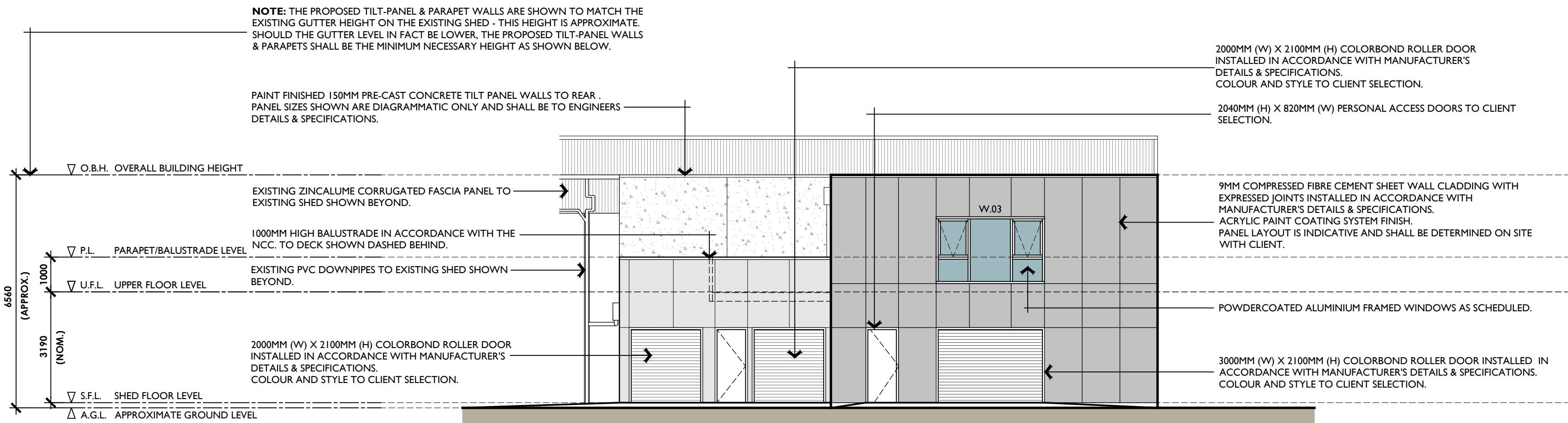
WINDOW SCHEDULE

SCALE 1:50



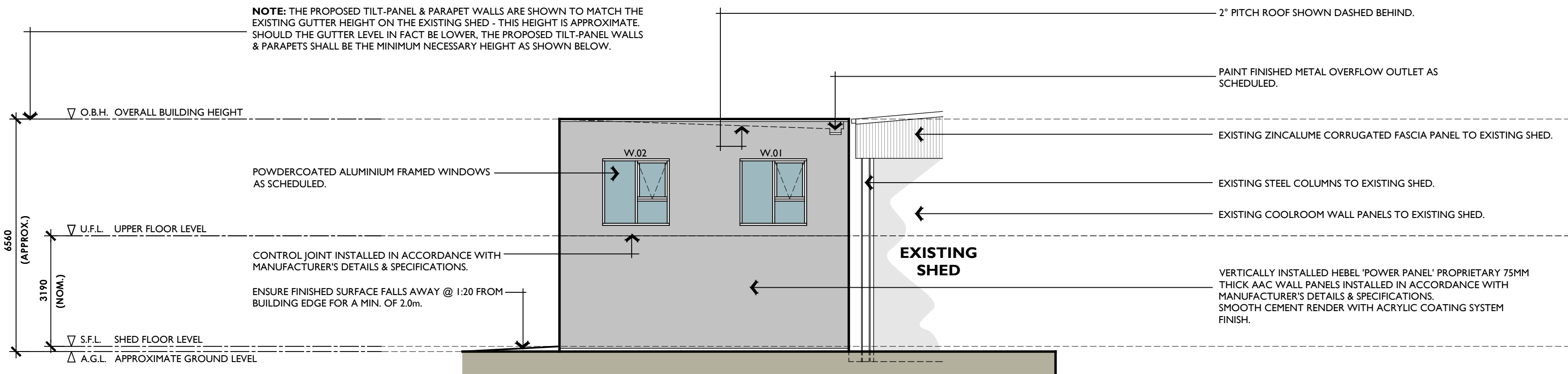
ELEVATION 01

SCALE 1:100



ELEVATION 02

SCALE 1:100



ELEVATION 03

SCALE 1:100

WINDOW/DOOR NOTES

- SCHEDULES ARE TO BE READ IN CONJUNCTION WITH FLOOR PLAN, SECTIONS AND ELEVATIONS.
- ALL EXTERNAL DOORS AND WINDOWS SHALL BE VIEWED FROM OUTSIDE.
- ALL INTERNAL DOORS ARE DISPLAYED FOR INFORMATION PURPOSES & SHALL BE READ IN CONJUNCTION WITH FLOOR PLAN FOR CORRECT VIEWING PROJECTION.
- REFER TO FLOOR PLAN FOR LEFT OR RIGHT HAND DOOR SWING.
- THE FABRICATOR SHALL VERIFY ALL DIMENSIONS ON SITE & CO-ORDINATE WITH OTHER TRADES PRIOR TO COMMENCEMENT OF FABRICATION.
- ALL WINDOWS AND DOORS TO BE IN ACCORDANCE WITH AS2047, AS1388 & AS2688.
- ALL DOOR HANDLES SHALL BE MOUNTED 1000MM A.F.L TO CENTRELINE OF FITTING UNLESS OTHERWISE NOTED.
- DOOR AND WINDOW HARDWARE TO BE SELECTED.
- PROVIDE UV STABILISED BLACK FIBREGLASS INSECT SCREENS TO ALL OPENING WINDOWS. MESH SHALL BE BEADED TO THE FULL PERIMETER AND MADE TAUT WITHOUT BOWING OF THE FRAME.
- BUILDER TO DETERMINE WITH CLIENT, PRIOR TO QUOTATION, THE TYPE AND EXTENT OF WINDOW LOCKS, HANDLES & ACCESSORIES TO BE INCLUDED.
- BUILDER TO DETERMINE WITH CLIENT, PRIOR TO QUOTATION, THE TYPE AND LOCATION OF DOOR HARDWARE & ACCESSORIES TO BE INCLUDED.
- WEATHERSEALS AND NATURAL ANODISED ALUMINIUM THRESHOLD PLATES SHALL BE PROVIDED TO ALL EXTERNAL DOORS UNLESS OTHERWISE NOTED.
- FLASHINGS TO ALL EXTERNAL WINDOWS IN ACCORDANCE WITH PART 7.5.6 OF THE NCC 2022.
- ALUMINIUM FRAMED WINDOWS AND DOORS**
WINDOWS AND DOORS ARE TO BE COMPLETE WITH ALUMINIUM ANGLE TRIMS, FLASHINGS AND ALL OTHER ITEMS REQUIRED. ALL ANGLES SECTIONS, OR COVER FILLETS SHALL BE MINIMUM 1.6MM THICK ALUMINIUM AND OF DIMENSIONS SUITABLE FOR THE PURPOSE REQUIRED. ALL JUNCTIONS SHALL BE CONSISTENT WITH HAIRLINE JOINT FINISH.
WINDOWS INCLUDING ALL ACCESSORIES SHALL BE POWDERCOAT FINISHED TO FUTURE COLOUR SELECTION.
- EXTERNAL POWDER COATING**
ALL EXTERNAL POWDERCOATING SHALL BE DULUX AUSTRALIA "DURATEC" RANGE (OR SIMILAR APPROVED) ADVANCED POLYESTER RESIN TYPE CONFORMING WITH PERFORMANCE REQUIREMENTS OF AAMA2603, AAMA 2604 & AS 3715. COLOURS TO BE SELECTED.
- INTERNAL POWDER COATING**
ALL EXTERNAL POWDERCOATING SHALL BE DULUX AUSTRALIA "DURATEC" RANGE (OR SIMILAR APPROVED) ADVANCED POLYESTER RESIN TYPE CONFORMING WITH PERFORMANCE REQUIREMENTS OF AAMA2603, AAMA 2604 & AS 3715. COLOURS TO BE SELECTED.
- TIMBER DOOR JAMBS**
ALL TIMBER DOOR JAMBS SHALL BE 19MM MINIMUM THICKNESS KDHW AND FULL FINISHED TO SUIT WALL THICKNESS, WITH 38 X 12MM DOOR STOP PLANTED ON.
- TIMBER REVEALS**
ALL TIMBER REVEALS SHALL BE 19MM MINIMUM THICKNESS KDHW AND FULL FINISHED TO SUIT WALL THICKNESS.

WINDOW/DOOR LEGEND

---	DENOTES GLAZING
AW	AWNING WINDOW
FG	FIXED GLAZING PANE
SD	SLIDING DOOR
PA	PERSONAL ACCESS DOOR

ISSUED FOR
PLANNING

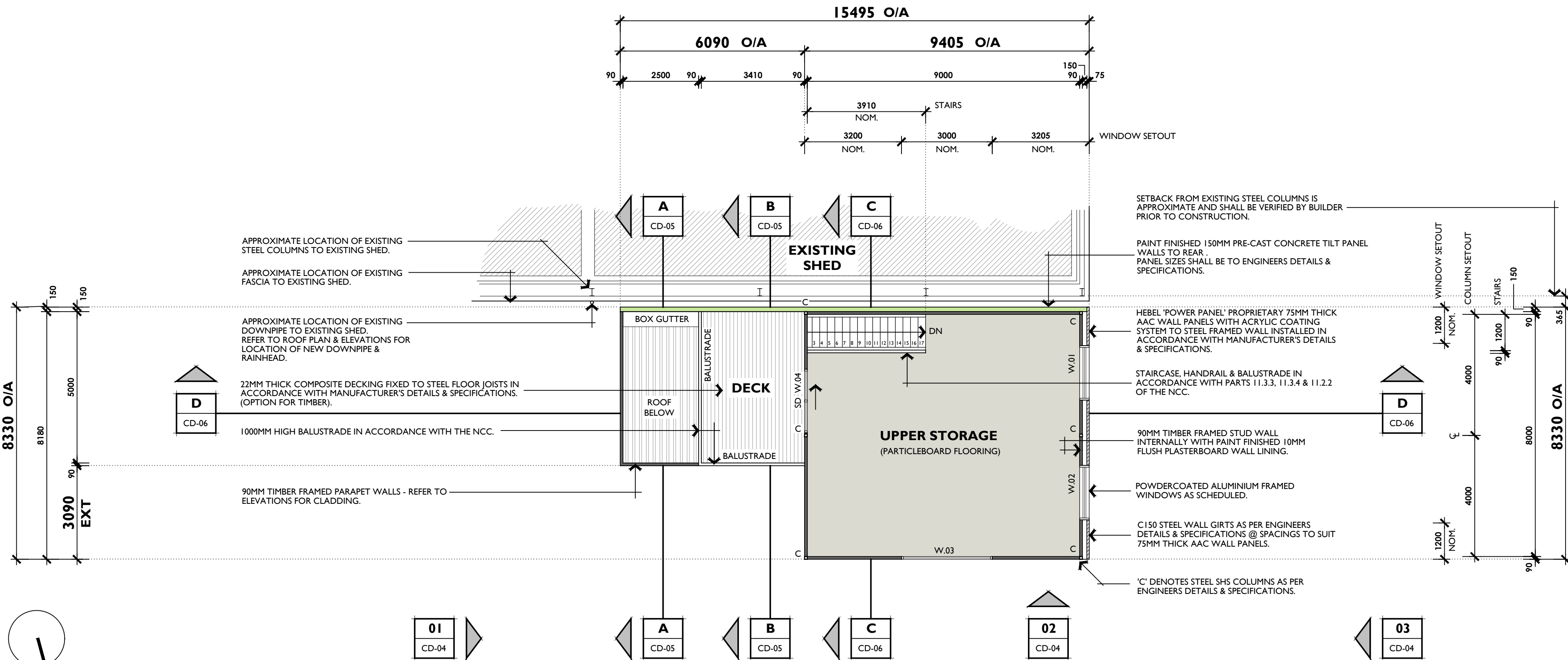
Do & Phie

Project: **PROPOSED STORAGE SHED**
Client: **C & L SIMONETTA**
Location: **39 GOL NORTH ROAD, GOL GOL - NSW 2738**
Project No: 24/25-037
Drawing No: SD-04
Drawing: **ELEVATIONS & WINDOW/DOOR SCHEDULE**
Date: 30 JULY 2025
Scale: AS SHOWN (at A1)
Sheet Size: A1

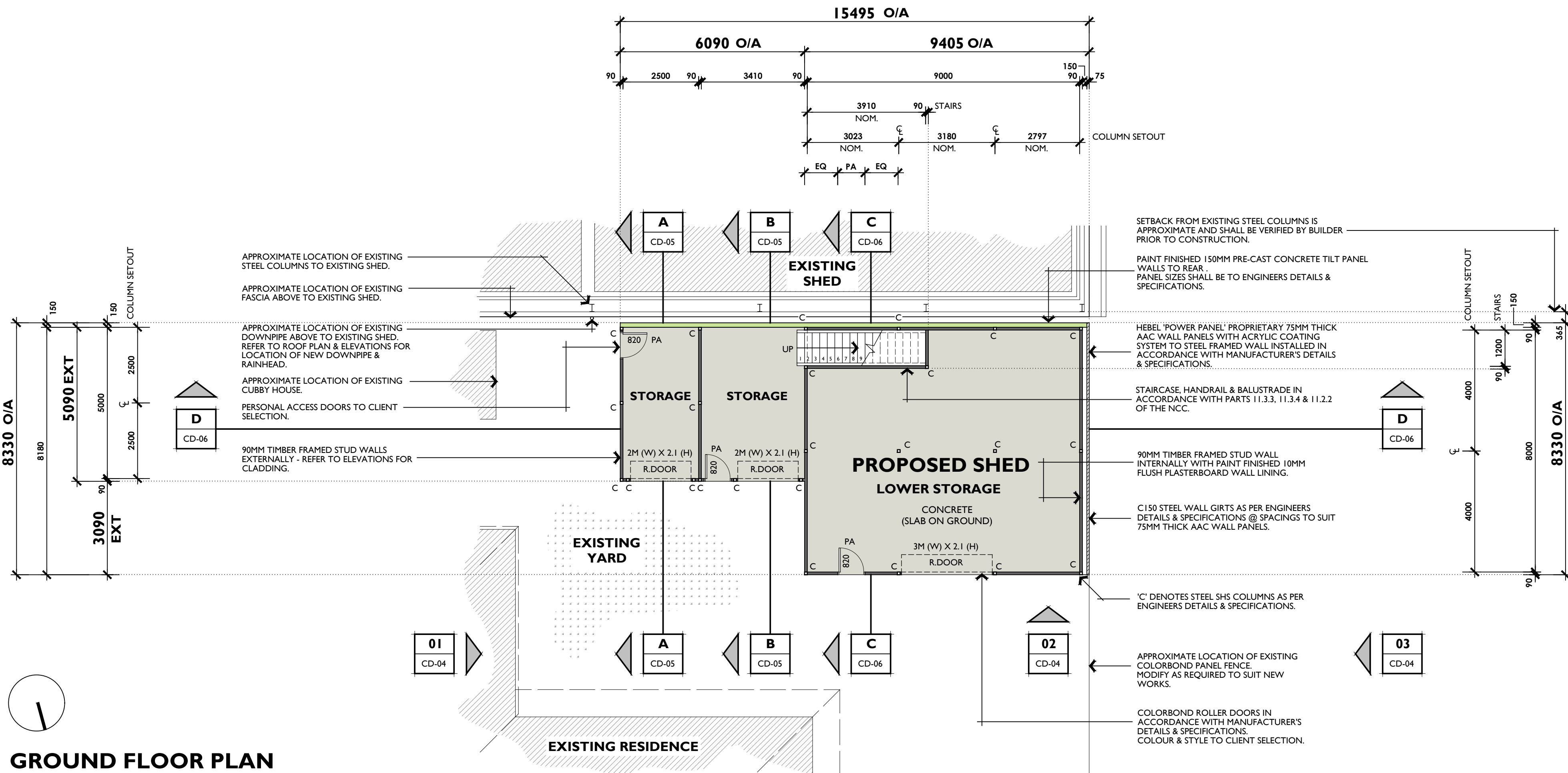
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UPPER FLOOR PLAN
SCALE: 1:100



GROUND FLOOR PLAN
SCALE: 1:100

WIND CLASSIFICATIONS

IN ACCORDANCE WITH AS 4055:2021 "WIND LOADS FOR HOUSING".

TERRAIN CATEGORY: TC3.0
SHIELDING CLASSIFICATION: FS
TOPOGRAPHICAL CLASSIFICATION: T1
REGION: A

DESIGN GUST WIND SPEED

WIND CLASS	SERVICEABILITY (V _{h,s})	ULTIMATE (V _{h,u})
N1	26 m/s	34 m/s

AREAS

LOWER FLOOR (INCS. STAIR)

GENERAL STORAGE:	76.93m ²
GARDEN STORE:	17.81m ²
MOWER STORE:	13.18m ²
TOTAL:	107.92m²

UPPER FLOOR (INCS. STAIR)

UPPER STORAGE:	76.93m ²
DECK:	17.81m ²
TOTAL:	94.74m²

ELECTRICAL NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE OF THE SAME OR BETTER QUALITY AS THE BASE-BUILDING ELECTRICAL SERVICES INSTALLATION. CO-ORDINATE THE LOCATION OF ALL ITEMS WITH OTHER TRADES, AND TO SUIT FURNITURE, FIRE, HYDRAULIC AND MECHANICAL SERVICES.
- ELECTRICAL WORKS AS SCHEDULED TO BE CARRIED OUT IN ACCORDANCE WITH AS 3000:2018 & AS 3008.1:1.2017.
- ALL MATERIALS, SUPPLIES, AND ALL WORK INSTALLED SHALL COMPLY WITH THE CODES, STANDARDS, RULES AND REGULATIONS OF ALL STATUTORY AUTHORITIES INCLUDING, BUT NOT NECESSARILY LIMITED TO:
 - * BUILDING CODE OF AUSTRALIA
 - * AS/NZS 3000, AS/NZS 3008, (WIRING RULES)
 - * AS/NZS 2293 PARTS 1 AND 2 (EMERGENCY LIGHTING)
 - * AS/NZS 3080, AS/NZS 3084, AS/NZS 3085, AS/NZS 3087
 - * AS/ACIF 5009 (VOICE AND DATA CABLING)
 - * AS/NZS 3439 (SWITCHBOARDS)
 - * ELECTRICAL SAFETY ACT
 - * ELECTRICAL SAFETY (INSTALLATIONS) REGULATIONS
 - * VICTORIAN SERVICE AND INSTALLATION RULES
- MAKE ALL APPLICATIONS AND PAY ALL FEES REQUIRED TO COMPLY WITH RELEVANT AUTHORITY REQUIREMENTS, INCLUDING METERING COSTS, AND SELF-CERTIFICATION COSTS FOR ELECTRICAL INSPECTION, EMERGENCY LIGHTING AND COMMUNICATIONS.
- SUB-CIRCUIT MINIMUM CABLE SIZES: INCREASE SIZE WHERE NECESSARY FOR REASONS OF VOLTAGE DROP OR DERATING TO AS 3008.1 AND AS 3000.
- SUPPLY ALL NECESSARY LABOUR AND ASSISTANCE FOR TESTING, OPERATING AND ADJUSTING THE SYSTEM AND EQUIPMENT, AND FOR FULLY INSTRUCTING THE CLIENT OR HIS REPRESENTATIVE IN THE OPERATION OF THE SYSTEM AND EQUIPMENT; PROVIDE FULL OPERATORS MANUALS.
- TYPE & QUANTITY OF ALL ELECTRICAL FITTINGS IE. GPOs, LIGHT SWITCHES, LIGHT FITTINGS ETC. SHALL BE DETERMINED BY BUILDER WITH THE CLIENT PRIOR TO CONSTRUCTION.

GENERAL NOTES

- ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE NATIONAL CONSTRUCTION CODE, NATIONAL TIMBER FRAMING CODE AS 1684.2:2021, STATE REGULATIONS & LOCAL AUTHORITIES REQUIREMENTS.
- CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORK.
- FIGURED DIMENSIONS HAVE PREFERENCE OVER SCALE.
- DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- PLANS SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS, STANDARDS & SPECIFICATIONS.
- IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE BUILDING IS WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE SHOWN IS CORRECT.
- ALL TIMBER FRAMED CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1684.2:2021 "RESIDENTIAL TIMBER-FRAMED CONSTRUCTION, PART 2: NON-CYCLOCLIC AREAS" & THE NATIONAL CONSTRUCTION CODE.
- LEVELS ARE TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF BUILDING WORKS.
- ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND FABRICATION ARE COMMENCED. THE ENGINEER'S DRAWINGS SHALL NOT BE SCALED.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART IS OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS INCLUDING ALL AMENDMENTS AND THE LOCAL STATUTORY AUTHORITIES.
- ALL MATERIALS, WORKMANSHIP, FABRICATION AND ERECTION SHALL COMPLY WITH AS 4100:2021 STEEL STRUCTURES CODE.
- ALL SLAB AND FOOTING DESIGN SHALL BE TO ENGINEERS DESIGN AND SPECIFICATIONS.
- OVERFLOW RELIEF GULLY REQUIREMENTS ARE TO COMPLY WITH AS 3500.2:2021 "SANITARY PLUMBING AND SANITARY DRAINAGE"
 - A MIN. HEIGHT OF 150MM SHALL BE MAINTAINED BETWEEN TOP OF THE OVERFLOW RELIEF GULLY RISER AND THE LOWEST FIXTURE CONNECTED TO THE DRAIN.
 - TOP OF THE GULLY RISER TO BE 75MM ABOVE NATURAL SURFACE OR IN A PAVED AREA HIGH ENOUGH TO PREVENT THE INGRESS OF WATER.
 - WHERE AN OVERFLOW RELIEF GULLY CANNOT BE INSTALLED DUE TO PAVING HEIGHTS REFLUX VALVES SHALL BE INSTALLED. EXCEPT WHERE A REFLUX VALVE IS INSTALLED IN AN ACCESSIBLE LOCATION WITHIN A BUILDING OR CAN BE FULLY SERVICED AND MAINTAINED FROM FINISHED SURFACE LEVELS (AS/NZS 3500.2 CLAUSE 4.6) ALL REFLUX VALVES SHALL BE INSTALLED WITH AN INSPECTION CHAMBER CONFORMING WITH AS/NZS 3500.2 CLAUSE 4.8.
- REFER TO ENGINEERS DRAWINGS AND REPORTS FOR ALL CONCRETE SLAB, FOOTING AND ASSOCIATED STRUCTURAL STEEL DETAILS AND REQUIREMENTS.
- ARTIFICIAL LIGHTING TO BE IN ACCORDANCE WITH AS1680.1 AND AS1680.2
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
 - BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:
 - 1000MM MINIMUM ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
 - 865MM MINIMUM ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
 - VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND ANY HORIZONTAL ELEMENT WITHIN THE BARRIER.
 - BETWEEN 1500MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 400MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2022 BCA PARTS 11.3.4 & 11.3.6 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2022 BCA VOLUME 1 PART D3D17/D3D21 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE MINIMUM 865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- TERMITE TREATMENT TO SUB FLOOR TO COMPLY WITH A.S. 3660.1 AS REQUIRED BY LOCAL AUTHORITY.

DO & DIE

Project: **PROPOSED STORAGE SHED**
Client: **C & L SIMONETTA**
Location: **39 GOL GOL NORTH ROAD, GOL GOL - NSW 2738**
Date: **24/25-037**
Drawing No: **SD-03**
Drawing: **LOWER & UPPER FLOOR PLANS**
Date: **30 JULY 2025**
Scale: **AS SHOWN (at A1)**
Sheet Size: **A1**

ISSUED FOR
PLANNING