

Statement of Environmental Effects

3 Carramar Drive Gol Gol

May 2025

environmental, planning & development consultants

www.jgconsult.com.au



James Golsworthy Consulting

140 Pine Avenue Mildura VIC 3500
PO Box 1650 Mildura VIC 3502

t 03 5022 8411
e admin@jgconsult.com.au

©Copyright, James Golsworthy Consulting Pty Ltd (2025).

This work is copyright. Apart from any use as permitted under Copyright Act 1963, no part may be reproduced without written permission of James Golsworthy Consulting Pty Ltd.

Disclaimer:

Neither James Golsworthy Consulting Pty Ltd nor any member or employee of James Golsworthy Consulting Pty Ltd takes responsibility in any way whatsoever to any person or organisation (other than that for which this report has been prepared) in respect of the information set out in this report, including any errors or omissions therein. James Golsworthy Consulting is not liable for errors in plans, specifications, documentation or other advice not prepared or designed by James Golsworthy Consulting.

Table of Contents

Introduction	4
Proposal	5
Planning controls	6
Relevant State Environmental Planning Policies (SEPPs)	6
SEPP (Biodiversity and Conservation) 2021	6
Wentworth LEP	6
Zone RU5 Village	6
5.21 Flood planning	6
7.7 Riparian land and Murray River and other watercourses	7
Wentworth Shire Development Control Plan 2011	7
Aboriginal cultural heritage Due Diligence	8
Site and surrounding area	9
Subject site	9
Locality	10
Planning assessment	11
SEPP (Biodiversity and Conservation) 2021	11
Wentworth LEP	11
Zone	11
5.21 Flood planning	11
7.7 Riparian land and Murray River and other watercourses	11
Wentworth Shire DCP	11
Conclusion	12

List of Figures

Figure 1	Zone map.....	6
Figure 2	Flood Planning map.....	6
Figure 3	Riparian lands and watercourses map.....	7
Figure 4	AHIMS search.....	8
Figure 5	Aerial image of the site.....	9
Figure 6	Aerial image of the locality.....	10

Introduction

This Statement of Environmental Effects (SEE) has been prepared to seek approval for additions to an existing dwelling at 3 Carramar Drive, Gol Gol, legally described as Lot 5 DP263657.

This SEE addresses all relevant matters for consideration under section 4.15(1) of the *Environmental Planning and Assessment Act 1979*. This application is prepared in accordance and consistent with the contents of:

- ♦ State Environmental Planning Policy (Biodiversity and Conservation) 2021
- ♦ Wentworth Local Environmental Plan (LEP) 2011
- ♦ Wentworth Development Control Plan (DCP) 2011

The supporting documentation accompanying this SEE includes:

- ♦ Plans prepared by Mildura Building Designs
- ♦ AHIMS search
- ♦ Certificate of Title and Deposited Plan of the land

Proposal

Development approval is sought for additions to an existing dwelling.

The existing double-storey dwelling has a building footprint of approximately 297.5 square meters and a total floor area of 342.5 square meters. The proposed addition is limited to the first floor with alterations exempt under SEPP (Exempt and Complying Development Codes) 2008 proposed to the ground floor.

The proposed addition includes an expansion of the upper floor to create an enclosed main bedroom with dressing room and ensuite, see figure 1. The addition will increase the floor area by a total of approximately 60 square meters. The proposed extension is to have a maximum height of 7.09 meters and is to be clad in materials to match the existing dwelling. The proposed addition includes two new windows on the eastern elevation. To mitigate overlooking potential, the new window to the master bedroom is to be screened with external louvres and the ensuite window is to include obscure film to a height of 1.7m above ground level.

It is considered that the proposed addition requires development consent due to the reduced setback to the eastern boundary.

Planning controls

Relevant State Environmental Planning Policies (SEPPs)

SEPP (Biodiversity and Conservation) 2021

Chapter 5 - River Murray lands of the SEPP (Biodiversity and Conservation) aims to conserve and enhance the riverine environment of the River Murray for the benefit of all users.

The objectives of the Chapter are-

- (a) *to ensure that appropriate consideration is given to development with the potential to adversely affect the riverine environment of the River Murray, and*
- (b) *to establish a consistent and co-ordinated approach to environmental planning and assessment along the River Murray, and*
- (c) *to conserve and promote the better management of the natural and cultural heritage values of the riverine environment of the River Murray.*

Part 5.2 of the Chapter outlines general and specific principles that must be considered when a consent authority determines a development application. Responses to the relevant matters are outlined in the planning assessment below.

Wentworth LEP

Zone RU5 Village

The land is within Zone RU5 Village of the Wentworth LEP.



Figure 1 Zone map

Objectives:

- ♦ *To provide for a range of land uses, services and facilities that are associated with a rural village.*
- ♦ *To promote development in existing towns and villages in a manner that is compatible with their urban function.*
- ♦ *To encourage well-serviced sustainable development.*
- ♦ *To ensure there are opportunities for economic development.*
- ♦ *To deliver new residential and employment growth in Buronga and Gol Gol.*
- ♦ *To ensure business and retail land uses are grouped within and around existing activity centres.*

Dwelling houses are permitted with consent in the Zone RU5 Village.

5.21 Flood planning

The entirety of the subject land is affected by the flood planning mapping.



Figure 2 Flood Planning map

Objective:

- ♦ *To minimise the flood risk to life and property associated with the use of land,*
- ♦ *To allow development on land that is compatible with the flood function and behaviour on the land, taking*

into account projected changes as a result of climate change,

- ♦ *To avoid adverse or cumulative impacts on flood behaviour and the environment,*
- ♦ *To enable the safe occupation and efficient evacuation of people in the event of a flood.*

An assessment of the relevant matters is outlined in the planning assessment below.

7.7 Riparian land and Murray River and other watercourses

A portion of the land to the south is affected by the riparian lands and watercourses map.



Figure 3 Riparian lands and watercourses map

The objective of the clause is to protect and maintain the following:

- ♦ *water quality within the Murray River and other watercourses,*
- ♦ *the stability of the bed and banks of the Murray River and other watercourses,*
- ♦ *aquatic riparian habitats,*
- ♦ *ecological processes within the Murray River and other watercourses and riparian areas.*

An assessment of the relevant matters is outlined in the planning assessment below.

Wentworth Shire Development Control Plan 2011

The DCP provides a number of development controls. As the proposal is limited to an addition to an existing dwelling, the controls of particular relevance are considered to be:

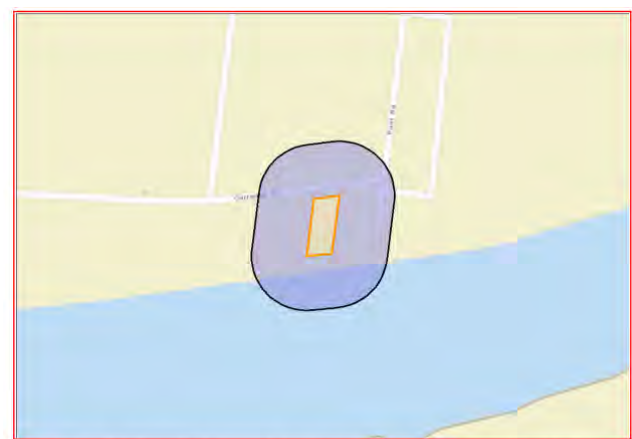
- ♦ *4.1.4 Side setbacks and Corner Lot Setbacks*
- ♦ *4.1.7 Building heights and overshadowing*
- ♦ *4.1.10 Energy Efficiency and Solar access*
- ♦ *4.1.11 Daylight to existing windows*
- ♦ *4.1.13 Overlooking*

An assessment of the relevant matters is outlined in the planning assessment below.

Aboriginal cultural heritage Due Diligence

All Aboriginal cultural heritage is protected by the *NSW National Parks and Wildlife Act, 1974* (the Act). Responsibility rests with the proponent of development to demonstrate that due care and diligence have been taken to identify and avoid impacts on archaeological sites through construction works.

The *Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW* (DECCW), provides an outline of due diligence measures to determine whether an Aboriginal Heritage Impact Permit (AHIP) is required. A search of the *Aboriginal Heritage Information Management System* (AHIMS) has been undertaken which confirms that there are no Aboriginal sites or places within a 200m radius of the subject land (see Figure 5 and the attached AHIMS report). Additionally, the works are limited to additions on the first floor of the existing dwelling with no increase in the ground floor building footprint proposed.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

Figure 4 AHIMS search

Site and surrounding area

Subject site

The subject site is located to the south of Carramar Drive in Gol Gol. The Murray River is situated to the southern boundary of the land with existing dwellings to the east and west and vacant land to the north beyond Carramar Drive.

The subject lot is irregular in shape with a total area of approximately 1197 square meters. The lot has a frontage to Carramar Drive for a length of 23.07 meters and a maximum depth of 53.40 meters.

The lot is currently developed with a dwelling occupying the central area of the lot. The remainder of the land is landscaped gardens and driveway.

The title plan shows the presence of an easement for sewer purposes along the site frontage.



Figure 5 Aerial image of the site

Locality

The subject land is located within an area with established residential uses along the Murray River and emerging residential land to the north of Carramar Drive. Some mixed uses remain within the area including a caravan park to the east and an industrial land use to the north.



Figure 6 Aerial image of the locality

Planning assessment

SEPP (Biodiversity and Conservation) 2021

The specific principles of the SEPP are primarily concerned with the impact development may have on the River Murray and the riverine surrounds. As the proposal is limited to additions to the north of the existing first floor of the existing dwelling, no impacts to the River Murray or riverine environs will occur.

Wentworth LEP Zone

The proposed development is considered an appropriate response to the objectives of the Zone RU5 Village and will not have a significant impact on the urban function or the appearance of the area.

The proposed works maintain the orderly development of the area, do not affect the demand for public services or public facilities and will not result in increased land use conflict.

5.21 Flood planning

While the land is identified within the flood planning map, the proposed works will not result in increased flood risk or impact upon flood behaviour as no increase in the building footprint is to occur.

7.7 Riparian land and Murray River and other watercourses

No adverse impact to water quality, habitat or ecosystems, the stability of the river bank, aquatic passage or future rehabilitation will occur as the works are limited to within the existing footprint.

Wentworth Shire DCP

4.1.4 Side setbacks and Corner Lot Setbacks

The existing dwelling is setback a distance of 1.875 metres from the eastern boundary. The proposed addition maintains the setback with an increase in the length of the first floor along the eastern boundary for a distance of 6.5 meters before the addition steps back to a setback of 4.7 meters. The minor increase in length at the existing

setback is considered to be reasonable in the context of the site.

The proposal will result in no changes to setbacks to the west, north or south.

4.1.7 Building heights and overshadowing

The height of the proposed addition maintains the existing height of 7.09 meters. Shadow diagrams have been prepared to demonstrate the extent of overshadowing to neighbouring properties. While the overshadowing to the west will remain the same, a slight increase in overshadowing to the east will occur in the afternoon. The increased overshadowing is predominantly limited to a roofed area on the abutting property. It is considered that the neighbouring properties will continue to receive ample sunlight to private open spaces.

4.1.10 Energy Efficiency and Solar access

As outlined above, the minor increase in overshadowing to the east is predominantly limited to a roofed area with limited impact to the daylight received in habitable spaces of abutting dwellings.

4.1.11 Daylight to existing windows

There are no habitable room windows opposite the proposed addition.

4.1.13 Overlooking

The proposed addition includes two new windows to the eastern elevation. To mitigate overlooking potential, the new window to the master bedroom is to be screened with external louvres and the ensuite window is to include obscure film to a height of 1.7m above ground level.

Conclusion

It is considered that the proposed addition responds appropriately to the objectives of the zone and the relevant controls and provisions affecting the land.

The proposal is considered appropriate for the site for the following reasons:

- ♦ The proposal is consistent with the Wentworth LEP and DCP.
- ♦ The proposal is consistent with State Environmental Planning Policy (Biodiversity and Conservation) 2021.
- ♦ The proposed addition maintains the existing setback to neighbouring properties.
- ♦ The proposed addition maintains the existing height of the dwelling.
- ♦ The increase in overshadowing is predominantly limited to an existing roofed area on the abutting property.
- ♦ Overlooking potential is to be mitigated by the addition of external louvres and obscure film to new windows on the eastern elevation.

James Golsworthy Consulting

140 Pine Avenue Mildura VIC 3500
PO Box 1650 Mildura VIC 3502

telephone 03 5022 8411

email admin@jgconsult.com.au

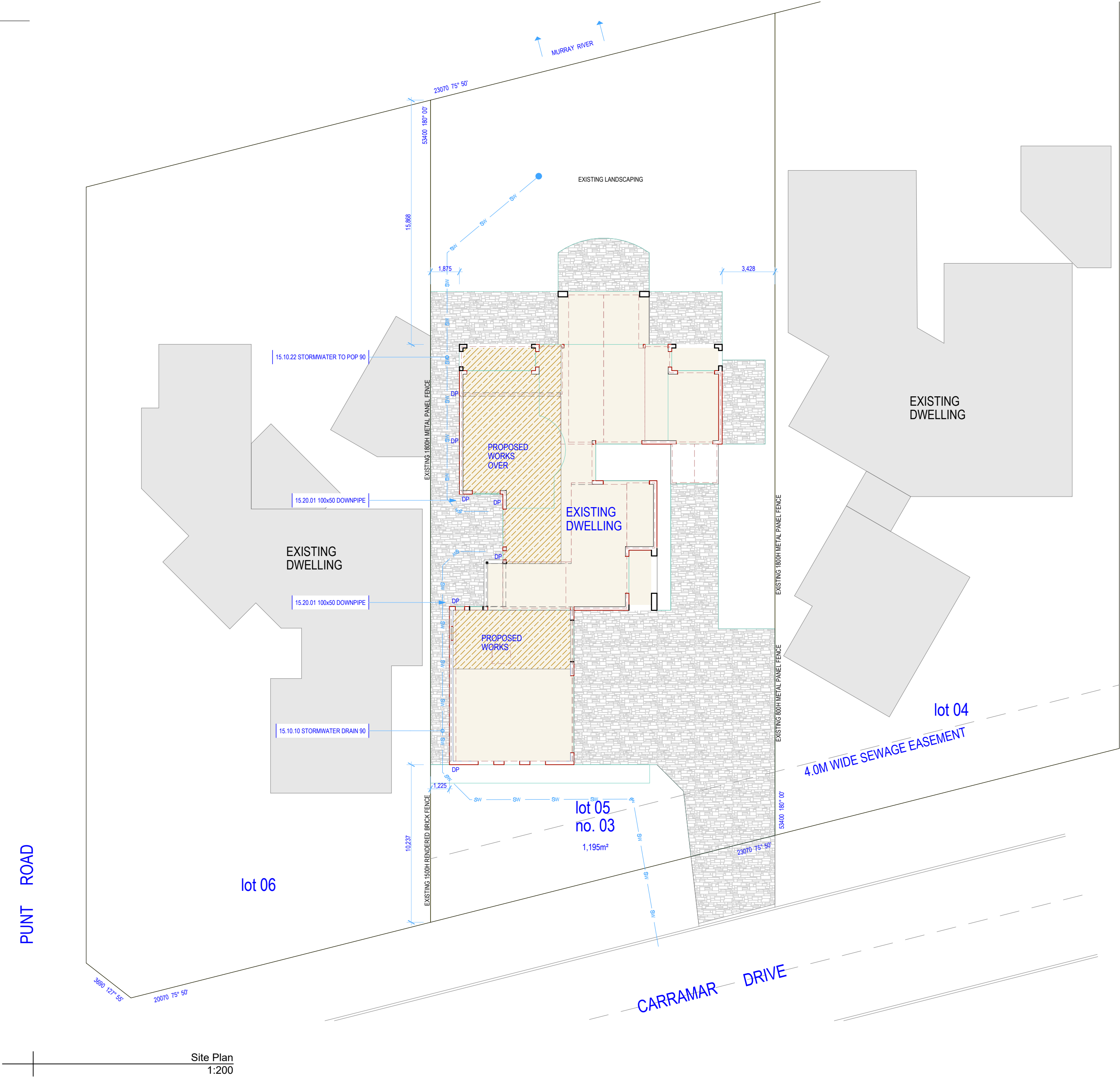
www.jgconsult.com.au



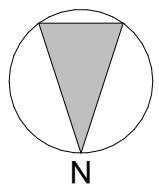
SITE DETAILS:	TITLE ADDRESS:	PLANNING ZONE:	WIND CLASSIFICATION:	CLIMATE ZONE:	BUSHFIRE PRONE AREA:
AREA: 1197m²	54/DP263657	RU5 - Village Flood Planning Area.	N2	4	Not in a Designation Bushfire Prone Zone. BAL LEVEL: na

Notes downpipes if area exceeded.

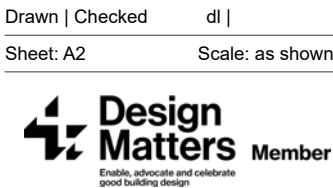
- 15 Plumbing
- 15.10.00 Stormwater piping
- 15.10.10 **STORMWATER DRAIN 90**
90mm DIA UPVC stormwater pipes laid to a minimum grade of 1:100, with inspection openings at 9.0m cts max and at each change of direction. Connect to legal point of discharge - Local council's back of kerb. in accordance with local authorities requirements, and engineers design.
- 15.10.22 **STORMWATER TO POP 90**
90mm DIA UPVC stormwater pipes laid to a minimum grade of 1:100, with inspection openings at 9.0m cts max and at each change of direction. Connect to legal point of discharge; run to pop-ups located 6.0m from buildings and boundaries - Vertical discharge outlet @ FSL 200mm min below external pavement level.
- 15.20.00 Downpipes & spreaders
- 15.20.01 **100x50 DOWNPIPE**
100x 50mm Metal downpipes in accordance with AS2179.1. Provide suitable brackets/ fixings, and connection at ground surface level. Selected powdercoat finish. Refer to roof drainage notes for maximum downpipe catchment areas. Provide additional



NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Mildura Building Designs and is to be used only for work when authorised in writing by Mildura Building Designs.
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
Owner to sign and date plans acknowledging/accepting design and documentation.
All documents here within are subject to Australian Copyright Laws.



Site Plan
1:200



Drawing Title:
Site Plan
Project Name:
Proposed Extension to Existing Dwelling

Site:
3 Carramar Drive Gol Gol NSW 2738
Client:
Tony Kairouz

Project No.
2024_030R

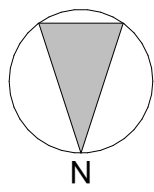
Print Date: 8/05/2025
REVISION NO. 01 - WIP
DRAWING NO. A001

DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
ad. PO Box 10282 MILDURA VIC 3552 ph. 0457 728 060
em. admin@mildurabuildingdesigns.com.au

Preliminary Issue

ENERGY RATING NOTES
INSULATION DETAILS:
- R1.3 BUILDING BLANKET TO NEW ROOF.
- R6.0 BATTIS TO NEW CEILING AREAS.
- R2.5 BATTIS TO NEW EXTERNAL WALLS.
- R2.0 BATTIS TO NEW INTERNAL WALLS.
- DOWNLIGHTS TO BE CAPABLE OF BEING INSULATED OVER.
- DOUBLE GLAZING WITH LOW E TO ALL GLAZING.
- DOUBLE GLAZING WITH LOW E TO ALL SKYLIGHTS.
- R2.5 BATTIS TO NEW FIRST FLOOR FRAMING.
ENSURE WORKS ARE IN ACCORDANCE WITH HOUSING PROVISIONS STANDARD 2022 PART 13.4 BUILDING SEALING.

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Mildura Building Designs and is to be used only for work when authorised in writing by Mildura Building Designs.
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
Owner to sign and date plans acknowledging/accepting design and documentation.
All documents here within are subject to Australian Copyright Laws.




RevID	ChID	Change Name	Date
00			8/05/2025
01 - WIP			Work in Progress



Drawn | Checked | dl |

Sheet: A2 | Scale: as shown

 **Design Matters** Member

Drawing Title:
Ground Floor

Project Name:
Proposed Extension to Existing Dwelling

Site:
3 Carramar Drive Gol Gol NSW 2738

Client:
Tony Kairouz

Print Date: 8/05/2025

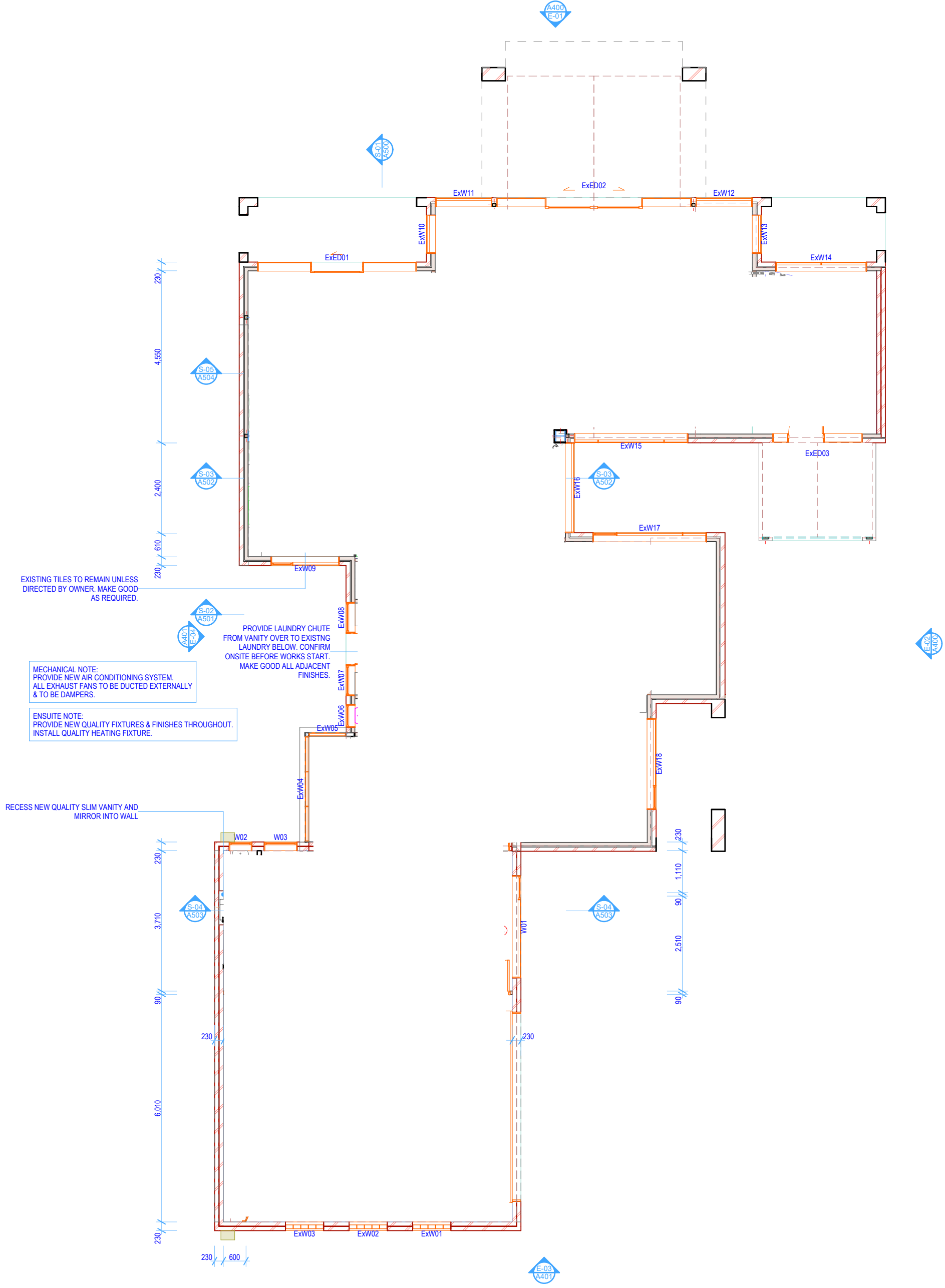
REVISION ID. **01 - WIP**

DRAWING NO. **A302**

Project No. **2024_030R**

DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
ad. PO Box 10282 MILDURA VIC 3552 ph. 0457 729 060
em. admin@mildurabuildingdesigns.com.au

1 | Ground Floor Plan
1:100



FLOOR PLAN LEGEND:

1 WC DOOR NOTE: PROVIDE READILY REMOVABLE HINGES FROM THE OUTSIDE OF COMPARTMENT IN ACCORDANCE WITH HOUSING PROVISIONS PART 10.4 FACILITIES.

2 RANGE/GAS COOKTOP NOTE: RANGE HOOD & GAS COOKTOP IN ACCORDANCE WITH AS/NZS5601.1 2022 GENERAL INSTALLATIONS. 650mm MIN CLEARANCE TO RANGE HOOD.

3 ALL EXHAUST FANS TO BE DUCTED EXTERNALLY & BE FITTED WITH BACKDRAFT DAMPERS. EXHAUST FANS IN ACCORDANCE WITH HOUSING PROVISIONS PART 10.8 CONDENSATION MANAGEMENT.

4 HANDRAIL NOTE: PROVIDE ADDITIONAL NOGGINGS/PLYWOOD STRUCTURAL SHEETING IN WALL FRAMES FOR HANDRAILS.

5 SMOKE DETECTOR/S INSTALLED TO AS 3786; & SMOKE DETECTORS TO BE CONNECTED TO MAINS POWER (& BATTERY BACKUP) & INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM INSTALLED, & IN ACCORDANCE WITH HOUSING PROVISIONS PART 9.5 SMOKE ALARMS AND EVACUATION LIGHTING.

STORMTECH EXTERNAL DRAINAGE SYSTEM NOTE:
SUB SILLS TO BE CONNECTED TO AS REQUIRED TO CONSTRUCT FLUSH SILLS.
CONNECT TO STORMWATER SYSTEM WITH OUTLET 200mm MIN BELOW FFL. ENSURE TERMITE BARRIER IS NOT COMPROMISED AND AS REQUIRED PROVIDE ALTERNATIVE SOLUTION TO SATISFACTION OF RBS.

1 DENOTES VERTICAL ARTICULATION JOINTS: IN ACCORDANCE WITH HOUSING PROVISIONS PART 5.6 MASONRY COMPONENTS AND ACCESSORIES.

FLOOR PLAN LEGEND:

SHS DENOTES SHS COLUMN TO ENGINEERS DETAILS

W01 WINDOWS. REFER TO SCHEDULE

ED01 EXTERNAL DOOR. REFER TO SCHEDULE

ID01 INTERNAL DOOR. REFER TO SCHEDULE

CS01 CUPBOARD SLIDING DOORS

RS01 ROBE SLIDING DOORS

GD01 GARAGE DOOR. REFER TO SCHEDULE

50mm STEP DOWN (##mm DENOTES HEIGHT/DEPTH)

FIXED APPLIANCES

DW DISHWASHER AS SELECTED

RH RANGE HOOD AS SELECTED. DUCT EXT/DAMPER

UBO UNDER BENCH OVEN AS SELECTED

ST FREESTANDING OVEN AS SELECTED

CT COOKTOP AS SELECTED

WO WALL OVEN AS SELECTED

MO MICROWAVE OVEN AS SELECTED

FO FREESTANDING OVEN AS SELECTED

FIXTURES

TR TOWEL RAIL AS SELECTED

CH COAT HOOK (BACK OF DOOR) AS SELECTED

HR1 HANDRAIL AS SELECTED

SWB INTERNAL SWITCHBOARD: CIRCUIT BREAKER & RCD

PLUMBING FITTINGS

SINK KITCHEN SINK AS SELECTED

T LAUNDRY TUB AS SELECTED

VB VANITY & BASIN AS SELECTED

BAS BASIN AS SELECTED

WC WATER CLOSET

TS TOILET SUITE AS SELECTED

SHR SHOWER RECESS AS SELECTED

SW SHOWER WASTE AS SELECTED

BATH BATH AS SELECTED

FLOOR FINISHES

FW DENOTES FLOOR WASTE CONNECTED TO EFFLUENT WASTE SYSTEM

DECKING DECKING BOARDS AS SELECTED

F BOARDS END MATCHED T&G FLOOR BOARDS AS SELECTED

VINYL VINYL FLOOR COVERING AS SELECTED

TILES FLOOR TILES AS SELECTED

FTF FLOATING TIMBER FLOORING AS SELECTED

CARPET CARPET & UNDERLAY AS SELECTED

CONC CONCRETE SURFACE

POLC POLISHED CONCRETE SURFACE

JOINERY

OHC OVER HEAD CUPBOARD AS SELECTED

BENCH BENCH WITH CUPBOARD AS SELECTED

BR BROOM CUPBOARD AS SELECTED

PANTRY PANTRY WITH DRAWERS/SHELVES AS SELECTED

ROBE ROBE WITH HANGING/SHELVES AS SELECTED

CUPBOARD CUPBOARD WITH DRAWERS/SHELVES AS SELECTED

SHELVES OPEN SHELVES AS SELECTED

LOOSE APPLIANCES

DR CLOTHES DRYER AS SELECTED

WM WASHING MACHINE AS SELECTED

FRG REFRIGERATOR AS SELECTED

EXTERNAL ITEMS

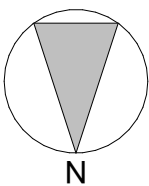
HW HOT WATER STORAGE TANK AS SELECTED

MB METER BOX AS SELECTED

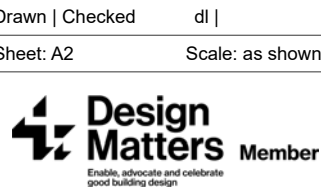
TANK RAINWATER STORAGE TANK AS SELECTED

ENERGY RATING NOTES
INSULATION DETAILS:
- R1.3 BUILDING BLANKET TO NEW ROOF.
- R6.0 BATTS TO NEW CEILING AREAS.
- R2.5 BATTS TO NEW EXTERNAL WALLS.
- R2.0 BATTS TO NEW INTERNAL WALLS.
- DOWNLIGHTS TO BE CAPABLE OF BEING INSULATED OVER.
- DOUBLE GLAZING WITH LOW E TO ALL GLAZING.
- DOUBLE GLAZING WITH LOW E TO ALL SKYLIGHTS.
- R2.5 BATTS TO NEW FIRST FLOOR FRAMING.
ENSURE WORKS ARE IN ACCORDANCE WITH HOUSING PROVISIONS STANDARD 2022 PART 13.4 BUILDING SEALING.

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Mildura Building Designs and is to be used only for work when authorised in writing by Mildura Building Designs.
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
Owner to sign and date plans acknowledging/accepting design and documentation.
All documents here within are subject to Australian Copyright Laws.



RevID	ChID	Change Name	Date
00			8/05/2025
01 - WIP			Work in Progress

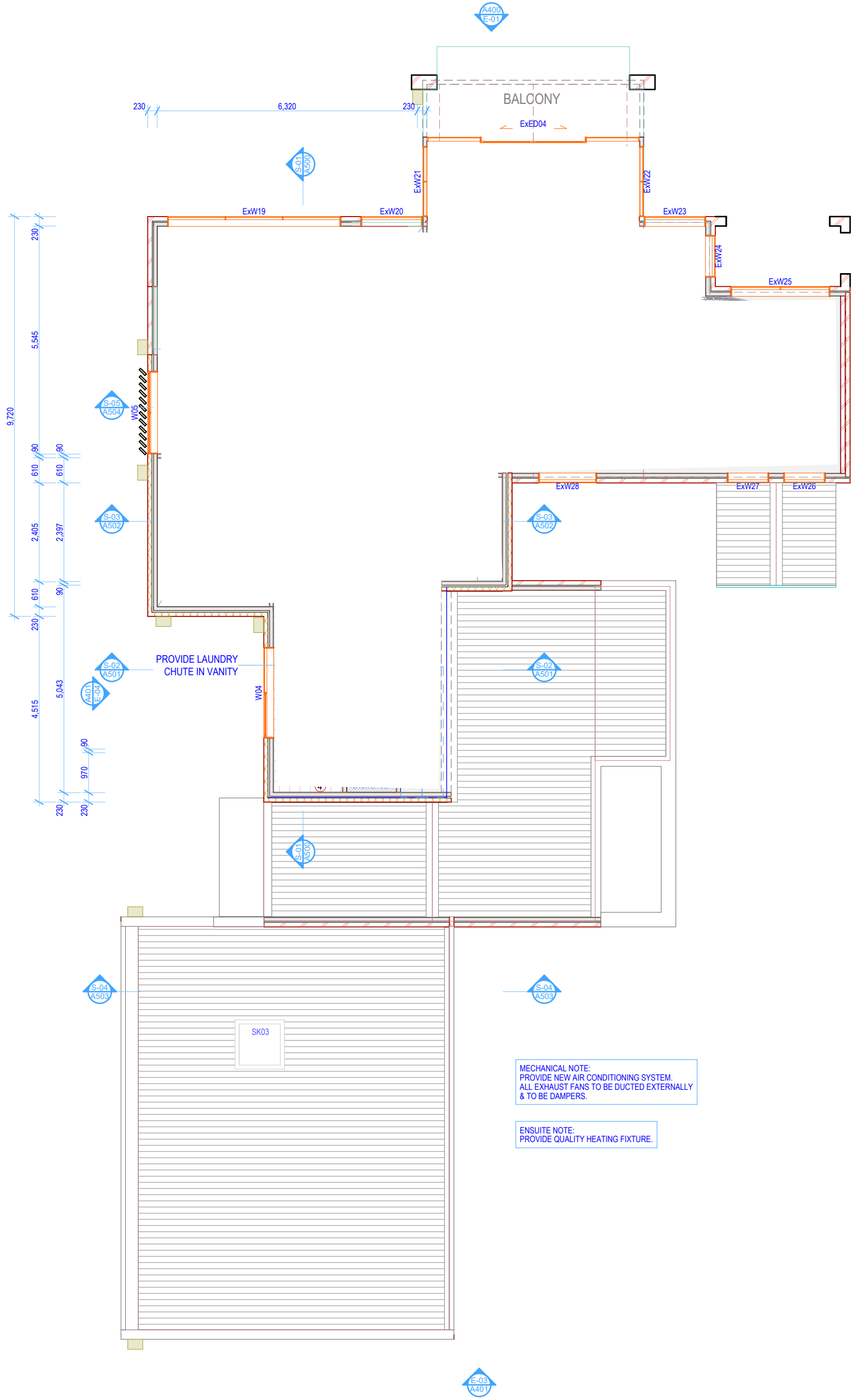


Drawn | Checked | dl |
Sheet: A2 | Scale: as shown
Drawing Title:
First Floor
Project Name:
Proposed Extension to Existing Dwelling

Site:
3 Carramar Drive Gol Gol NSW 2738
Client:
Tony Kairouz

Project No.
2024_030R

Print Date: 8/05/2025
REVISION ID. 01 - WIP
DRAWING NO. A303
DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
ad. PO Box 10282 MILDURA VIC 3552 ph. 0457 729 990
em. admin@mildurabuildingdesigns.com.au



1. First Floor Plan
1:100

- FLOOR PLAN LEGEND:**
- WC DOOR NOTE: PROVIDE READILY REMOVABLE HINGES FROM THE OUTSIDE OF COMPARTMENT IN ACCORDANCE WITH HOUSING PROVISIONS PART 10.4 FACILITIES.
 - RANGE/GAS COOKTOP NOTE: RANGE HOOD & GAS COOKTOP IN ACCORDANCE WITH AS/NZS5601.1 2022 GENERAL INSTALLATIONS. 650mm MIN CLEARANCE TO RANGE HOOD.
 - ALL EXHAUST FANS TO BE DUCTED EXTERNALLY & BE FITTED WITH BACKDRAFT DAMPERS. EXHAUST FANS IN ACCORDANCE WITH HOUSING PROVISIONS PART 10.8 CONDENSATION MANAGEMENT.
 - HANDRAIL NOTE: PROVIDE ADDITIONAL NOGGINGS/PLYWOOD STRUCTURAL SHEETING IN WALL FRAMES FOR HANDRAILS.
 - SMOKE DETECTOR/S INSTALLED TO AS 3786; & SMOKE DETECTORS TO BE CONNECTED TO MAINS POWER (& BATTERY BACKUP) & INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM INSTALLED, & IN ACCORDANCE WITH HOUSING PROVISIONS PART 9.5 SMOKE ALARMS AND EVACUATION LIGHTING.
- STORMTECH EXTERNAL DRAINAGE SYSTEM NOTE:
SUB SILLS TO BE CONNECTED TO AS REQUIRED TO CONSTRUCT FLUSH SILLS.
CONNECT TO STORMWATER SYSTEM WITH OUTLET 200mm MIN BELOW FFL. ENSURE TERMITE BARRIER IS NOT COMPROMISED AND AS REQUIRED PROVIDE ALTERNATIVE SOLUTION TO SATISFACTION OF RBS.
- ⌀ DENOTES VERTICAL ARTICULATION JOINTS: IN ACCORDANCE WITH HOUSING PROVISIONS PART 5.6 MASONRY COMPONENTS AND ACCESSORIES.

- FLOOR PLAN LEGEND:**
- ⌀ DENOTES SHS COLUMN TO ENGINEERS DETAILS
- W01 WINDOWS. REFER TO SCHEDULE
ED01 EXTERNAL DOOR. REFER TO SCHEDULE
ID01 INTERNAL DOOR. REFER TO SCHEDULE
CS01 CUPBOARD SLIDING DOORS
RS01 ROBE SLIDING DOORS
GD01 GARAGE DOOR. REFER TO SCHEDULE
50mm STEP DOWN (##mm DENOTES HEIGHT/DEPTH)
- FIXED APPLIANCES**
- DW DISHWASHER AS SELECTED
RH RANGE HOOD AS SELECTED. DUCT EXT/DAMPER
UBO UNDER BENCH OVEN AS SELECTED
ST FREESTANDING OVEN AS SELECTED
CT COOKTOP AS SELECTED
WO WALL OVEN AS SELECTED
MO MICROWAVE OVEN AS SELECTED
FO FREESTANDING OVEN AS SELECTED
- FIXTURES**
- TR TOWEL RAIL AS SELECTED
CH COAT HOOK (BACK OF DOOR) AS SELECTED
HR1 HANDRAIL AS SELECTED
SWB INTERNAL SWITCHBOARD: CIRCUIT BREAKER & RCD
- PLUMBING FITTINGS**
- SINK KITCHEN SINK AS SELECTED
T LAUNDRY TUB AS SELECTED
VB VANITY & BASIN AS SELECTED
BAS BASIN AS SELECTED
WC WATER CLOSET
TS TOILET SUITE AS SELECTED
SHR SHOWER RECESS AS SELECTED
SW SHOWER WASTE AS SELECTED
BATH BATH AS SELECTED
- FLOOR FINISHES**
- FW DENOTES FLOOR WASTE CONNECTED TO EFFLUENT WASTE SYSTEM
DECKING DECKING BOARDS AS SELECTED
F BOARDS END MATCHED T&G FLOOR BOARDS AS SELECTED
VINYL VINYL FLOOR COVERING AS SELECTED
TILES FLOOR TILES AS SELECTED
FTF FLOATING TIMBER FLOORING AS SELECTED
CARPET CARPET & UNDERLAY AS SELECTED
CONC CONCRETE SURFACE
POLC POLISHED CONCRETE SURFACE
- JOINERY**
- OHC OVER HEAD CUPBOARD AS SELECTED
BENCH BENCH WITH CUPBOARD AS SELECTED
BR BROOM CUPBOARD AS SELECTED
PANTRY PANTRY WITH DRAWERS/SHELVES AS SELECTED
ROBE ROBE WITH HANGINGS/SHELVES AS SELECTED
CUPBOARD CUPBOARD WITH DRAWERS/SHELVES AS SELECTED
SHELVES OPEN SHELVES AS SELECTED
- LOOSE APPLIANCES**
- DR CLOTHES DRYER AS SELECTED
WM WASHING MACHINE AS SELECTED
FRG REFRIGERATOR AS SELECTED
- EXTERNAL ITEMS**
- HW HOT WATER STORAGE TANK AS SELECTED
MB METER BOX AS SELECTED
TANK RAINWATER STORAGE TANK AS SELECTED

Notes

10 Enclosures
10.02.00 Windows, Doors Skylights
10.02.25 **ALUM. WINDOWS**
Selected finished aluminium windows to be in accordance with NCC Housing Provisions Standard Part 8 Glazing, AS2047, AS1288. Ensure bathroom, ensuite and spa room glazing complies. Refer to attached window schedule.

10.04.00 Roofing & Flashing
10.04.50 **STEEL-CLAD 762 ROOF CLADDING**
Steelline Steel Clad 762 roof cladding, BMT 0.42 (G550) internal spans 1700mm MAX (1200mm recommended), end spans 1300mm MAX (800mm recommended). Crest pierce fixing. Refer to manufactures specifications. Finish to be nominated.

10.04.88 **PARAPET CAP FLASHING**
0.55mm bmt prefinished flashing purpose made to parapet, flashed to box gutter or roofing below. Finish to match roofing.

10.16.00 Lightweight Veneer
10.16.12 **MASTERWALL 100mm**
Masterwall M series panels, batten fix to be installed in accordance with manufacturer's specifications and design. Refer to Masterwall installation guide & system

10.16.16

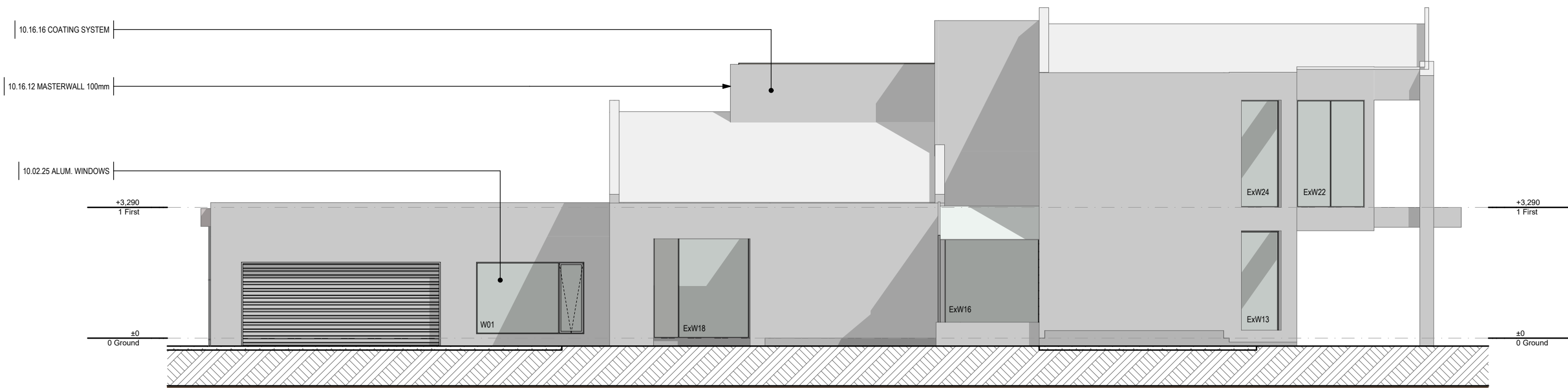
15
15.03.00
15.03.15

manual. Provide control joints/articulation joints in accordance with manufacturer's design and design engineers design and requirements.
COATING SYSTEM
Masterwall M-tex system; Scratch coat in accordance with manufacturer's specifications and design. To match existing finish.

Plumbing
Box Gutter & Rain Head
R-300 RWH
R-300 Dambuster rainwater head supplied and installed in accordance with Dam Buster's details and specifications.



E-01 | Elevation
1:100



E-02 | Elevation
1:100

20 Meters @ 1:100

15

10

5

4

3

2

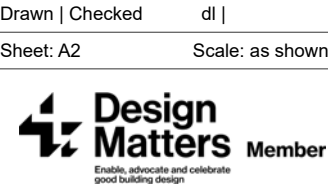
1

Preliminary Issue

NOTE

The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Mildura Building Designs and is to be used only for work when authorised in writing by Mildura Building Designs.
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
Owner to sign and date plans acknowledging/accepting design and documentation.
All documents here within are subject to Australian Copyright Laws.

RevID	ChID	Change Name	Date
00			8/05/2025
01 - WIP			Work in Progress



Drawn | Checked | dl |
Sheet: A2 | Scale: as shown
Drawing Title:
Elevations
Project Name:
Proposed Extension to Existing Dwelling

Site:
3 Carramar Drive Gol Gol NSW 2738
Client:
Tony Kairouz

Project No.
2024_030R

Print Date: 8/05/2025
REVISION ID. 01 - WIP
DRAWING NO. A400

DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
ad. PO Box 10282 MILDURA VIC. 3552 ph. 0457 728 060
em. admin@mildurabuildingdesigns.com.au

Notes

10 Enclosures
10.02.00 Windows, Doors Skylights
10.02.25 **ALUM. WINDOWS**
Selected finished aluminium windows to be in accordance with NCC Housing Provisions Standard Part 8 Glazing, AS2047, AS1288. Ensure bathroom, ensuite and spa room glazing complies. Refer to attached window schedule.

10.04.00 Roofing & Flashing
10.04.50 **STEEL-CLAD 762 ROOF CLADDING**
Steeline Steel Clad 762 roof cladding, BMT 0.42 (G550) internal spans 1700mm MAX (1200mm recommended), end spans 1300mm MAX (800mm recommended). Crest piece fixing. Refer to manufactures specifications. Finish to be nominated.
10.04.88 **PARAPET CAP FLASHING**
0.55mm bmt prefinished flashing purpose made to parapet, flashed to box gutter or roofing below. Finish to match roofing.

10.16.00 Lightweight Veneer
10.16.12 **MASTERWALL 100mm**
Masterwall M series panels, batten fix to be installed in accordance with manufacturer's specifications and design. Refer to Masterwall installation guide & system

10.16.16

15

15.03.00

15.03.15

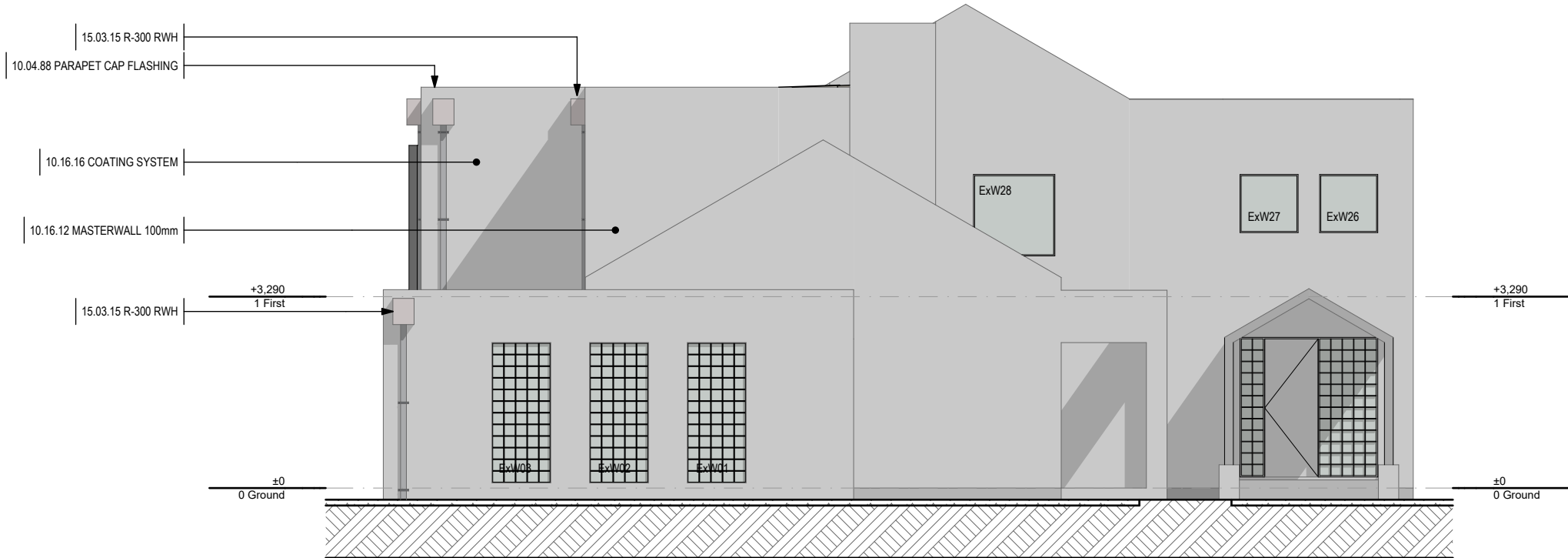
manual. Provide control joints/articulation joints in accordance with manufacture's design and design engineers deign and requirements.
COATING SYSTEM
Masterwall M-tex system; Scratch coat in accordance with manufacturer's specifications and design. To match existing finish.

Plumbing

Box Gutter & Rain Head

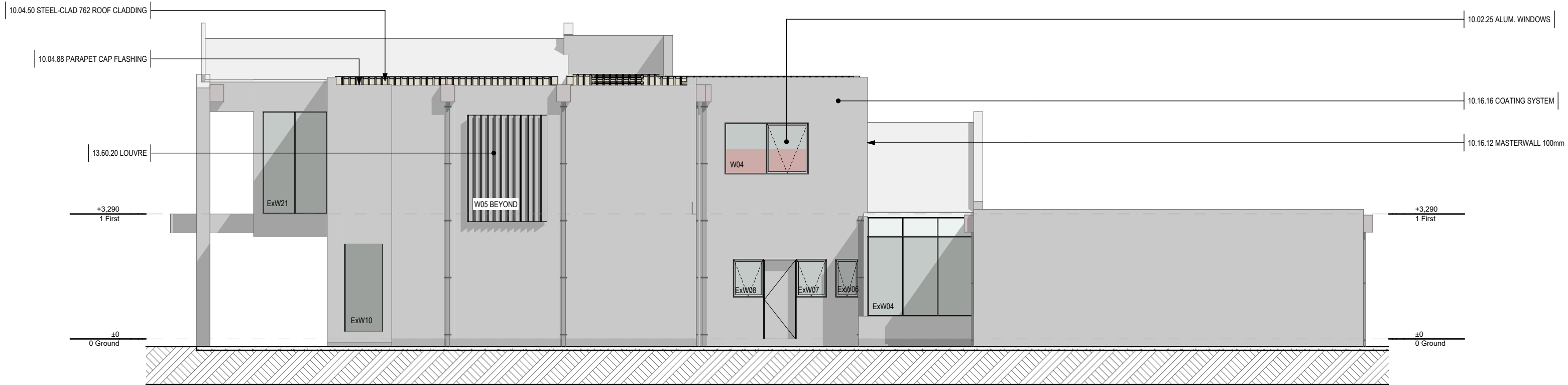
R-300 RWH

R-300 Dambuster rainwater head supplied and installed in accordance with Dam Buster's details and specifications.



E-03

Elevation
1:100



E-04

Elevation
1:100

NOTE

The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Mildura Building Designs and is to be used only for work when authorised in writing by Mildura Building Designs.
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
Owner to sign and date plans acknowledging/accepting design and documentation.
All documents here within are subject to Australian Copyright Laws.

RevID	ChID	Change Name	Date
00			8/05/2025
01 - WIP			Work in Progress

MILDURA
BUILDING DESIGNS

Drawn | Checked | dl |
Sheet: A2 | Scale: as shown
Design Matters Member
Enabling, advocating and celebrating good building design

Drawing Title:
Elevations
Project Name:
Proposed Extension to Existing Dwelling

Site:
3 Carramar Drive Gol Gol NSW 2738
Client:
Tony Kairouz

Project No.
2024_030R

Print Date: 8/05/2025
REVISION ID. **01 - WIP**
DRAWING NO. **A401**

DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
ad. PO Box 10282 MILDURA VIC. 3552 ph. 0457 729 090
em. admin@mildurabuildingdesigns.com.au

Preliminary Issue

20 Meters @ 1:100

15

10

5

4

3

2

1