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STATEMENT OF ENVIRONMENTAL EFFECTS

LOT 83 DP756946

39 GOL GOL NORTH ROAD, NSW 2738

PROPOSED STORAGE SHED

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1. Introduction

This Statement of Environmental Effects (SEE) report pertains to the proposed construction of a storage shed at 39 Gol Gol North Road, Gol Gol NSW 2738, being Lot 83 DP 756946.

The application seeks Development Consent from Wentworth Shire Council in accordance with Part 4 of the Environmental Planning and Assessment Act 1979 for the proposed development.

2. Subject Site and Surrounding Area

2.1 Subject Site

| | | |
|------------------------|---|--|
| Address | 39 Gol Gol North Road, Gol Gol NSW 2738 | |
| Lot & DP | Lot 83 DP756946 | |
| Land size | 150,768m2 approx. | |
| Shape | Irregular | |
| Slope | N/A | |
| Vegetation | Nil | |
| Waterways | N/A | |
| Current uses | Commercial operational primary production | |
| Previous uses | Primary Production | |
| Natural hazards | Bushfire prone: | No |
| | Flood affected: | No |
| | Salinity: | No known salinity impacts affecting the site |
| | Stormwater: | No known inundation of storm water |
| Additional constraints | This property may be located near electrical infrastructure and could be subject to requirements listed under ISEPP | |



Figure 1: Site Map (Source: Google Maps)



Figure 2: Site location (Source: Google Maps)

2.2 Surrounding Land Use and Development:

The surrounding land use and development around 39 Gol Gol North Road, Gol Gol NSW, consists of a mix of various land uses and zoning types.

While the subject site is zoned RU1 Primary Production, the land immediately to the north and east is zoned RU4 – Primary Production Small Lots.

To the south and west, the land is zoned RU5 – Village, which is designated for residential use, as illustrated in the image below.

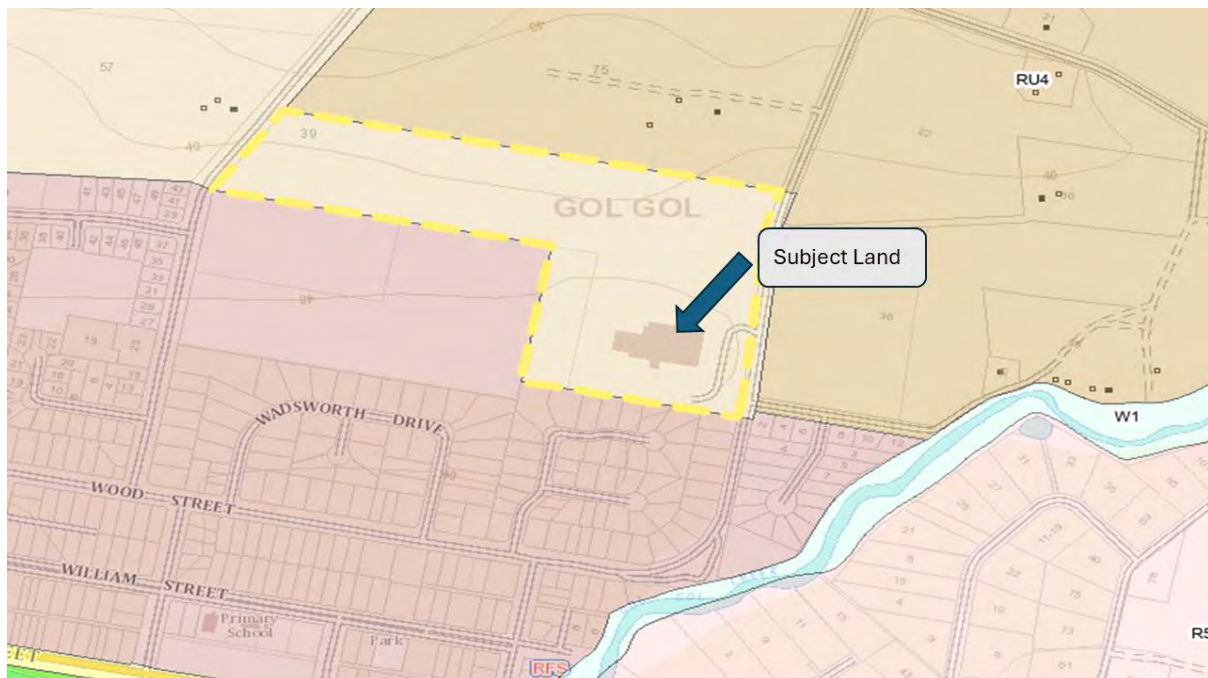


Figure 3: Surrounding Land Use Map (Source: NSW eSpatial Viewer)

3. Proposed Development

| | |
|-------------------------|------------------------------|
| Proposal | New storage shed |
| Size of current lot | 150768m ² approx. |
| Applicable MLS | 10,000ha |
| 4.6 Variation Required? | No |

4. Relevant Planning Controls

4.1 State Environmental Planning Policies

- State Environmental Planning Policy (Biodiversity and Conservation) 2021
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008
- State Environmental Planning Policy (Housing) 2021
- State Environmental Planning Policy (Industry and Employment) 2021
- State Environmental Planning Policy (Planning Systems) 2021
- State Environmental Planning Policy (Primary Production) 2021
- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Resources and Energy) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- State Environmental Planning Policy (Transport and Infrastructure) 2021

4.2 Wentworth Local Environmental Plan 2011

| | |
|--|---|
| Permissibility of development in the Zone | The proposed development is permissible in the RU1 Primary Production Zone. |
| Consistency with Zone Objectives | The proposed storage shed is consistent with the RU1 Primary Production zone objectives as it supports and enhances the functionality of the primary industry operations on the site. |
| Applicable Principal Development Standards | N/A |
| Applicable Miscellaneous provisions | N/A |
| Applicable additional local provisions | N/A |

4.2 Wentworth Development Control Plan 2011

| |
|---|
| Chapter 3, 5 Vehicular access and Parking |
| <p>General Controls</p> <p><i>Should address the needs of the site occupants and visitors as well as respecting the amenity of the area.</i></p> <p><i>Where Parking is provided it must be in a safe and efficient manner, allowing for easy access.</i></p> <p>Response:</p> <p>The site currently has established car parking arrangements that facilitate safe access and egress for workers, visitors, and heavy vehicles. These arrangements have been designed to ensure efficient circulation and minimal disruption to the surrounding area.</p> |

General Controls

Not used for human habitation

Response:

The purpose of this storage shed is to support the commercial industry on the site and will not be used for human habitation.

5. Assessment

5.1 Context Analysis

| | | |
|--------------------------|---|----|
| Will the development be: | Visually prominent in the surrounding area? | No |
| | Inconsistent with the existing streetscape? | No |
| | Out of character with the surrounding area? | No |
| | Inconsistent with surrounding land uses? | No |

Response:

The proposed storage shed, with a total area of approximately 314m², is a modest addition to the ongoing commercial operations of Simfresh.

It will be constructed within the existing site boundaries, ensuring no encroachment into surrounding areas. Given the long-standing history of industrial sheds on the site for the agricultural production and storage of citrus, the new storage shed is fully consistent with the established land use.

Furthermore, the development will not impact the visual aesthetics or the streetscape, as its design and placement will maintain harmony with the existing built environment and blend seamlessly into the site's industrial character.

5.2 Privacy, view, and overshadowing

| | | |
|---------------------------------|--|----|
| Will the development result in: | Privacy issues? | No |
| | Overshadowing of adjoining properties? | No |
| | Acoustic issues from excessive noise? | No |
| | Impact on view? | No |

Response:

The proposed development has been carefully designed to minimize any potential adverse impacts on privacy, views, or amenity for neighbouring properties.

It will not result in overshadowing, ensuring that access to sunlight for adjacent properties remains unaffected.

The design also accounts for potential acoustic impacts, with no significant noise anticipated from the development.

Furthermore, the development will not obstruct existing views, preserving the visual enjoyment and privacy of the surrounding area.

5.3 Access and Traffic

| | | |
|--|--|--|
| Will the development: | Have legal and practical, or require new access? | Has legal access via Gol Gol North Road. |
| | Increase local vehicle movements? | No |
| | Require onsite vehicular manoeuvring and onsite parking? | No |
| | Require off-site parking? | No |
| Response: <p>The proposed development will make use of its existing legal access via Gol Gol North Road, with no need for new access arrangements.</p> <p>It will not lead to an increase in local vehicle movements and does not require any on-site vehicular manoeuvring or dedicated parking provisions.</p> <p>Furthermore, the development will not depend on or necessitate off-site parking, thereby ensuring minimal impact on local infrastructure and traffic conditions.</p> | | |

5.4 Infrastructure and Utilities

| | | |
|--|-----------------------|----|
| Will the development require: | • Power? | No |
| | • Water? | No |
| | • Sewer? | No |
| | • Stormwater? | No |
| | • Telecommunications? | No |
| Response: <p>The proposed development does not require essential services.</p> | | |

5.5 Environmental Impacts

| | | |
|--|--|----|
| Will the development result in: | • Air pollution? | No |
| | • Water Pollution? | No |
| | • Noise impacts? | No |
| | • Excavation or filling | No |
| | • Erosion or sediment run-off? | No |
| | • Soil contamination? | No |
| | • ESD <i>i.e.</i> , is a BASIX required? | No |
| | • Impacts on items of heritage or cultural significance? | No |
| | • Disturbance of Aboriginal artefacts or relics? | No |
| Response: <p>The proposed development is designed to have minimal environmental impact, with no contribution to air or water pollution, noise disturbances, soil contamination, excavation, or sediment runoff.</p> <p>It will not interfere with any items of heritage or cultural significance, nor will it disturb any Aboriginal artefacts or relics, ensuring the ongoing preservation of the area's environmental and cultural values.</p> | | |

5.6 Biodiversity Impacts

| | | |
|---|---|----|
| Will the development result in: | The removal of any native vegetation? | No |
| | Any impact on threatened species or native habitat? | No |
| Response: The proposed development will not impact biodiversity, as there is no native vegetation on the site or in the immediate surrounding area. Additionally, it will not affect any threatened species or native habitats, ensuring that the natural environment remains undisturbed and preserved. | | |

5.7 Waste and Stormwater disposal

| | |
|---|--|
| How will effluent be managed? Sewer or onsite? | N/A |
| How will stormwater be disposed? Drainage system or other? | Existing storm water management system |
| Will liquid trade waste be discharged to Council's sewer? | No |
| Will the development result in hazardous waste or disposal issues? | No |
| Have all storm water risks been considered? | Yes |
| Will the development include rainwater tanks | No |
| Response: Stormwater will be managed through the existing system, with all associated risks carefully assessed and mitigated. The development will not involve the discharge of liquid trade waste to Council's sewer, nor will it generate hazardous waste or pose any disposal concerns. | |

5.8 Social and Economic Impacts

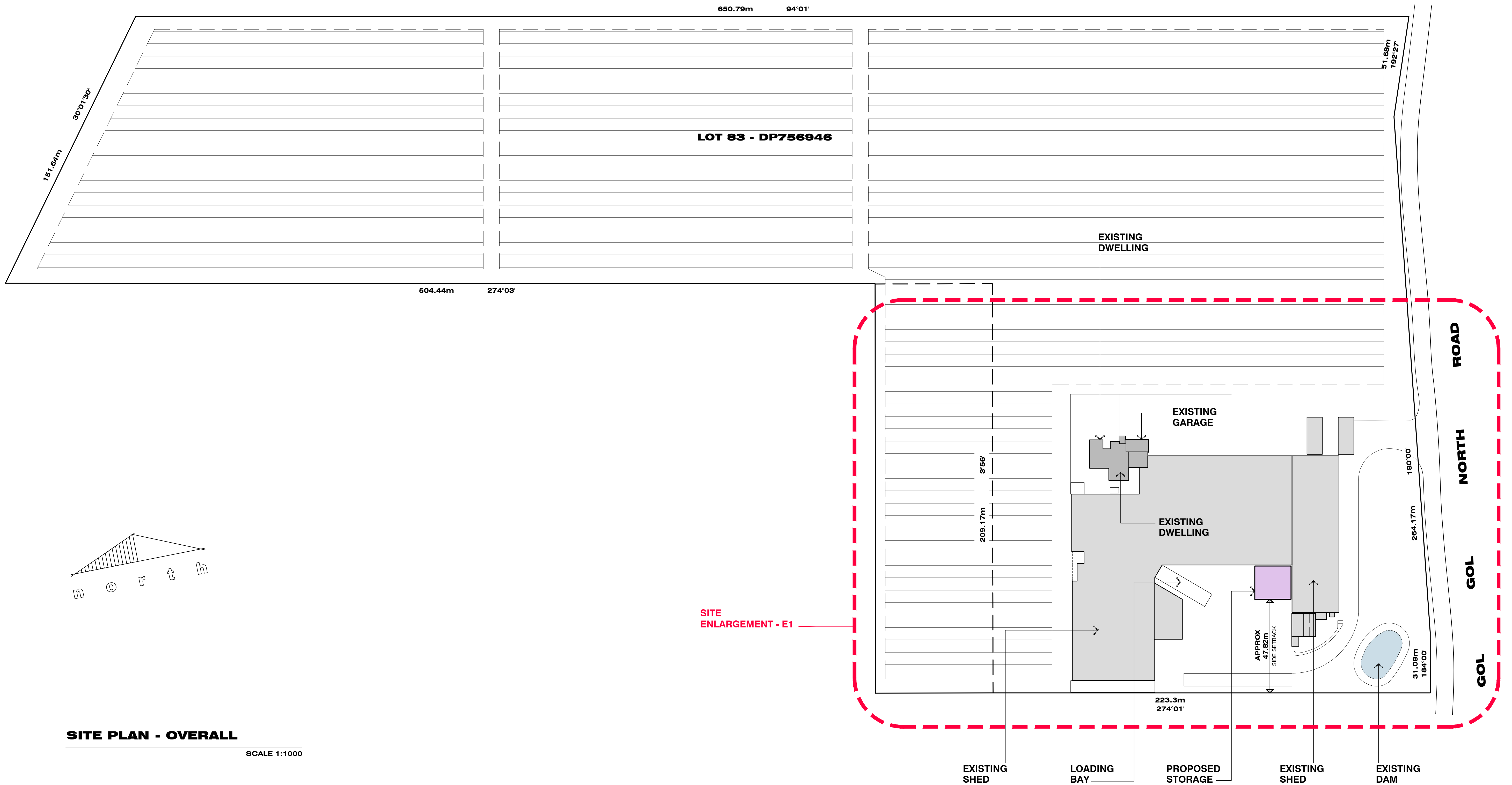
| | | |
|---|---|----|
| Will the development result in: | Any economic impacts? | No |
| | Any social impacts? | No |
| | Any issues relating to safety, security or crime? | No |
| Response: The proposed development will not result in any significant economic or social impacts. It will not introduce issues related to safety, security, or crime, ensuring that the surrounding community remains unaffected. Designed to blend seamlessly with the existing rural environment, the development will not disrupt local social dynamics or economic stability, fostering a harmonious integration with the area. | | |

6. Conclusion

The application for development consent seeks approval for a storage shed on RU1 Primary Production land, demonstrating compliance with the objectives of the land use zone.

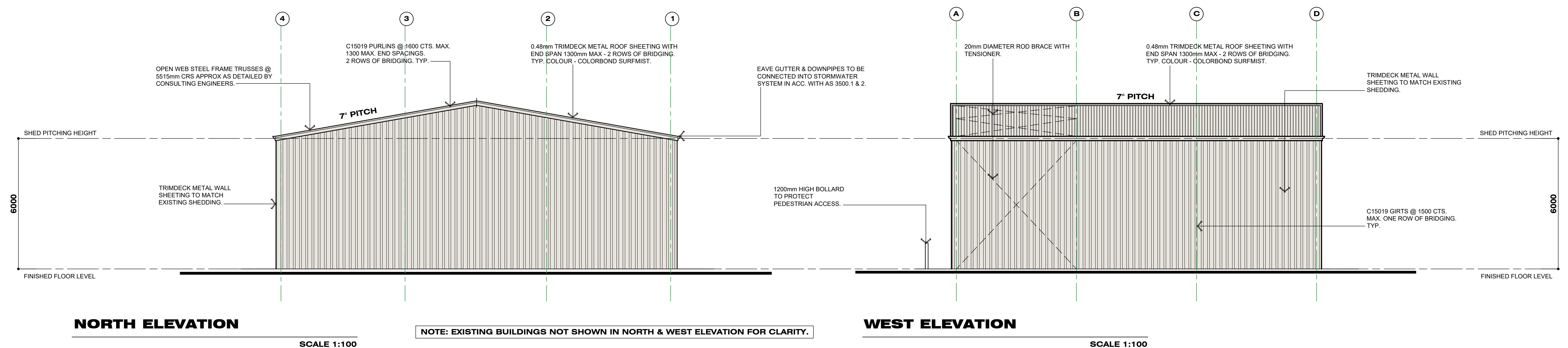
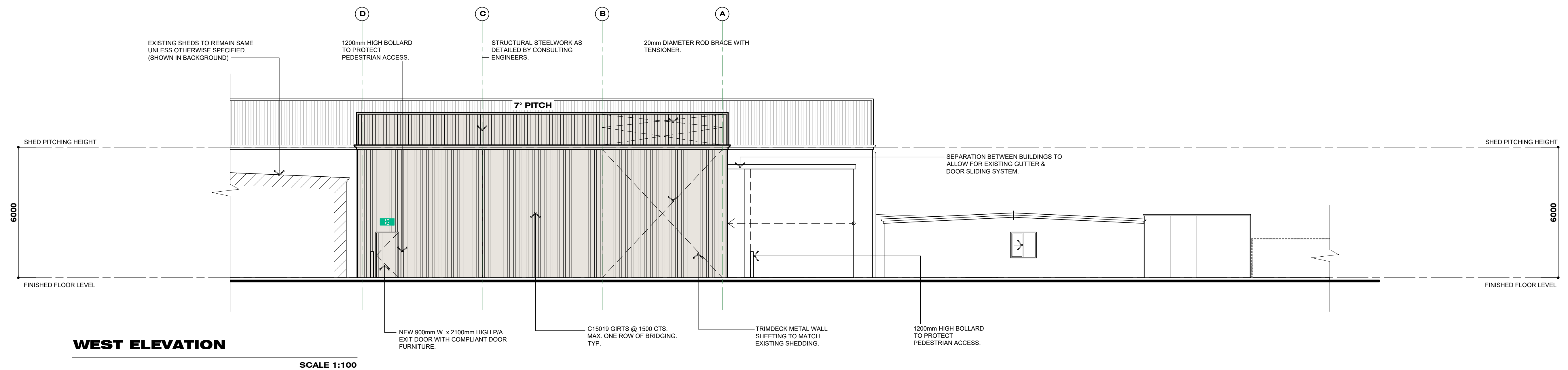
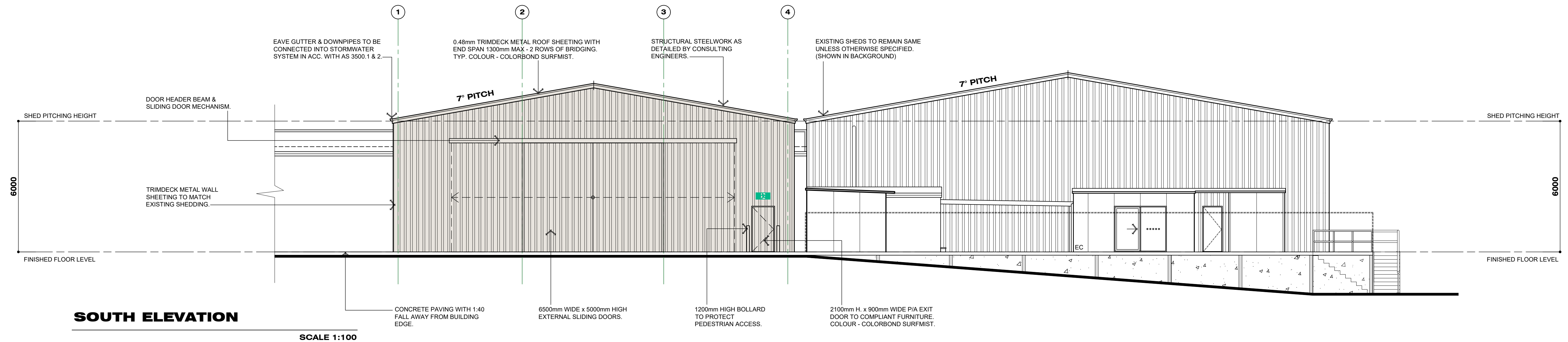
The proposal aligns with the zone's goals to sustain and enhance primary production activities while maintaining the rural character and environmental integrity of the area.

By ensuring minimal environmental impact and supporting agriculturally based industrial/commercial operations, the proposed development meets the requirements and intent of the zoning regulations, allowing the consent authority to confidently approve the application.

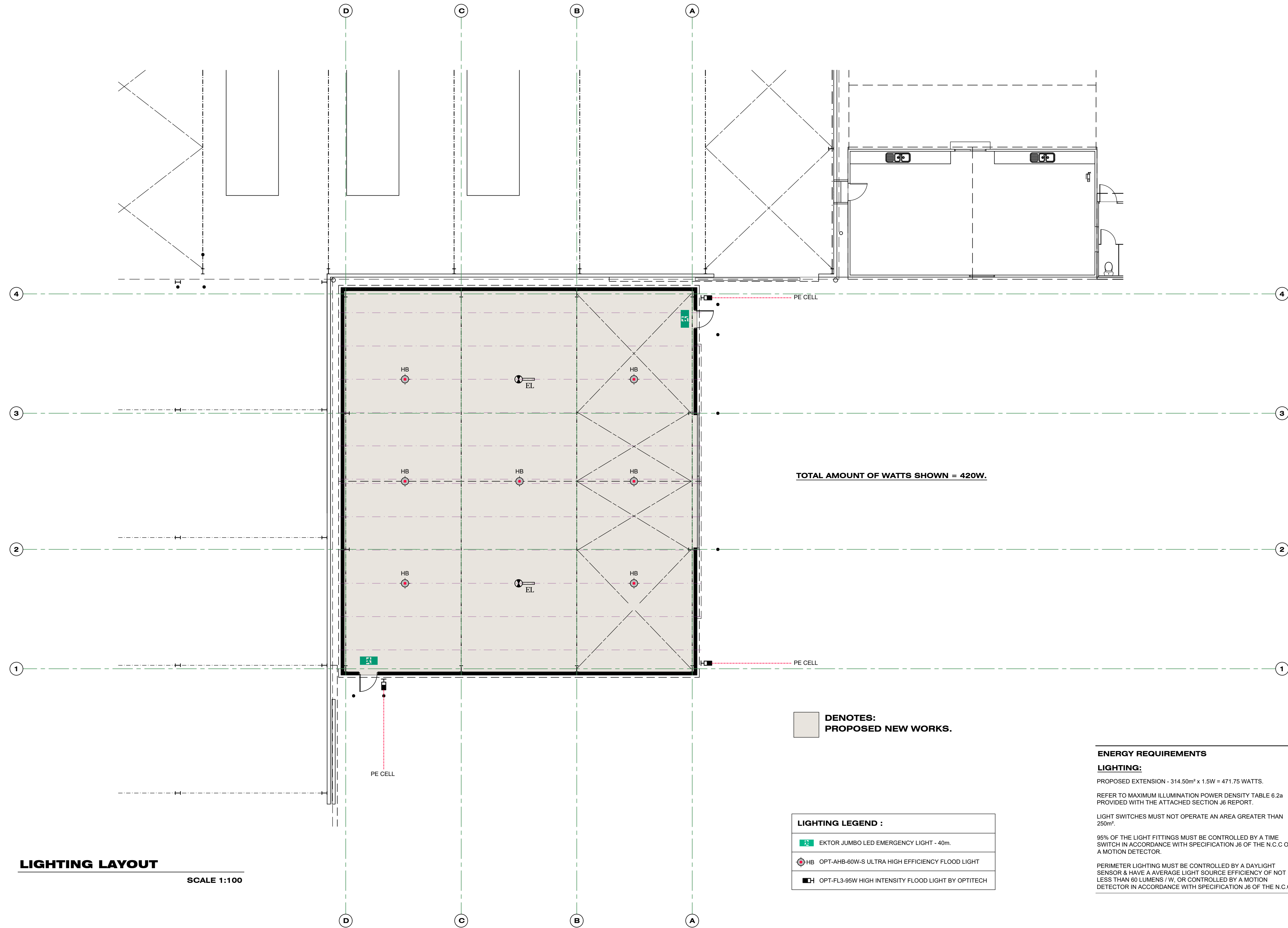


SITE PLAN - OVERALL

SCALE 1:1000



NOTE: EXISTING BUILDINGS NOT SHOWN IN NORTH & WEST ELEVATION FOR CLARITY.



DENOTES:
PROPOSED NEW WORKS.

| LIGHTING LEGEND : | |
|-------------------|--|
| | EKTOR JUMBO LED EMERGENCY LIGHT - 40m. |
| | HB OPT-AHB-60W-S ULTRA HIGH EFFICIENCY FLOOD LIGHT |
| | FL3-95W OPT-FL3-95W HIGH INTENSITY FLOOD LIGHT BY OPTITECH |

ENERGY REQUIREMENTS

LIGHTING:

PROPOSED EXTENSION - 314.50m² x 1.5W = 471.75 WATTS.

REFER TO MAXIMUM ILLUMINATION POWER DENSITY TABLE 6.2a PROVIDED WITH THE ATTACHED SECTION J6 REPORT.

LIGHT SWITCHES MUST NOT OPERATE AN AREA GREATER THAN 250m².

95% OF THE LIGHT FITTINGS MUST BE CONTROLLED BY A TIME SWITCH IN ACCORDANCE WITH SPECIFICATION J6 OF THE N.C.C OR A MOTION DETECTOR.

PERIMETER LIGHTING MUST BE CONTROLLED BY A DAYLIGHT SENSOR & HAVE A AVERAGE LIGHT SOURCE EFFICIENCY OF NOT LESS THAN 60 LUMENS / W, OR CONTROLLED BY A MOTION DETECTOR IN ACCORDANCE WITH SPECIFICATION J6 OF THE N.C.C.