

Statement of Environmental Effects

1585 Silver City Hwy Dareton
Lot 660 DP756961

May 2025



James Golsworthy Consulting

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Introduction

Our clients are seeking the development of a Warehouse for the operation of a metal fabrication/welding business at 1585 Silver City Highway Dareton (Lot 659 and 660 DP 756961).

The land is an existing warehouse site used for the storage of farm chemicals and materials, and wool, by businesses Muirs Co. and Fox & Lillie Rural. The proposed warehouse is to be a purpose built shed on Lot 660 to the rear of the existing Fox & Lillie Rural warehouses, whilst access will traverse the boundary of Lot 559 as depicted on the attached plans and operated by separate tenants to Muirs Co. and Fox & Lillie Rural.

It is considered that the establishment of the warehouse on the land is appropriate and consistent with the controls of the Wentworth LEP, the relevant State Environmental Planning Policies, the Wentworth DCP and the Environmental Planning and Assessment Act 1979. As a result, the development application should be supported.



Proposal

Development approval is sought for the development of warehouse. The warehouse is to be occupied by a standalone business alongside two existing businesses contained within the one lot (Lot 660), with associated development such as access on the adjoining lot (Lot 659). The proposal is to support a metal fabrication/welding business.

The proposed warehouse will be a fully enclosed and measure 32m x 10m, with double PA doors to the Pump Station Road end, and two roller doors to the southern end, with a single PA door to the eastern end. The roller doors have been strategically placed to allow for ease of access to and egress from the shed.

The proposed business specialises in automotive fabrication and rust repair/restoration, architectural metalwork, including bespoke furniture and projects, industrial fabrication and off-site welding/maintenance. The business is proposed to operate Monday to Friday from 7:30am to 5:30pm and Saturday 8am to 12pm with on call operations necessary given the type of work required (ie some emergency work may be required out of usual business operating hours). It is proposed for two employees to be on-site at any one time. It is not anticipated that clients will frequently visit the warehouse.

Vehicle access to the Warehouse will be via the existing access via Pump Station Road, which utilised Lot 659 and 660. The proposed warehouse will have limited impact on traffic travelling on Pump Station Road. It is proposed for a new wastewater treatment system to be installed to support the amenities, and water and electricity are readily available for connection.

Planning controls

Definition

The use is defined as 'Industrial Activity' to be undertaken within a 'Warehouse' for which the LEP provides the following definitions:

industrial activity means the manufacturing, production, assembling, altering, formulating, repairing, renovating, ornamenting, finishing, cleaning, washing, dismantling, transforming, processing, recycling, adapting or servicing of, or the research and development of, any goods, substances, food, products or articles for commercial purposes, and includes any storage or transportation associated with any such activity.

warehouse or distribution centre means a building or place used mainly or exclusively for storing or handling items (whether goods or materials) pending their sale, but from which no retail sales are made, but does not include local distribution premises.

Zoning

In accordance with the Wentworth LEP zoning maps the land is contained within zone E4 Zone – General Industrial.



Figure 1 Zone map

The objectives of zone E4 are:

To provide a range of industrial, warehouse, logistics and related land uses.

To ensure the efficient and viable use of land for industrial uses.

To minimise any adverse effect of industry on other land uses.

To encourage employment opportunities.

To enable limited non-industrial land uses that provide facilities and services to meet the needs of businesses and workers.

A Warehouse is permitted with consent in the zone E4. The relevant controls are outlined below with an assessment of the controls provided within the Planning Assessment section.

Additional mapping

The land is affected by the minimum lot size (2,000m²) under the Wentworth Local Environmental Plan 2011.

State Environmental Planning Policies

There are no SEPP requirements applicable to the application.

Wentworth Development Control Plan 2011

The Wentworth Development Control Plan is applicable to the land and development.

Chapter 5.2 Specific land use requirements

The car parking ratio table lists Warehouse and requires 1 space per 300m² of GFA.

Chapter 7 Industrial Development Controls

An assessment against the Industrial Development Controls will be detailed within the planning assessment of this report.

Site and surrounding area

Subject site

The land known as Lot 660 DP756961 has an area of 1623m². The larger site incorporates Lot 659 and 720, is zoned E4 and consists of existing warehouses leased by businesses which support the horticultural and dryland farming operations within the region. The existing warehouse to the south east encroaches upon the lot to the south (Lot 659).

The site of the proposed warehouse is currently vacant, to the south-western corner of the site. Access to the warehouse site will be via existing access from Pump Station Road, which is an all-weather road that can accommodate both light and heavy vehicles. Main access to the Fox and Lillie Rural and Muirs Co. businesses will remain as currently exists from Silver City Highway. Delivery vehicles to the new warehouse will be via the existing delivery access of Pump Station Road.



Figure 3 Site from Pump Road



Figure 4 Existing Fox & Lillie Rural warehouse, looking towards Silver City Highway from Pump Road access.



Figure 2 Aerial image of the site

Locality

The locality is set on the outskirts of the Dareton Township, with Coomealla High School to the east across Tallawalla Road, and a formerly used horticultural property to the west across Pump Station Road. The Silver City Highway fronts the property (with direct access to Fox & Lillie Rural and Muirs Co.). The wider area of the locality is a mix of horticulture, vacant land and the Dareton township.

The Silver City Highway links Buronga to Dareton, and Pump Station Road links the Silver City Highway to River Road (via Boronia Cres) and serves as a secondary link road between Buronga and Dareton.



Figure 6 Fox & Lillie Rural and Muirs Co. looking east from Silver City Highway



Figure 7 Existing access to the site of the proposed warehouse from Pump Road.



Figure 5 Aerial image of the locality

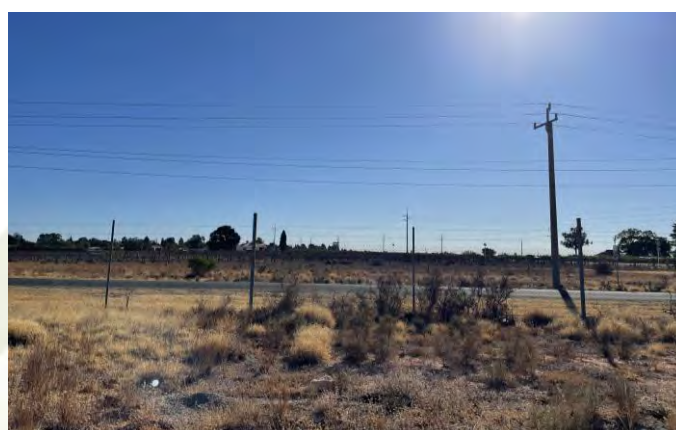


Figure 8 Looking west from the site of the proposed warehouse to adjoining property from Pump Road

Planning assessment

Policy context

The application for the development of a warehouse is considered to be appropriate given that it is located alongside existing warehouses and established businesses. The proposal is considered to be consistent with the objectives of the zone and the requirements of the DCP.

The land is shown to be capable of accommodating the warehouse, including vehicle access, parking and wastewater treatment.

In support of the application and in response to the LEP the following is noted:

- ♦ The land will continue to be used for a warehouse and industrial related uses.
- ♦ The proposal will make efficient use of vacant land upon the site.
- ♦ There will be minimal effect if any on other land uses as a result of the two long standing established business operating from the land.
- ♦ The proposed warehouse will support employment opportunities by way of supporting the two employees who will work the metal fabrication business.

Overall, the proposal is considered consistent with policy and worthy of support due to its location and the established business on the land.

Development Control Plan

Chapter 5.2, Carparking

The carparking requirements require 2 spaces to be provided as the GFA is 320sqm. Car parking has been provided as per the attached plans.

Chapter 7

7.1.1 Design

- *Consideration is given to the design and materials of industrial buildings facing roads, particularly main roads.*
- *Special attention must be paid to the design of buildings where they are adjacent to residential areas or other land uses.*
- *Special attention must be given to the façade of buildings having highway frontage – Silver City and Sturt Highways.*

The proposed warehouse is to be located behind an existing warehouse, out of view of the Silver City Highway and the design and materials are considered appropriate and in line with the existing development on the site.

7.1.2 Site analysis

Please refer to attached plans

7.1.3 Setbacks

The warehouse is proposed to be setback 17m from Pump Station Road boundary, and 3m from the existing building to the north.

7.1.4 Landscaping

No landscaping is proposed as part of the application and existing vegetation is to remain untouched.

7.1.5 Fences

Fencing will remain as existing.

7.1.6 Advertising structures,

Advertising of the business will be in accordance with the requirements of the DCP.

7.1.7 Visual Quality

External storage areas will be kept at a minimum and in accordance with the requirements of the DCP.

7.1.8 Subdivision – site arrangement

Not applicable.

7.1.9 Noise and Vibration

Consideration to noise and vibration will be in accordance with the requirements of the DCP, aided by acoustic panelling where appropriate.

7.1.10 Industrial Air Pollution

Consideration to industrial air pollution will be in accordance with the requirements of the DCP, and consideration to adequate ventilation and fume extraction systems where appropriate.

7.1.11 Industrial Water Pollution (See Appendix 1 Diagram D14)

During construction, measures will be employed to minimise the potential for water pollution. Wastewater run off will be contained on site.

7.2 Buffer Distances

Not applicable.



Conclusion

In conclusion, it is considered for reasons outlined above the development responds well to the opportunities and constraints of the site and is considered to be generally consistent with the relevant provisions.

The proposal is considered appropriate for the site for the following reasons:

- ♦ There will be limited off-site impacts as a result of the proposal.
- ♦ The layout responds to the site characteristics and opportunities.
- ♦ The warehouse is in line with the existing pursuits of the land.
- ♦ The proposal is consistent with the Wentworth LEP.



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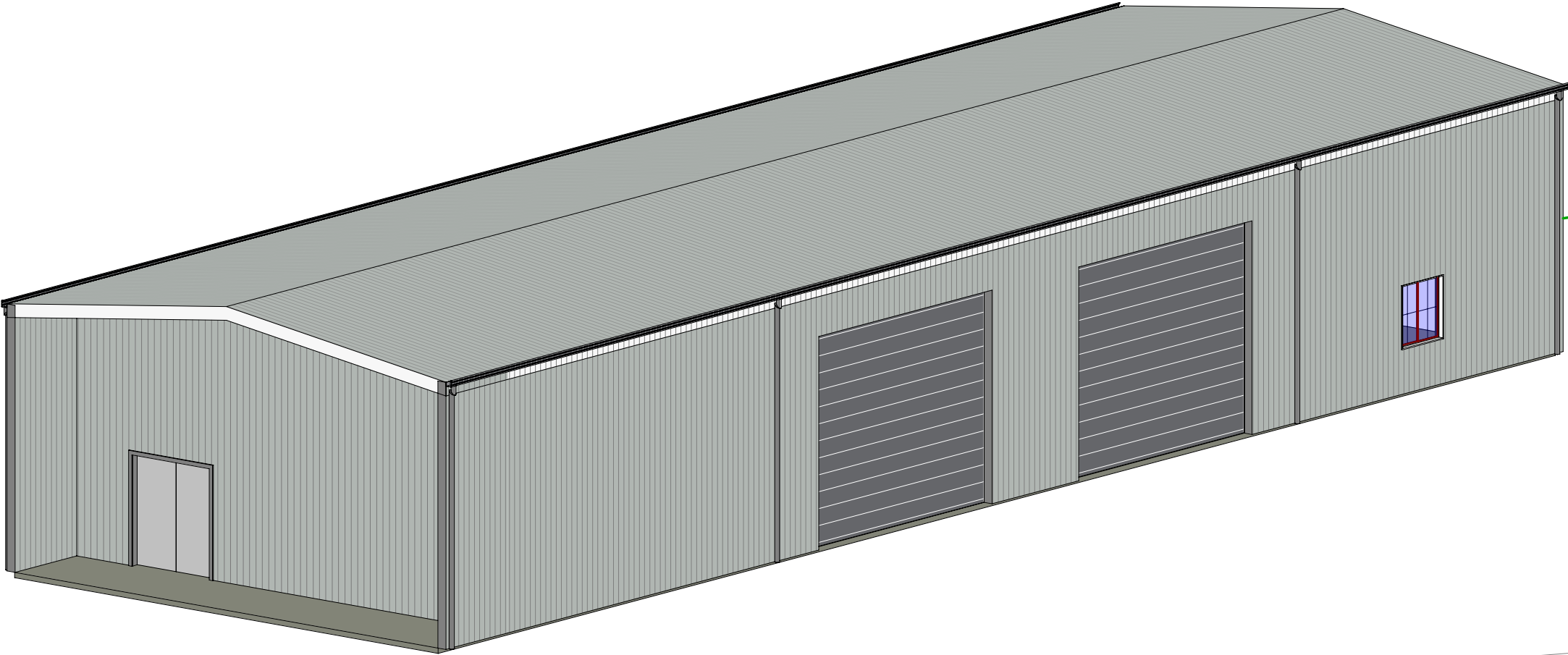
email admin@jgconsult.com.au

www.jgconsult.com.au



MICHAEL WATERS

1585 SILVER CITY HIGHWAY,
COOMEALLA, NEW SOUTH WALES



ARCHITECTURAL GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

THE BUILDER SHALL TAKE ALL HE STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE OWNER/BUILDE, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS, SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOT TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, BUILDING REGULATIONS, LOCAL BY-LAWS & TOWN PLANNING REQUIREMENTS.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORTHITIES REQUIREMENTS.

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AUTHORIZATION FOR THE USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVERYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS ONLY.

REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION AND APPROVAL IN WRITING.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDLINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.

SHEET INDEX			
SHEET NUMBER	SHEET NAME	CURRENT REVISION	REV DATE
A001	TITLE SHEET	B	30/04/2025
A101	LOCALITY PLAN	B	30/04/2025
A102	SITE PLAN	B	30/04/2025
A103	SITE PLAN - VEHICLE ACCESS	B	30/04/2025
A104	VEHICLE TURN DIAGRAM	B	30/04/2025
A400	SITE PLAN - ENLARGED SHED	B	30/04/2025
A401	SITE PLAN - SHADOW	B	30/04/2025
A402	SITE PLAN - SHADOW	B	30/04/2025
A500	FLOOR PLAN	B	30/04/2025
A600	ROOF PLAN	B	30/04/2025
A700	ELEVATION	B	30/04/2025
A800	ISO VIEWS	B	30/04/2025


B
Index

30/04/2025
Date

PERMIT ISSUE
Description

J.C
Author

PERMIT ISSUE



CLIENT
MICHAEL WATERS

PROJECT - PROPOSED SHED SITE PLAN
1585 SILVER CITY HIGHWAY,
COOMEALLA, NEW SOUTH WALES

DRAWN BY
OWNER

DATE
30/04/2025

SCALE
1 : 1

PROJECT No.
25-SP-1061



DRG No.
A001
TITLE SHEET

Rev.

B





LOCALITY PLAN
SCALE - 1 : 5000

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				LOCALITY PLAN	Rev. 



SITE PLAN -OVERALL
SCALE - 1 : 1000

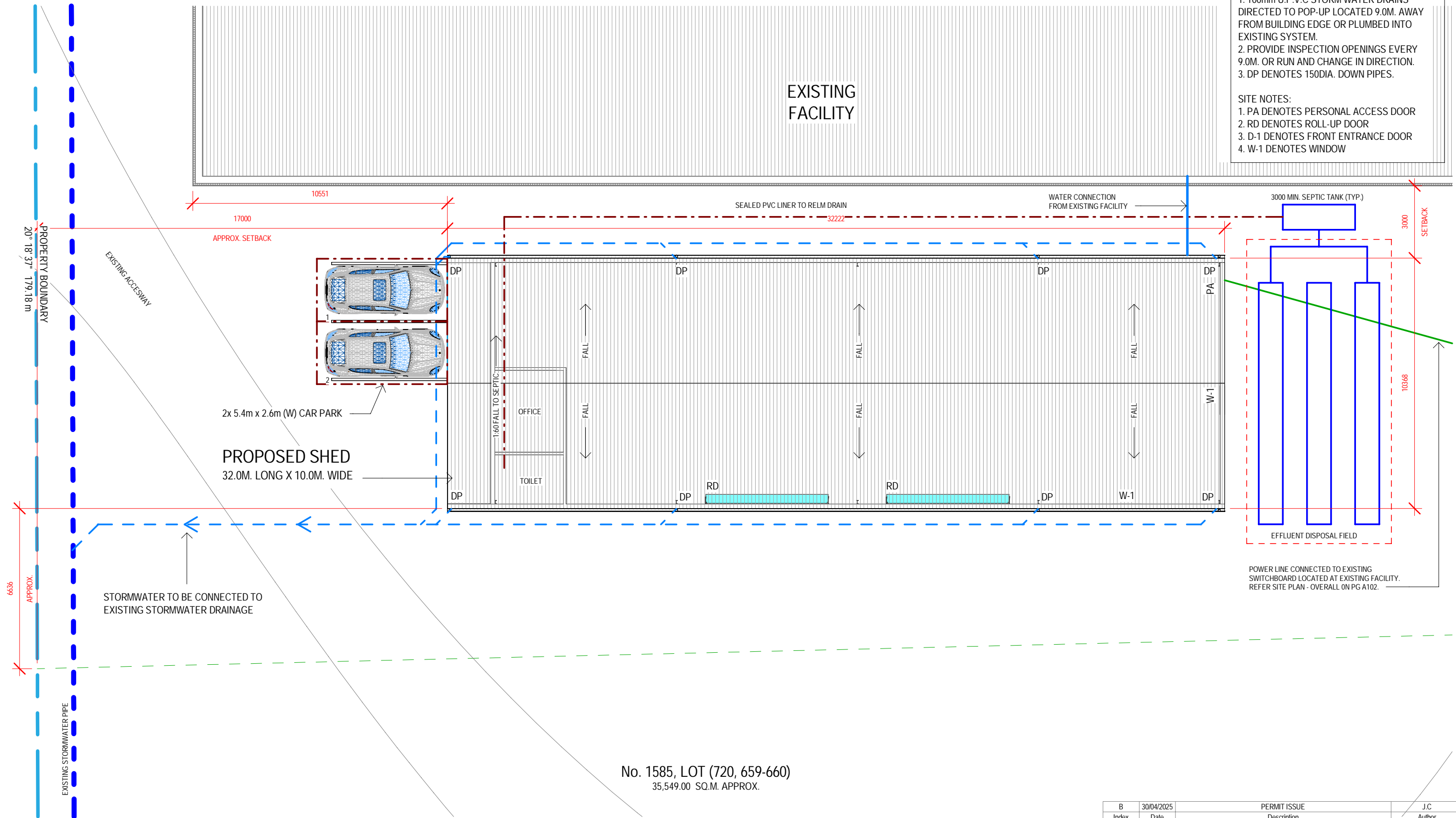
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				Rev.	
				SITE PLAN	



GENERAL NOTES:
1. ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE PROPOSED STRUCTURES MANUFACTURERS SPECIFICATIONS.

STORM WATER NOTES:
1. 100mm U.P.V.C STORM WATER DRAINS DIRECTED TO POP-UP LOCATED 9.0M. AWAY FROM BUILDING EDGE OR PLUMBED INTO EXISTING SYSTEM.
2. PROVIDE INSPECTION OPENINGS EVERY 9.0M. OR RUN AND CHANGE IN DIRECTION.
3. DP DENOTES 150DIA. DOWN PIPES.


SITE NOTES:
1. PA DENOTES PERSONAL ACCESS DOOR
2. RD DENOTES ROLL-UP DOOR
3. D-1 DENOTES FRONT ENTRANCE DOOR
4. W-1 DENOTES WINDOW

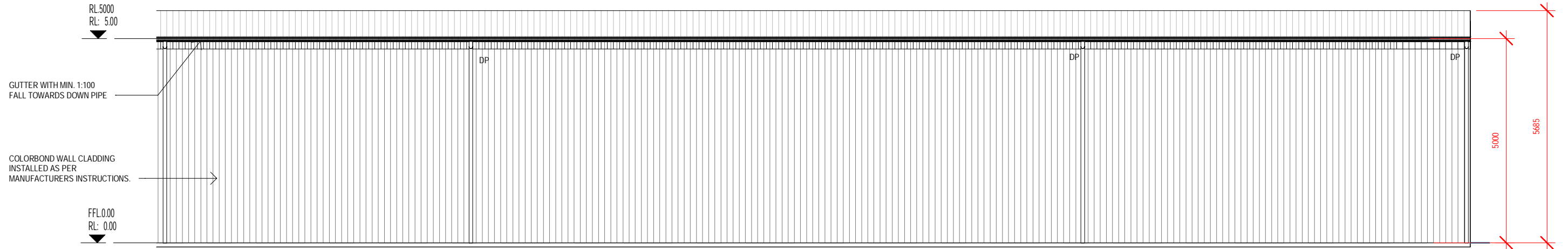


No. 1585, LOT (720, 659-660)
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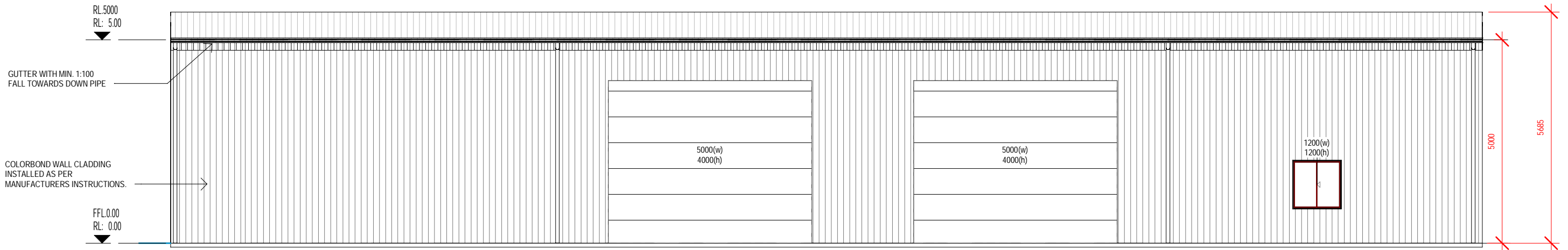


SITE PLAN -ENLARGED
SCALE - 1 : 150

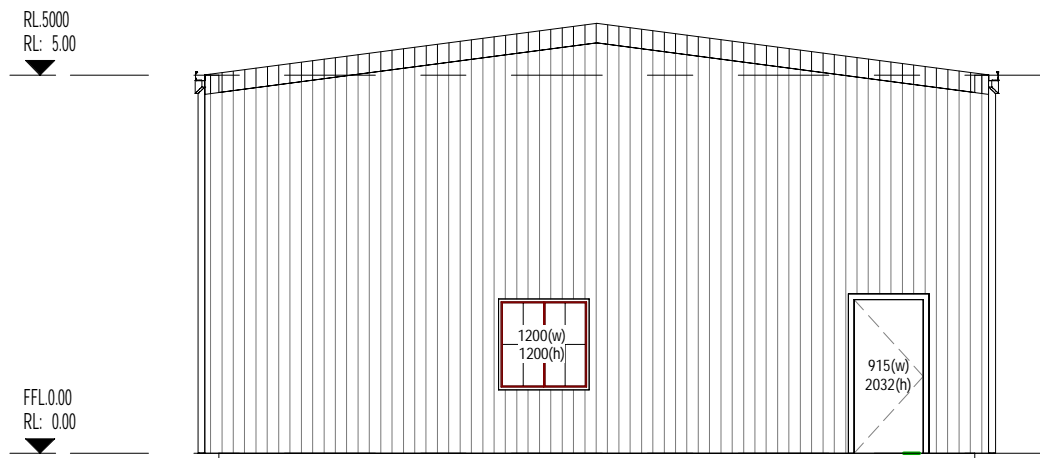
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	DRAWN BY OWNER		DATE 30/04/2025	SCALE As indicated	PROJECT No. 25-SP-1061	DRG No. A400 SITE PLAN - ENLARGED SHED



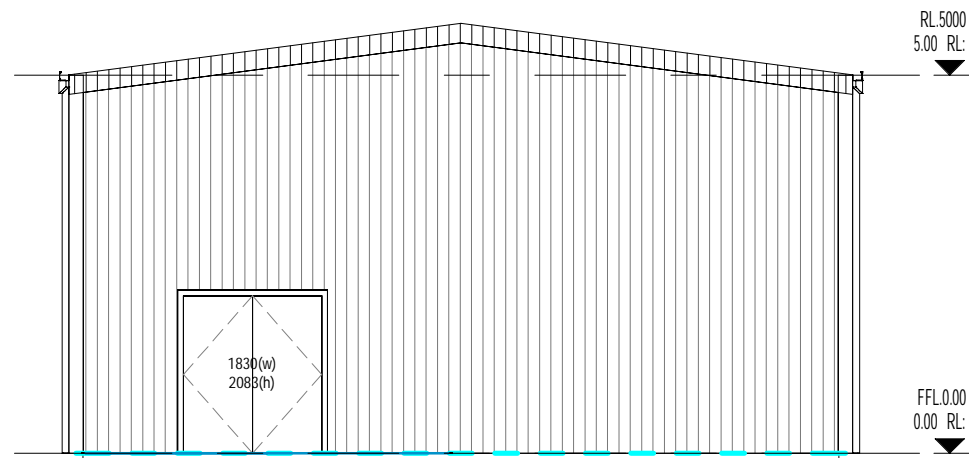
E1 FRONT ELEVATION
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
E2 REAR ELEVATION
1 : 100

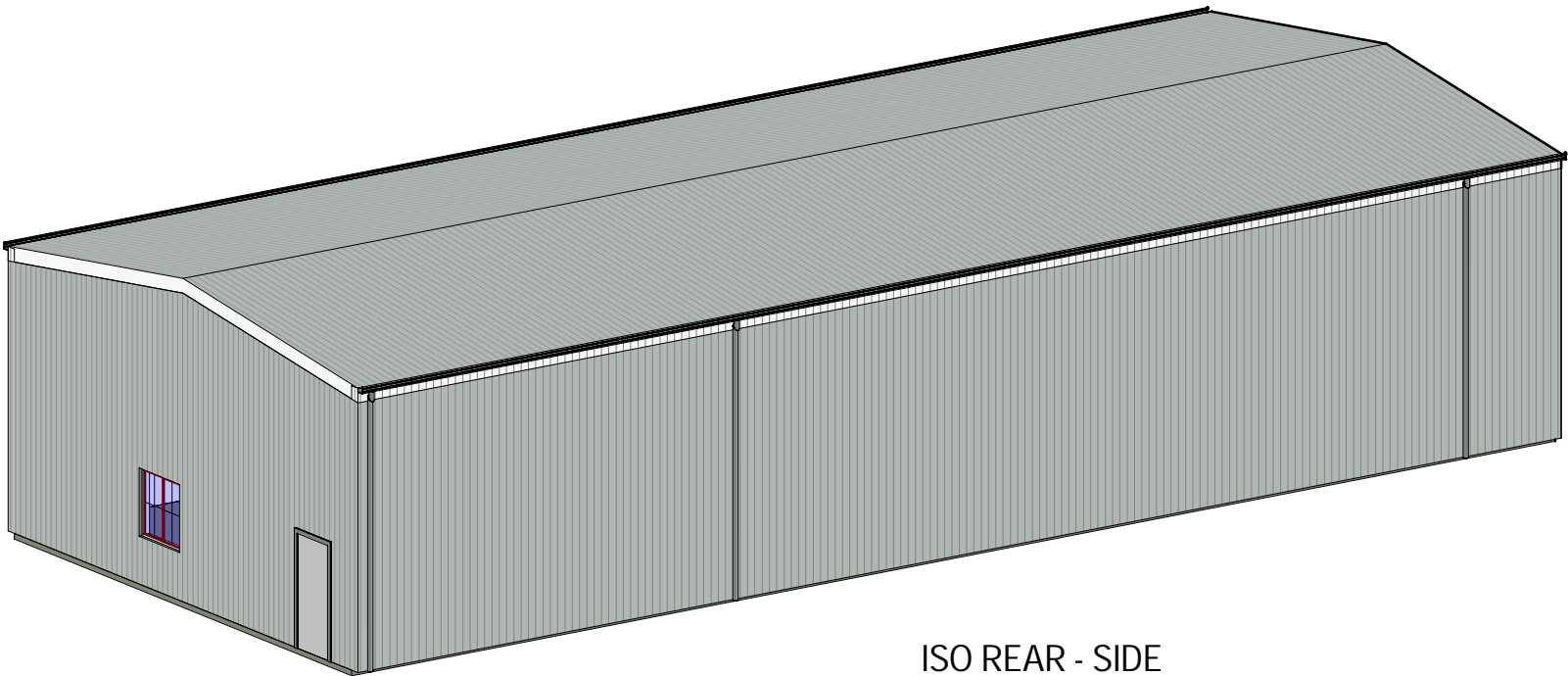


E3 RIGHT SIDE ELEVATION
1 : 100

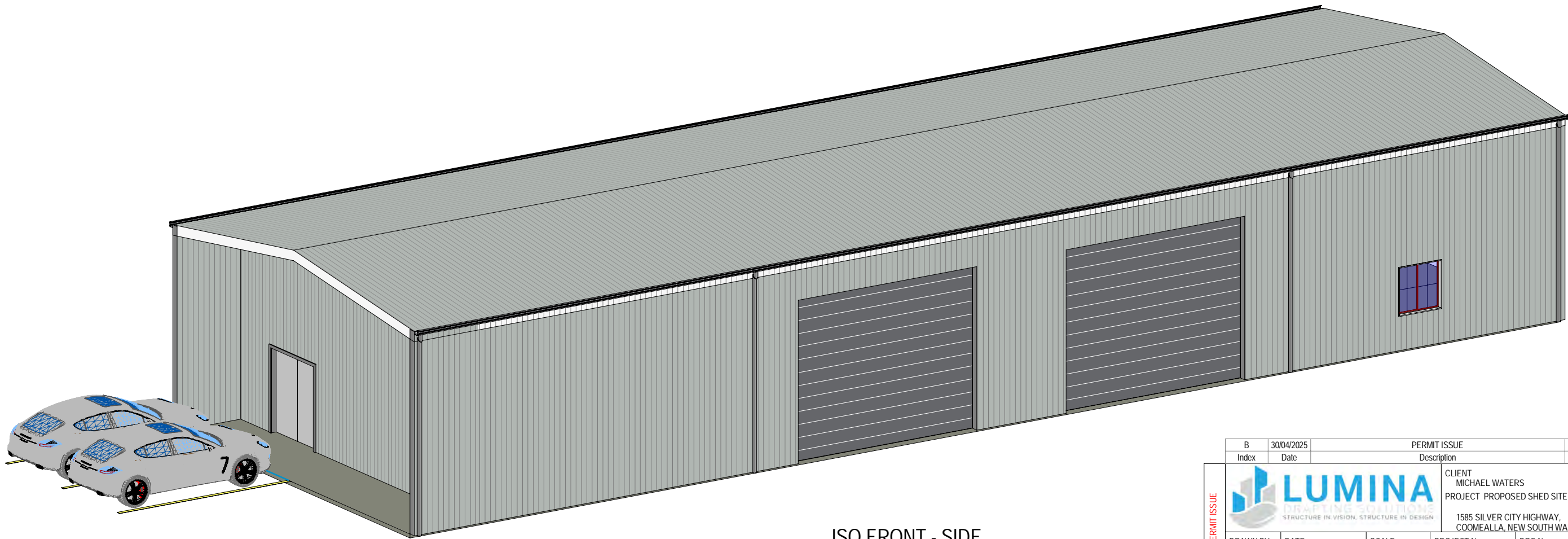


E4 LEFT SIDE ELEVATION
1 : 100

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	ELEVATION		Rev. 		



ISO REAR - SIDE
SCALE -





ISO FRONT - SIDE
SCALE -

EXTERNAL MATERIALS, COLOUR & FINISHES SCHEDULE

NOTE: All product selections may be substituted with EQUAL APPROVED products
A.S.B.P: As Selected by Proprietor

'APPROVED' shall mean approved by the superintendent
U.N.O: Unless Noted Otherwise

	ELEMENT	LOCATION	DETAIL	COLOUR/FINISH
PAVING	CONCRETE	N/A	N/A	N/A
WALLS	WALL CLADDING	All wall cladding	Colorbond 'COLORBOND CORRUGATED WALL CLADDING' supplied & installed in accordance with Lysaghts Roofing & walling Installation Manual	Shale Grey (Confirm colour with Proprietor before ordering)
ROOF	ROOF SHEETING	Main Roof	Colorbond 'COLORBOND MONOCLAD ROOF CLADDING' 0.42 BMT supplied & installed in accordance with Lysaghts Roofing & Walling Installation Manual	Shale Grey (Confirm colour with Proprietor before ordering)
	GUTTER	Main roof eaves	Colorbond 'STRAMIT GUTTER' installed in accordance with manufacturers specification	(Confirm colour with Proprietor before ordering)
	DOWNSPIPES	Main Structure	100 dia PVC downpipes with standoff brackets. Discharge into flat back sump boxes. Refer to Hydraulic Consultants drawings for further detail of stormwater disposal	Paint to match C/bond (Confirm colour with Proprietor before ordering)
	VENTS	Main Structure	N/A	N/A
	RIDGE CAPPINGS	Throughout New Works	Colorbond flashings & cappings as required to complete the works in a tradesman	Basalt (Confirm colour with Proprietor before ordering)
	BARGE CAPPINGS FLASHINGS ETC.		Colorbond flashings & cappings as required to complete the works in a tradesman	Basalt (Confirm colour with Proprietor before ordering)
STEELWORKS	STRUCTURAL STEELWORK	Main Structure	Refer to structural engineer drawings and specification	As nominated in the structural engineering specification

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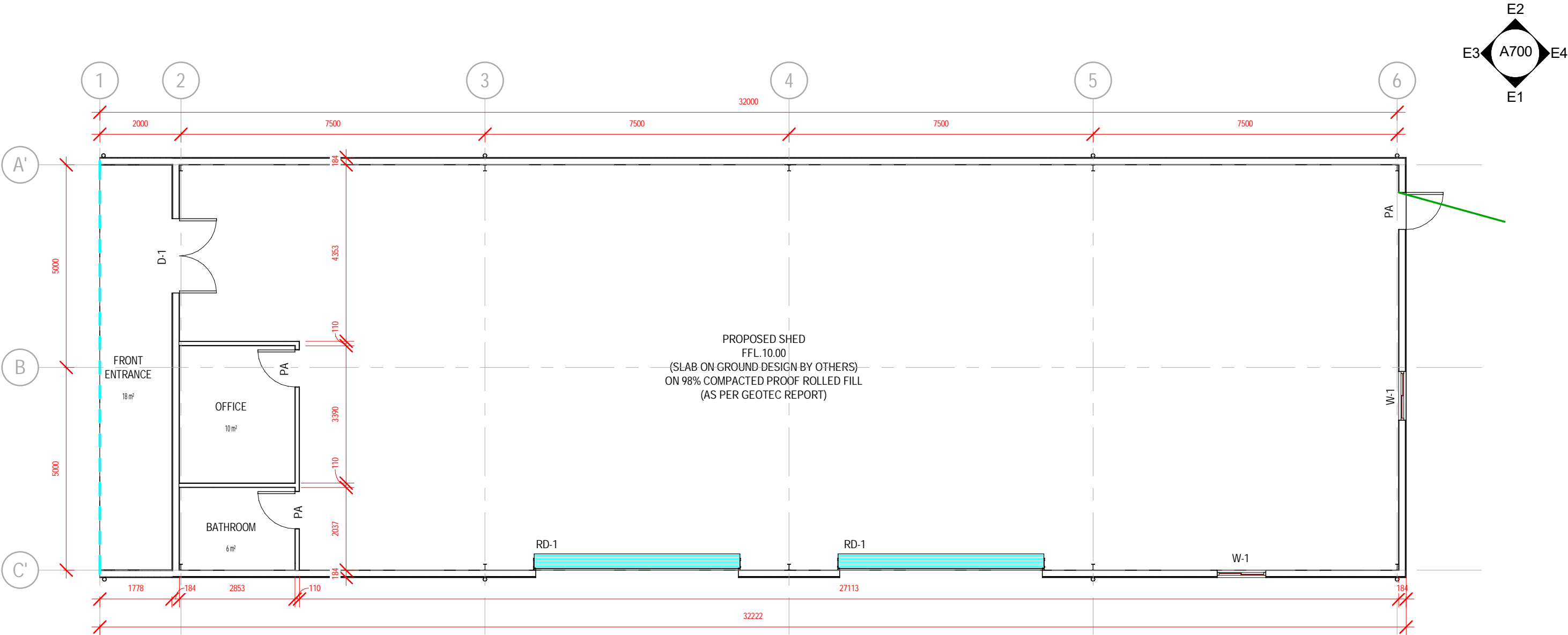
RD DENOTES ROLL-A-DOOR
REFER ELEVATION VIEW FOR SIZE.

PA DENOTES PERSONAL ACCESS DOOR
REFER ELEVATION VIEW FOR SIZE.


W-# DENOTES WINDOW
REFER ELEVATION VIEW FOR SIZE.

COL DENOTES STRUCTURAL COLUMN
REFER TO ENGINEERING DRAWINGS FOR DESIGN
AND SPECIFICATIONS.

BORED PIERS UNDER STEEL COLUMNS
BORED PIERS TO BE POURED WITH MAIN SHED SLAB



FLOOR PLAN
SCALE - 1 : 100

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