

Planning Report

Swimming Pool, Retaining Wall/Fence
and Outbuilding

10 Carramar Drive
Gol Gol, NSW, 2738

EXECUTIVE SUMMARY

Proposal	Swimming Pool, Retaining Wall, Fence and Outbuilding
Street Address	10 Carramar Drive, Gol Gol
Formal Land Description	Lot 5 DP 1280364
Zone	RU5 - Village
Relevant State Environmental Planning Policies	Not applicable

SUBJECT SITE AND SURROUNDING AREA

Site Description

The subject site is located on the northern section side of Carramar Drive, within an established section of the road. The land contains an existing dwelling. Access to the site is currently via an existing cross over located on the eastern portion of the Carramar Drive frontage.

The surrounding area generally comprises similar sized residential allotments, with the majority of parcels already containing existing dwellings and associated structures.

The subject site appears to have access to reticulated electricity, telecommunications, water and sewer.

An aerial image of the site and as well as site photos are contained on the following pages.

Aerial Image of the Site



Figure 1: Subject site

Site Photos



Figure 2: view of site from Carramar Drive



Figure 3: view from rear

PROPOSAL

DESCRIPTION

This application is for a Swimming Pool, Retaining Wall/Fence and Outbuilding as summarised under the following points:

- Pool is to be located at the rear of the existing dwelling, 9.3m from the eastern boundary and 11.3m from the western boundary.
- The pool will have a length of 9.4m, a width of 4.2m and max depth of 1.97m; resulting in a capacity above 40kl.
- Retaining walls and fencing are proposed along western and northern boundaries. The fencing height has been designed to be an acceptable height to prevent overlooking from the existing dwelling.
- The outbuilding is located at the rear of the dwelling, along the northern boundary. The building has a length of 22.5 metres, a width of 10 metres and a height of 4.9 metres.

PLANNING

CONTROLS AND ASSESSMENT

Wentworth Local Environmental Plan 2011 (LEP)

The Subject site is within the RU5 – Village

The objectives of the zone are:

- *To provide for a range of land uses, services and facilities that are associated with a rural village.*
- *To promote development in existing towns and villages in a manner that is compatible with their urban function.*
- *To encourage well-serviced sustainable development.*
- *To ensure there are opportunities for economic development.*
- *To deliver new residential and employment growth in Buronga and Gol Gol.*
- *To ensure business and retail land uses are grouped within and around existing activity centres.*

The application proposes development is associated with an existing dwelling, thus generally meeting the objectives of the Zone.

The proposed developments are located within an established area of Buronga and is associated with an existing dwelling on the land. The proposal supports the objectives of the RU5 zone which seek to promote development in existing towns and villages in a manner that is compatible with their urban function.

Clause 5.21 Flood planning

The objectives of this clause are as follows—

- *to minimise the flood risk to life and property associated with the use of land,*

- *to allow development on land that is compatible with the flood function and behaviour on the land, taking into account projected changes as a result of climate change,*
- *to avoid adverse or cumulative impacts on flood behaviour and the environment,*
- *to enable the safe occupation and efficient evacuation of people in the event of a flood.*

Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development—

- *is compatible with the flood function and behaviour on the land, and*
- *will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and*
- *will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and*
- *incorporates appropriate measures to manage risk to life in the event of a flood, and*
- *will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.*

Discussion

All structures proposed are non-habitable, therefore it is considered that the risk to life is not increased as a result of the development.

The buildings have been designed to allow for flood water to pass through the structures in times of flooding, resulting in minimal impacts to the flow of flood water along the Murray River.

It is accepted that standard conditions relating to the construction of the buildings may be required to be certified by a qualified structural engineer certifying that the design

and structural adequacy of the structures can withstand the effects of inundation in the event of a flood.

In conclusion it is considered that the proposed development will allow the safe and efficient evacuation of people in the event of a flooding event.

Wentworth Development Control Plan

Chapter 4 – Residential Development Controls

4.1.1 Site Context and Analysis

As mentioned previously in this report, the subject land is a standard sized parcel located in an established residential area. The proposed development will be consistent with all other lots within the street by providing development ancillary to a single dwelling. The plans submitted with this application demonstrate how the proposed development responds to site specific conditions and the site has been described in detail previously in this report.

4.1.2 Streetscapes

The proposed works will not alter the existing streetscape. The fencing has also been designed to reduce in height forward of the existing dwelling.

4.1.3 Front Setback

Not applicable for this application.

4.1.4 Side setbacks and Corner Lot Setbacks

Not applicable for this application.

4.1.5 Rear setbacks

The outbuilding has been proposed to be within close proximity to the rear boundary. The location is considered an acceptable outcome as the adjoining land will not be used for a dwelling location (or associated secluded private open space); therefore having minimal impacts on the northern land.

4.1.6. Walls on Boundaries

Not applicable for this application.

4.1.7 Building heights and overshadowing

Given the design of the proposed buildings and distance from the adjoining dwellings, it is considered that the height will not impact on the nearby dwellings.

4.1.8 Site Coverage

Due to the size of the site, it is considered that site coverage is met.

4.1.9 Private Open Space

Not applicable for this application.

4.1.10 Energy Efficiency and Solar access

Not applicable for this application.

4.1.11 Daylight to existing windows

Not applicable for this application.

4.1.12 North-facing windows

Not applicable for this application.

4.1.13 Overlooking

Not applicable for this application.

4.1.14 Fencing and Retaining Walls

As mentioned previously, the fencing and retaining walls have been designed to be a height that allows the subject site to enjoy privacy (due to dwelling height within a Flood Planning Area).

The fencing is tubular as per the provided plans, in accordance with the Australian standard for swimming pool fencing.

4.1.15 Car Parking and Vehicle Access

Not applicable for this application.

4.1.16 Cut and Fill

As per the plans provided, additional fill is proposed to allow the developments to be built at a consistent height as the existing dwelling. The fill proposed is the minimum amount to allow the development to be correctly constructed.

State Environmental Planning Policies (SEPP)

There are no SEPP's applicable to this application.

General Assessment

Visual Impacts

Please refer to DCP assessment.

Open Space

Please refer to DCP assessment.

Overshadowing and Privacy

Please refer to DCP assessment.

Noise

The swimming pool will have an enclosure which will be soundproofed to mitigate any noise impacts on adjoining land.

Erosion Control Measures

No specific erosion control measures are considered necessary for this development.

Economic and Social Impacts

Given the residential nature of this development, economic or social impacts on the locality are not envisaged.

Environmental Benefits

Due to the nature of this development, no significant environmental benefits are envisaged.

Disabled Access

Not applicable for this application.

Security, Site Facilities and Safety

Not applicable for this application.

Waste Management

The pool will have a cartridge filter system which does not require backwashing; thus having minimal impacts in relation to any possible water output.

National Construction Code

The National Construction Code will be assessed as part of the Construction Certificate process by a Building Surveyor.

Traffic

Not applicable for this application.

Stormwater/flooding

The extensions will be connected to the existing stormwater system located on the site.

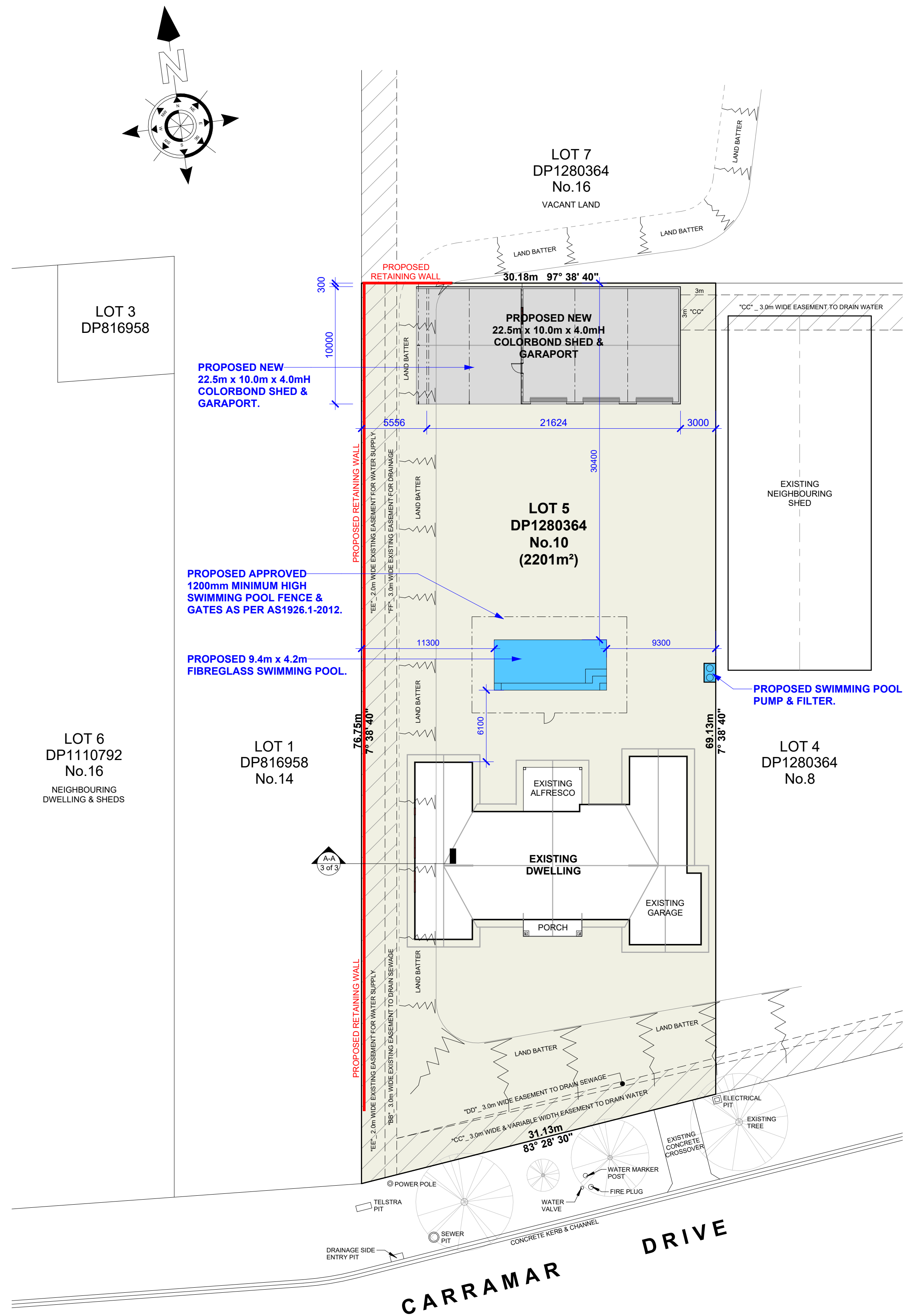
CONCLUSION

This report demonstrates that the proposal is consistent with the relevant provisions of the Wentworth Local Environmental Plan 2011 and Wentworth DCP.

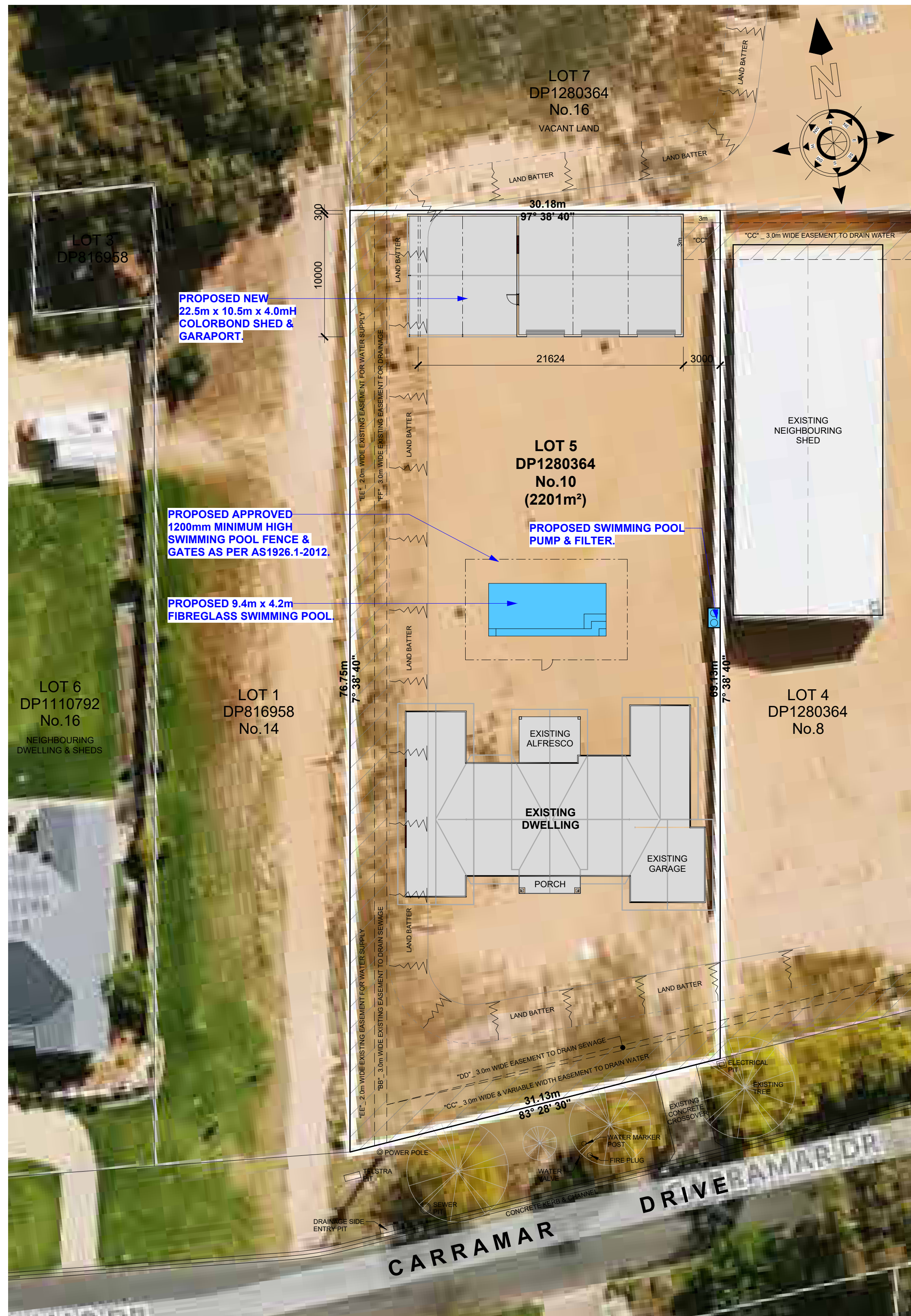
The proposed development is appropriate for the site as it:

- Is encouraged in the RU5 Village Zone
- Is appropriately located on the subject site
- Will have minimal impacts on the locality
- Will not result in any detrimental impacts on the environment.

It is therefore considered that the proposal is worthy of support, and it is therefore respectfully requested that the Wentworth Shire Council grant Development Consent for the development as described in this report at 10 Carramar Drive, Gol Gol.



PROPOSED SITE PLAN
1:250



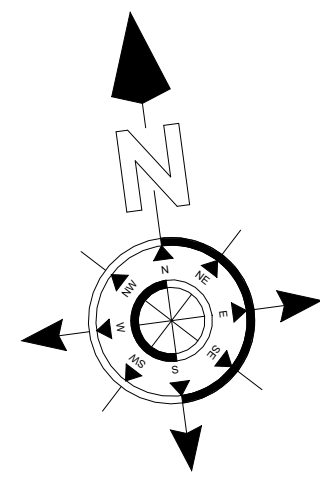
PROPOSED SITE PLAN with AERIAL VIEW OVERLAY
1:250

PROPOSED SUBJECT SITE
LOT 5 DP1280364
10 CARRAMAR DRIVE
GOL GOL
NSW 2738

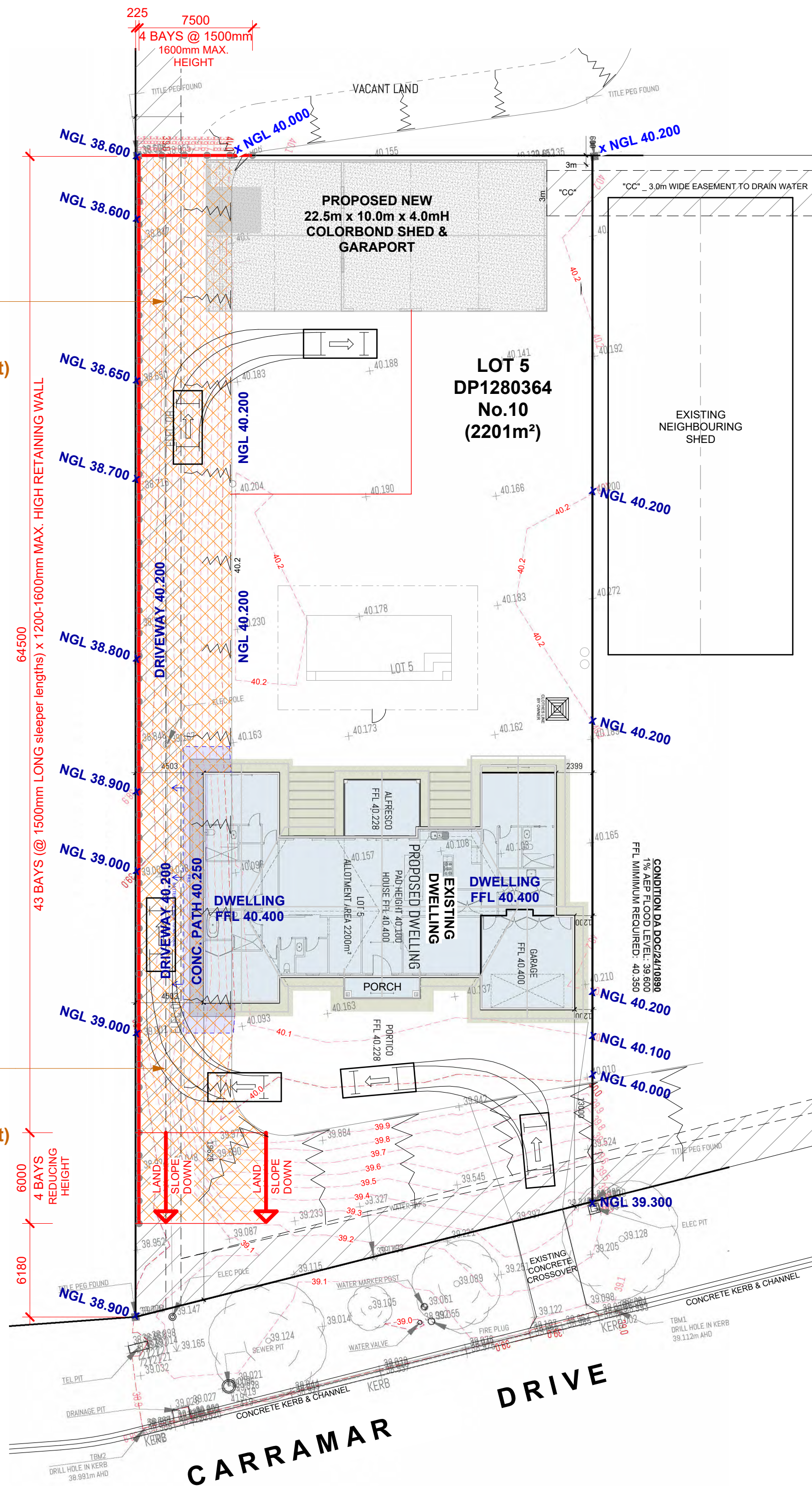


PROPOSED LOCALITY PLAN
NTS

REV	DATE	BY	AMENDMENTS	CKD
<div><div>I</div><div>INTREND DESIGN</div><div>D & DRAFTING PTY LTD</div><div>ABN 57 633 034 010</div><div>R 03 5024 2806 M 0407 559 336 E info@intrend.net.au</div><div>A SUITES 283/6 ILEX STREET RED CLIFFS VIC 3496</div></div>				
		GREGORY J HAMILTON DP-AD 222		
DATE 24/07/25		DRAWN G.J.H.		
SCALE 1 : 250		CHECKED G.H.		
© COPYRIGHT 2025				
DETAIL PROPOSED SITE PLANS & LOCALITY PLAN				
JOB PROPOSED NEW SHED, SWIMMING POOL & RETAINING WALLS LOT 5 PS1280364 10 CARRAMAR DRIVE GOL GOL NSW 2728				
CLIENT BRENDAN & STACEY JOHNSON				
JOB No. 25-821		A1	SHEET No. 1 of 3	

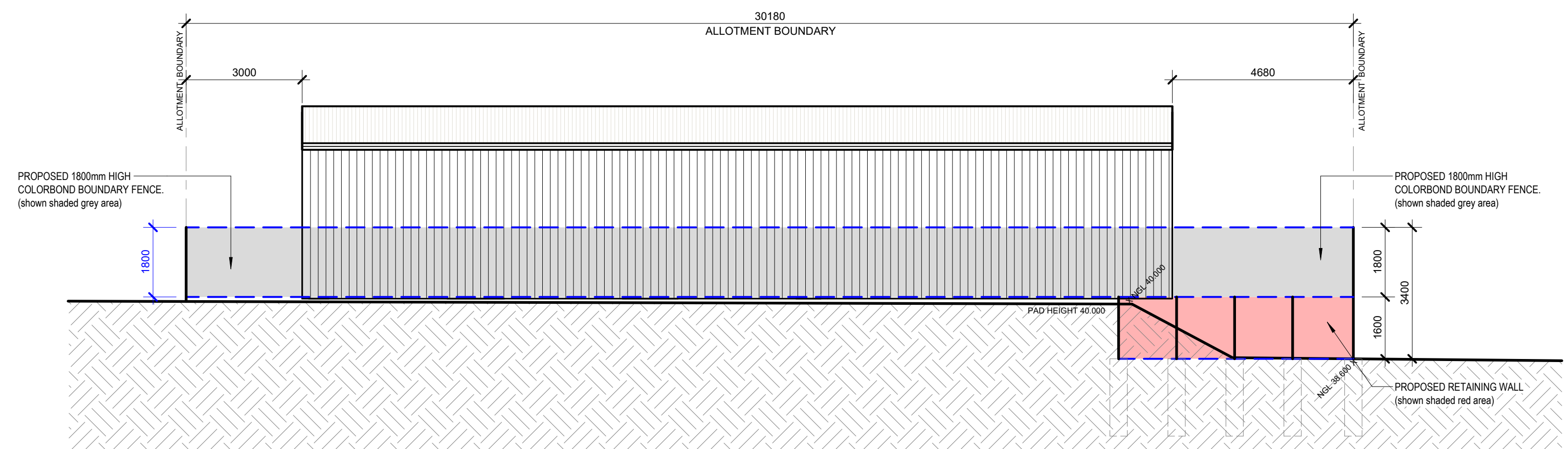


NOTE : _____
SITE FILL TO HEIGHT 40.200
to area cross-hatched orange.
(level with existing earth pad height)

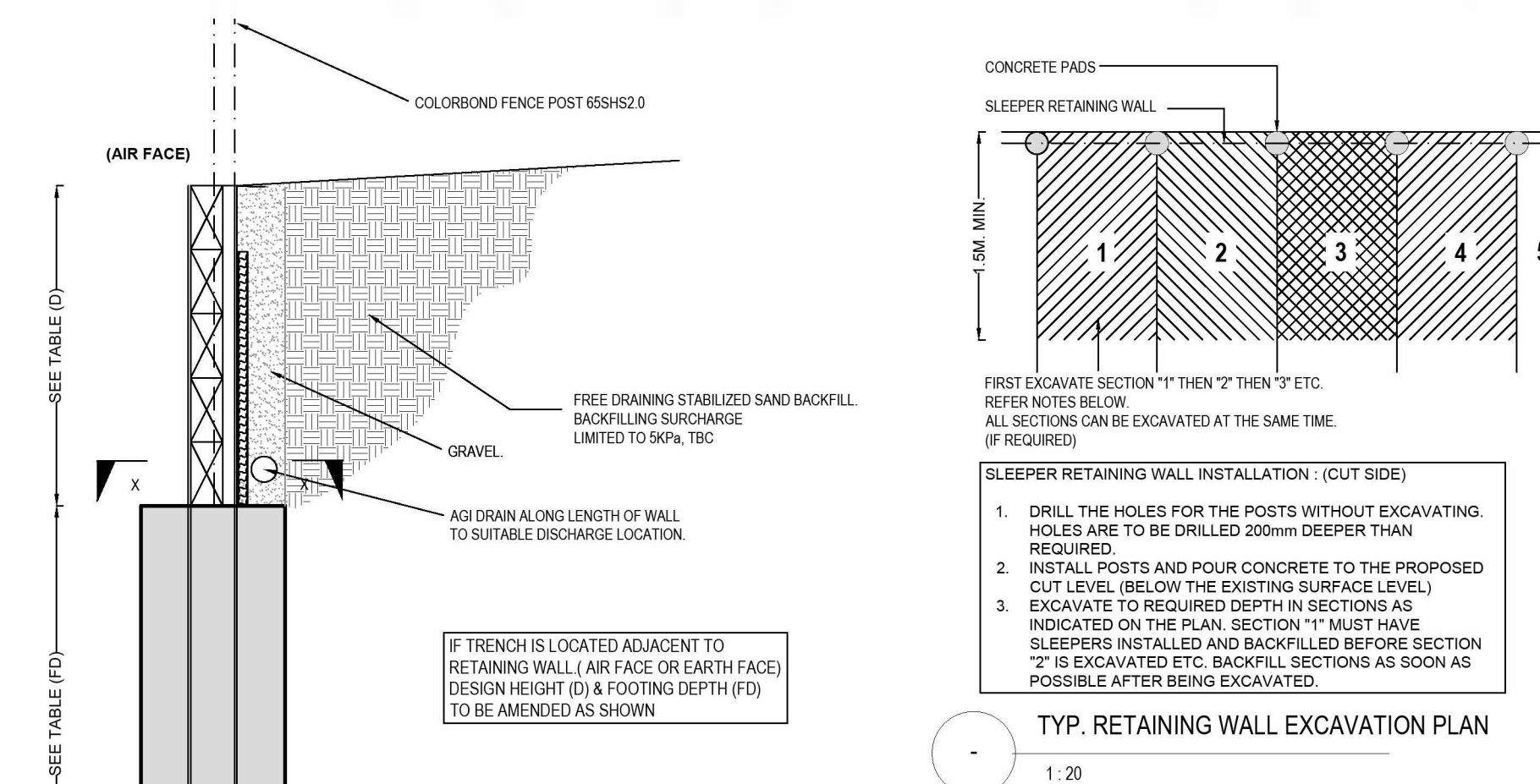
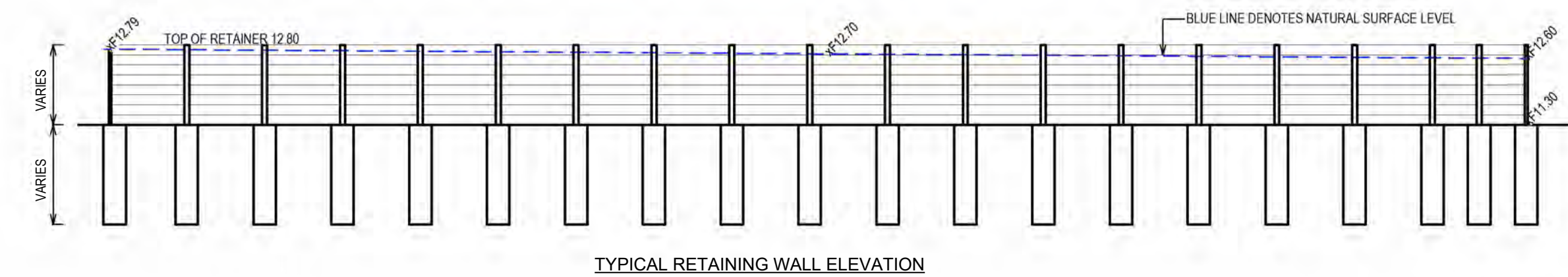


NOTE :
SITE FILL TO HEIGHT 40.200
to area cross-hatched orange.
(level with existing earth pad height)

PROPOSED SITE LEVELS PLAN & RETAINING WALL LAYOUT
1:250

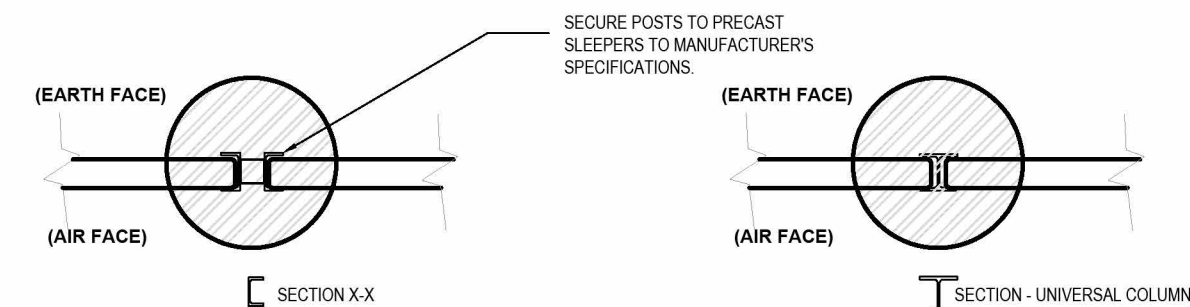


PROPOSED north ELEVATION
1:100



SLEEPER RETAINING WALL DEPTH (D)	POST (CTS MAX.)	FOOTING DIMENSIONS (FD)	REINFORCED CONCRETE SLEEPER TYPE
1400 ± 1000	100FPC ENDS WITH 100UC15 @1500 MAX. CTS.	4500x2000 f _c = 25MPa	200H1 x 75" (W) f _c = 40Mpa REINFORCEMENT AS PER MANUFACTURER
1000 ± 1400		4500x1800 f _c = 25MPa	
600 ± 1000		4500x1400 f _c = 25MPa	
0 < 600		4500x1000 f _c = 25MPa	

* TIMBER SLEEPERS MAY ALSO BE ADOPTED IN LIEU OF CONCRETE SLEEPERS.
ADOPT 200 x 75MM F5 KD PINE - H4 TREATED.



RT-2 TYP. RETAINING WALL SECTION
1:20 - ADJACENT TO SERVICES TRENCH

[illegible]

I D INTREND DESIGN & DRAFTING PTY LTD
ABN 57 633 084 616
P. 03 5024 2806 | M. 0407 559 306 | E. intrend@bigpond.net.au
A. SUITES 283/6 ILEX STREET | RED CLIFFS VIC 3496

REGISTERED
 Building Practitioner

DATE 24/07/25	DRAWN G.J.H.
SCALE As indicated	CHECKED G.H.

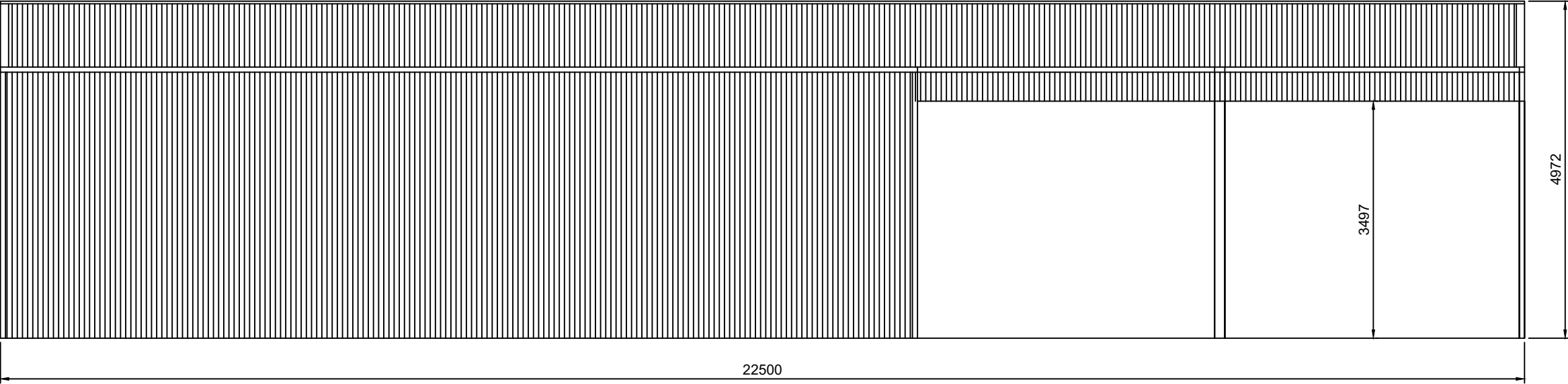
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**DETAIL PROPOSED SITE LEVELS PLAN &
RETAINING WALL LAYOUT DETAILS**

**JOB
PROPOSED NEW SHED, SWIMMING
POOL & RETAINING WALLS
LOT 5 PS1280364
10 CARRAMAR DRIVE
GOL GOL
NSW 2728**

CLIENT
BRENDAN & STACEY JOHNSON

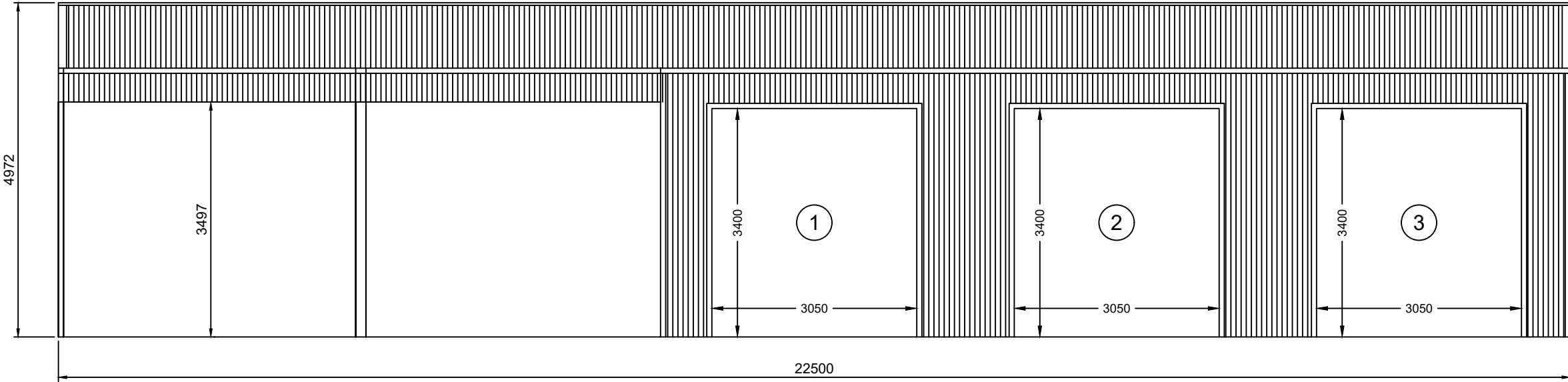
JOB No. 25-821	A1	SHEET No. 2 of 3
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2
2

LEFT ELEVATION

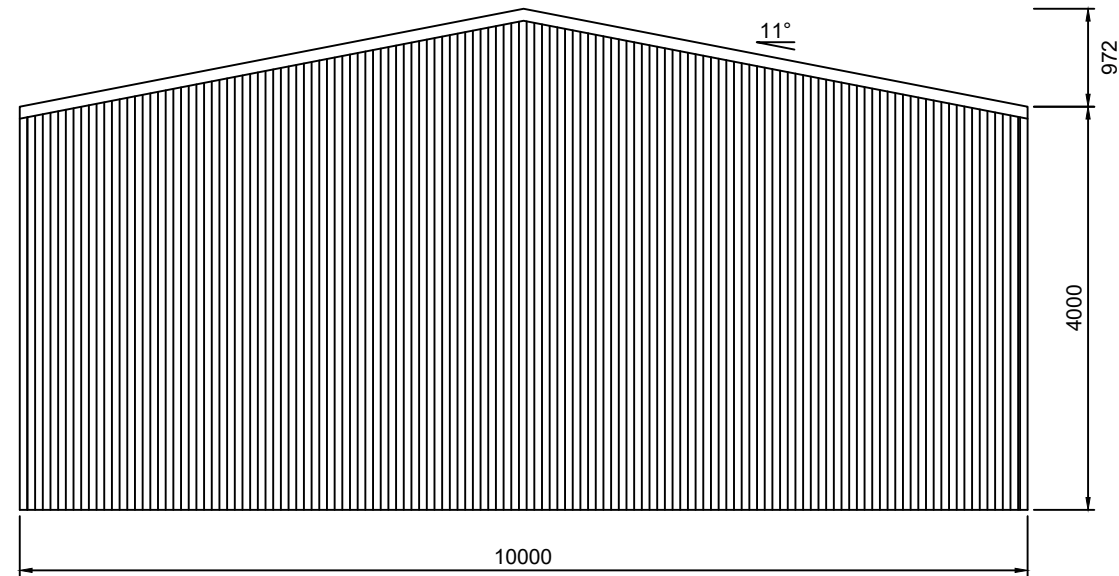
SCALE: 1:75



1
2

RIGHT ELEVATION

SCALE: 1:75

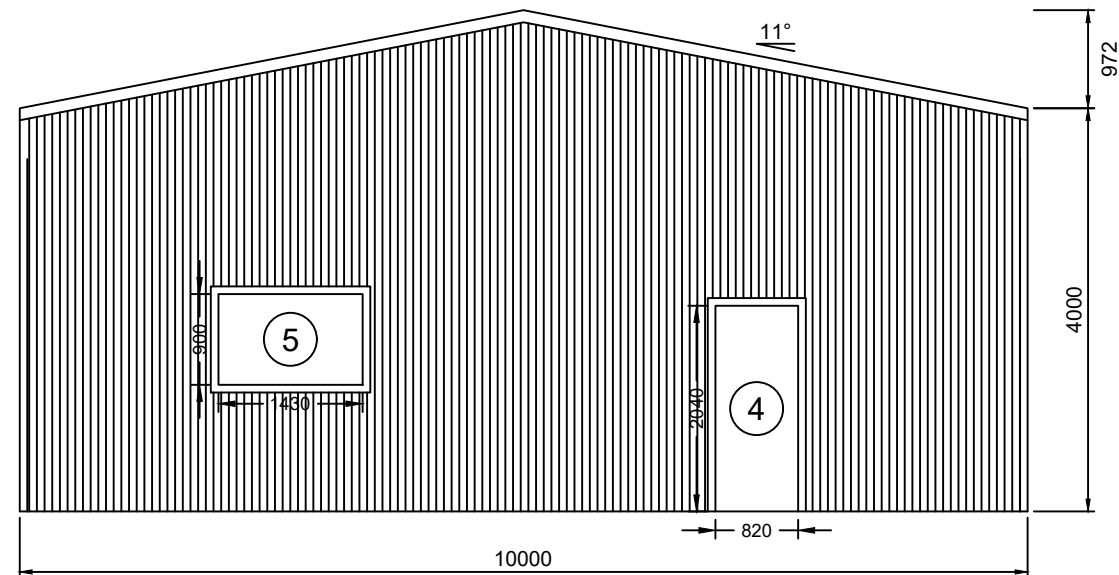


1
3

REAR ELEVATION

SCALE: 1:75

FRAME #6

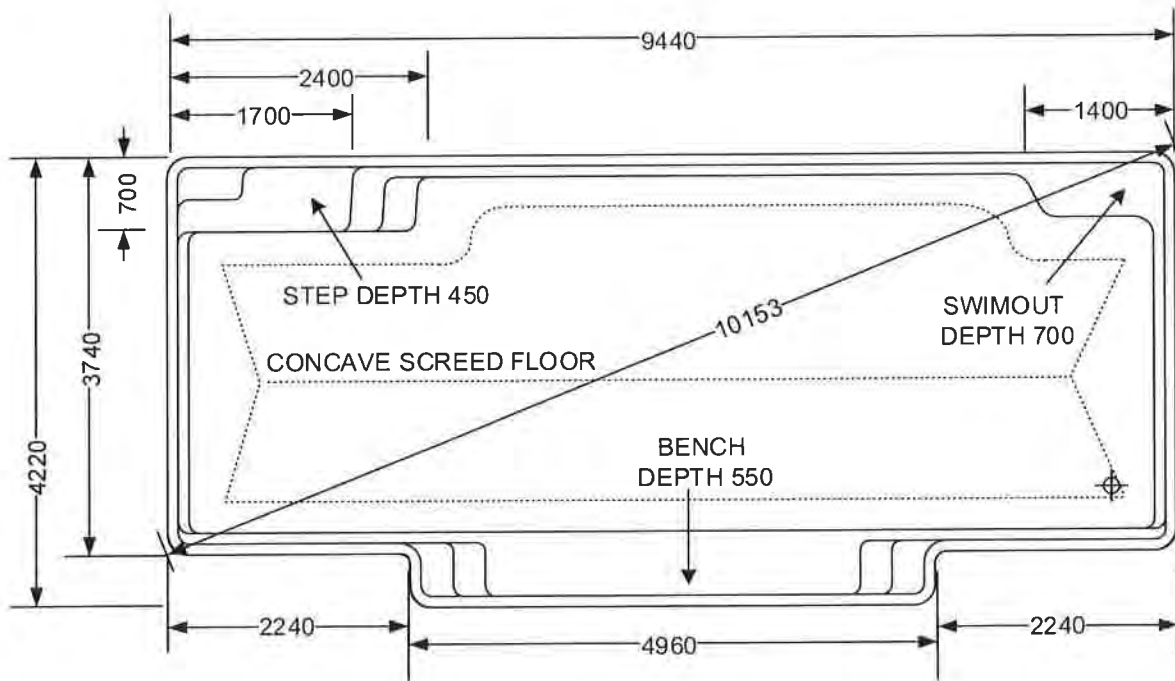


2
3

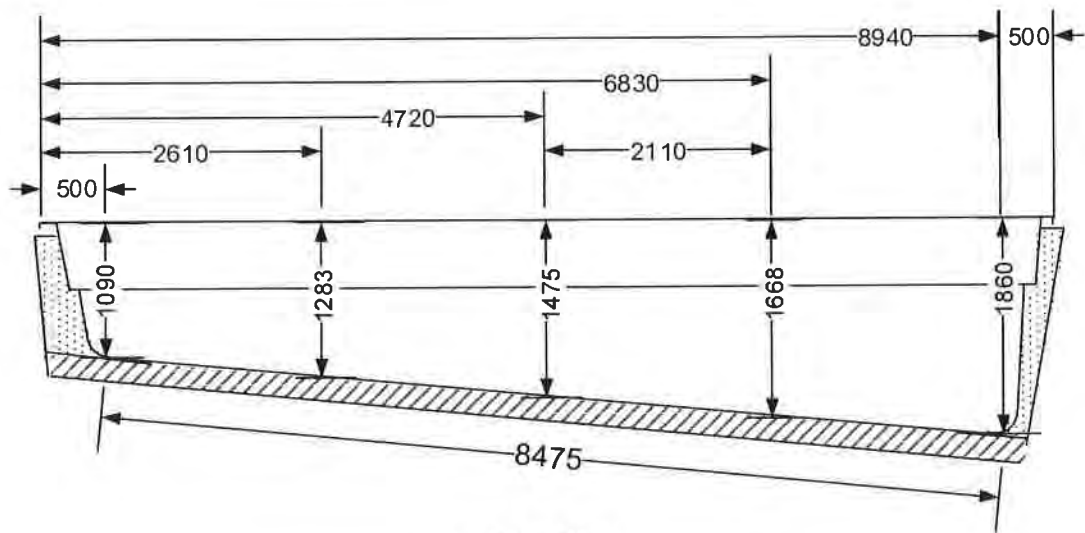
FRONT ELEVATION

SCALE: 1:75

FRAME #3



PLAN



ELEVATION



DIG AND SCREED PLAN

Scale
NOT TO SCALE

Pool

VOGUE 9.4

Date
051118

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Version 1.2

1. MEASUREMENTS ARE TO FINISHED SCREED LEVELS. ADD 100mm TO DEPTHS FOR DIG.
2. SCREED PAD MUST EXTEND BEYOND RADIUS CURVE AT POOL FLOOR LEVEL.
3. DIG AND SCREED MEASUREMENTS ARE SUBJECT TO MINOR VARIATIONS.
IT IS THE RESPONSIBILITY OF THE POOL INSTALLER TO CHECK ALL LEVELS ON SITE.
4. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.

TUBULAR FENCE DETAIL

1 : 20

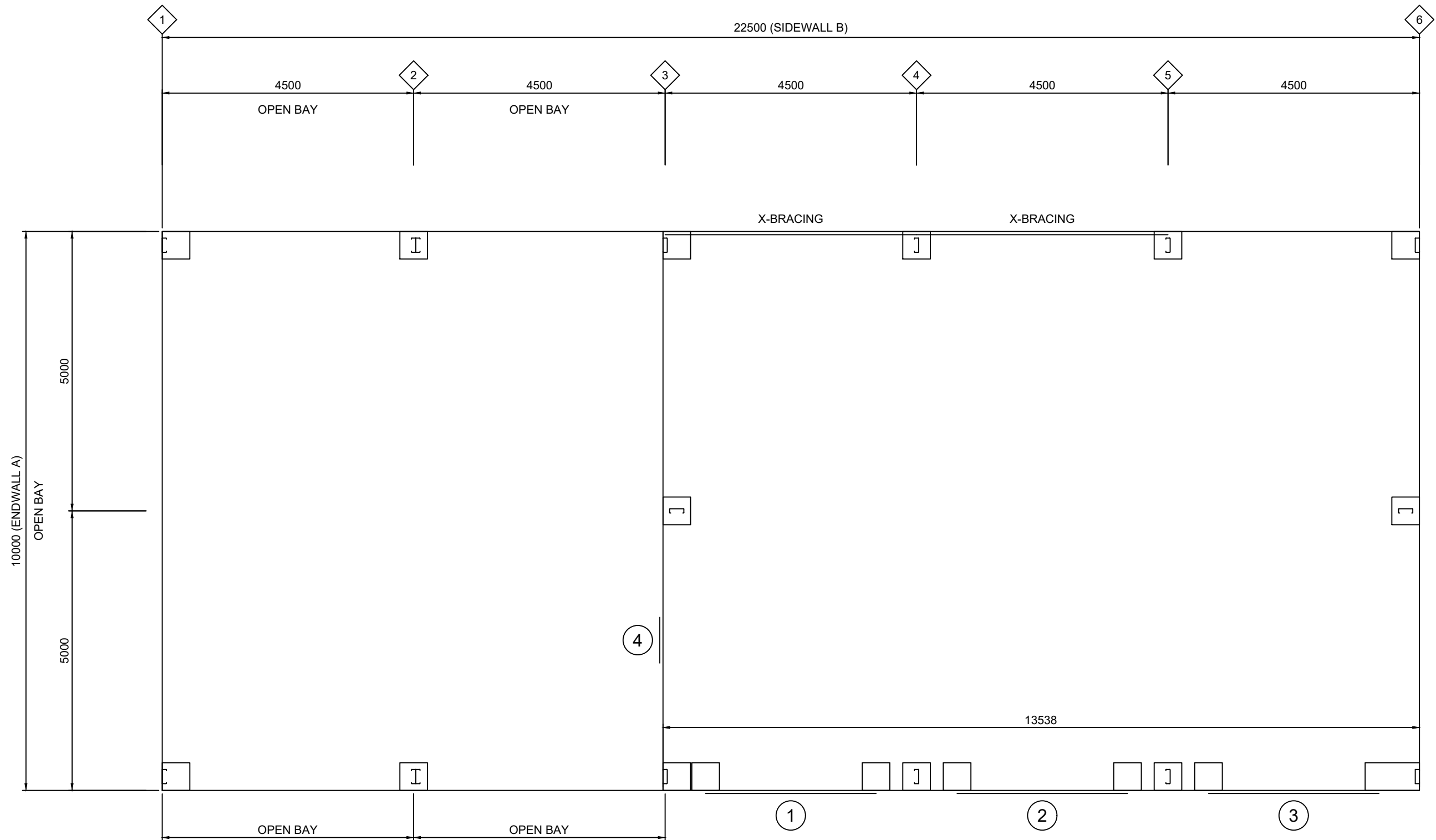
NCZ DENOTES NON CLIMBABLE ZONE.

FENCE OPTION IN ACCORDANCE WITH AUSTRALIAN
STANDARD FOR SWIMMING POOL SAFETY 1926.1 - 2012

GLASS FENCE DETAIL

1 : 20

POOL FENCING



1 FLOOR PLAN
6 SCALE: 1:75