

INTRODUCTION

To assist Council in assessing your development application, in accordance with relevant legislative requirements, it is necessary for you to answer the following questions and provide justification of your responses. These questions relate to common matters that need to be addressed in order to mitigate potential impacts resulting from your development.

Please note: Incomplete or insufficient information may lead to your application be delayed or rejected.

PERMISSIBILITY

- | | | |
|--|---|-----------------------------|
| • Is your proposal permissible in the zone? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is your proposal consistent with the zone objectives? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is your proposal in accordance with the relevant development control plan? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |

If you answered "No" to any of the above, you should make an appointment to discuss your proposal with a member of the Health & Planning Division before lodging a development application.

Please justify your answers below:

DESCRIPTION OF DEVELOPMENT

This needs to include where applicable a description of matters such as proposed buildings, proposed building materials, nominated colour scheme, nature of use, staging of the development details of any demolition and other works etc.

DESCRIPTION OF SITE

1. Describe the site including any physical features of the site such as shape, slope, vegetation, any waterways. Also describe the current use/s on the site.

2. What is the present use and previous uses of the site?

3. Is the development site subject to any of the following natural hazards: (e.g. bushfire prone, salinity, flooding or stormwater inundation etc.)

4. What other constraints exist on the site? (e.g. vegetation, easements, sloping land, drainage lines contamination, etc.)

5. What types of land use and development exist on surrounding land?

CONTEXT AND SETTING

- Will the development be:
 - Visually prominent in the surrounding area? ☐ Yes ☒ No
 - Inconsistent with the existing streetscape? ☐ Yes ☒ No
 - Out of character with the surrounding area? ☐ Yes ☒ No
 - Inconsistent with surrounding land uses? ☐ Yes ☒ No

Please justify your answers below:

PRIVACY, VIEWS AND OVERSHADOWING

- Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space, etc.? ☐ Yes ☒ No
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? ☐ Yes ☒ No
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners and pumps, bedroom and living room windows, etc.? ☐ Yes ☒ No
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks roads and footpaths? ☐ Yes ☒ No

Please justify your answers below:

ACCESS, TRAFFIC AND UTILITIES

- Is legal and practical access available to the development? ☒ Yes ☐ No
- Will the development increase local traffic movements / volumes?
If yes, by how much? ☐ Yes ☒ No
- Are additional access points to a road network required? ☐ Yes ☒ No
- Has vehicle manoeuvring and onsite parking been addressed in the design? ☒ Yes ☐ No
- Are power, water, sewer and telecommunication services readily available to the site? ☒ Yes ☐ No

Please justify your answers below:

ENVIRONMENTAL IMPACTS

- | | | |
|---|---|--|
| • Is the development likely to result in any form of air pollution (smoke, dust, odour etc.)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Does the development have the potential to result in any form of water pollution (eg. sediment run-off)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Will the development have any noise impacts above background noise levels (eg. swimming pool pumps)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Does the development involve any significant excavation or filling? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Could the development cause erosion or sediment run-off (including during the construction period)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is there any likelihood in the development resulting in soil contamination? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development considered to be environmentally sustainable (including provision of BASIX certificate where required)? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is the development situated in a heritage area or likely to have an impact on any heritage item or item of cultural significance? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development likely to disturb any aboriginal artefacts or relics? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

Please justify your answers below:

FLORA AND FAUNA IMPACTS

- | | | |
|---|------------------------------|--|
| • Will the development result in the removal of any native vegetation from the site? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development likely to have any impact on threatened species or native habitat? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

For further information on threatened species, visit www.threatenedspecies.environment.nsw.gov.au

Please justify your answers below:

WASTE AND STORMWATER DISPOSAL

- How will effluent be disposed of?
☒ To Sewer ☐ Onsite
- How will stormwater (from roof and hard standing) be disposed of:
☒ Council Drainage System ☐ Other (please provide details)
- Will liquid trade waste be discharged to Council's sewer? ☐ Yes ☒ No
- Will the development result in any hazardous waste or other waste disposal issue? ☐ Yes ☒ No
- Does the development propose to have rainwater tanks? ☐ Yes ☒ No
- Have all potential overland stormwater risks been considered in the design of the development? ☒ Yes ☐ No

Please justify your answers below:

SOCIAL AND ECONOMIC IMPACTS

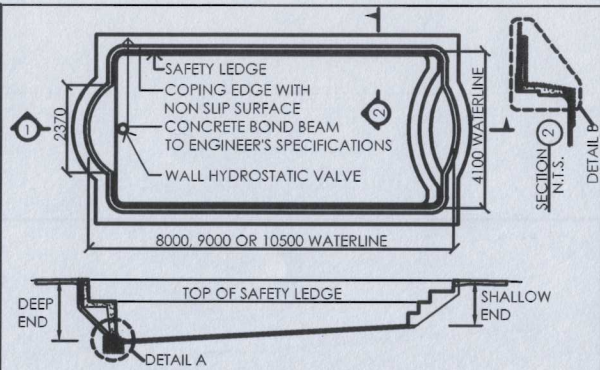
- Will the proposal have any economic or social consequences in the area? ☐ Yes ☒ No
- Has the development addressed any safety, security or crime prevention issues? ☒ Yes ☐ No

Please justify your answers below:

CONCLUSION

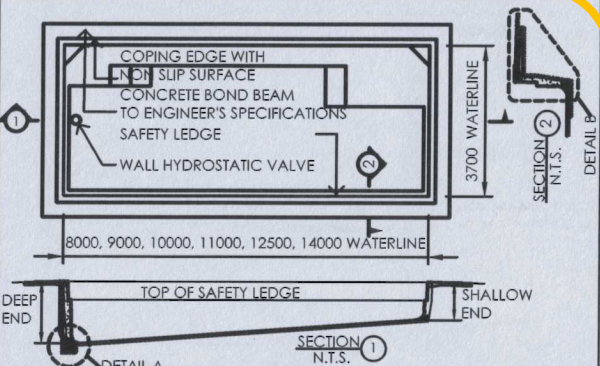
Cumulative effects of all factors.

THE CONQUEST



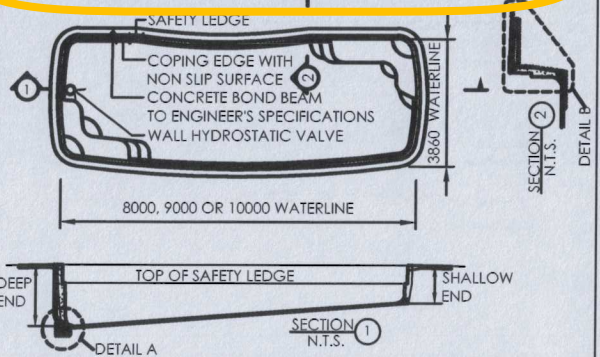
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9000	1650	1200
10500	1750	1200

THE EDEN



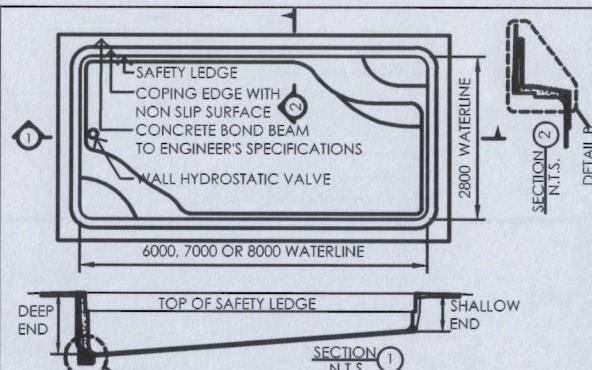
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9000	1820	1210	14000	2190	1210
10000	1894	1210			

THE HUDSON



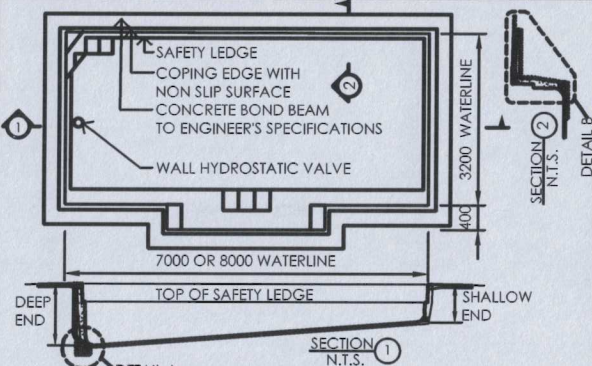
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9000	1970	1350
10000	2050	1350

THE DARLING



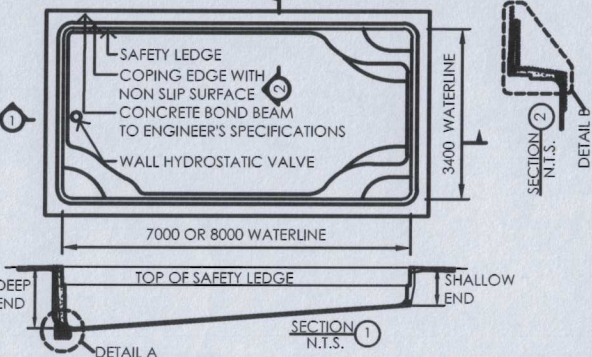
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7000	1805	1280
8000	1875	1280

THE FLINDERS



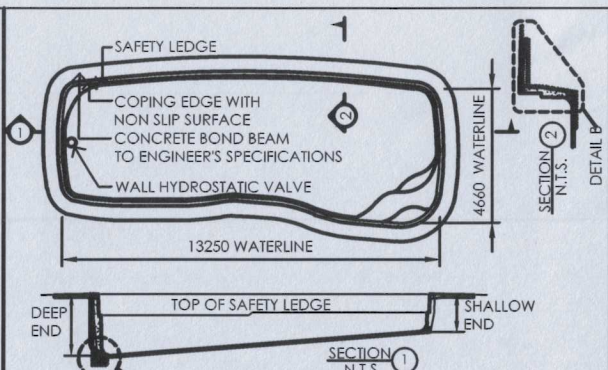
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8000	1765	1200

THE LACHLAN



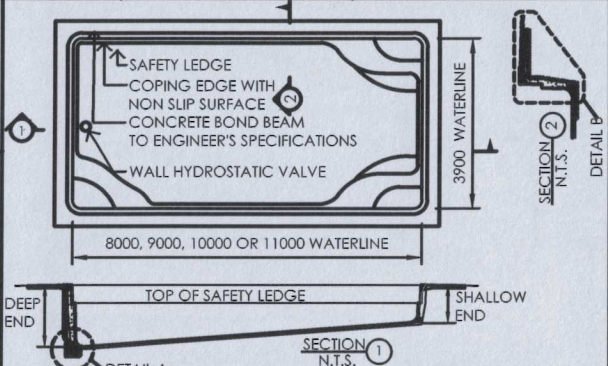
SIZE	DEEP END DEPTH	SHALLOW END DEPTH
7000	1805	1280
8000	1875	1280

THE DIAMANTINA



SIZE	DEEP END DEPTH	SHALLOW END DEPTH
13500	1800	1200

THE FRANKLIN



SIZE	DEEP END DEPTH	SHALLOW END DEPTH
8000	1820	1200
9000	1900	1200
10000	1970	1200
11000	2040	1200

FIBREGLASS POOL DETAILS



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ABN 36 473 826 551
8 MIDSTAR CRESCENT, SHEPPARTON
PO BOX 6577 SHEPPARTON. 3632
Tel: 03 5823 5781.

JOB NO. 58924	REVISION: C
DATE: 23.1.2024	SHEET: S01
DESIGNED: CONQUEST POOLS	
CHECKED: DAVID EARL	
SIGNATURE: <i>Dea</i>	
REG. NO.: 0002462	

REVISION	DESCRIPTION	APPROVED	DATE
C	NEW RETREAT POOL & NOTE CHANGES	DE	23.1.2024
B	STANDPIPE & BACKFILL CHANGES	DE	22.8.2023
A	ORIGINAL ISSUE	DE	12.5.2022

SPECIFICATION AND GENERAL NOTES:

POOL SHELL:

- * THE MANUFACTURE OF THE FIBREGLASS SHELL IS TO COMPLY WITH AS 1839-2021.
- * STRUCTURAL FIBRE REINFORCED SHELL TO HAVE MINIMUM THICKNESS OF 6MM, WITH UV STABILISED GEL COAT OR 0.5MM THICKNESS TO INNER POOL FACE 0.2 THICKNESS TO OUTER POOL FACE.
- * STIFFENING RIBS LAMINATED TO WALL SHALL BE PROVIDED AT 600MM CENTRES UP TO A DEPTH OF 1.5M AND BE CONTINUOUS FOR DEPTHS BELOW 1.5M.

INSTALLATION:

- * INSTALLATION IS TO BE IN ACCORDANCE WITH AS 1839-2021 AND COMPLY WITH ANY FUTURE REVISION.
- * ONLY EXPERIENCED AND COMPONENT INSTALLERS ARE TO BE ENGAGED FOR POOL INSTALLATION. CORRECT INSTALLATION IS CRITICAL TO POOL PERFORMANCE.

FOUNDATIONS:

- * POOL FLOOR TO BE LOCATED ON NATURAL APPROVED FOUNDATION MATERIAL HAVING AN ALLOWABLE SAFE BEARING PRESSURE OF 100Kpa MINIMUM.
- * BEDDING LAYER OF 75mm MINIMUM THICKNESS IS TO BE PROVIDED. BEDDING MATERIAL IS TO BE FREE DRAINING, EG COURSE RIVER SAND OR 6mm SCREENINGS. BEDDING IS TO PROVIDE CONTINUOUS SUPPORT TO POOL FLOOR.

WALL BACKFILL:

- * DURING CONSTRUCTION WALL BACKFILL IS TO BE PLACED AND COMPACTED IN LAYERS OF MAXIMUM DEPTH 150mm, MINIMUM WIDTH OF BACKFILL TO BE 150mm, BACKFILL TO BE BETWEEN 3% AND 5% CEMENT STABILISED SAND OR STONE DUST. BACKFILL TO BE PLACED AS POOL IS FILLING, BACKFILL MUST AT ALL TIMES BE ABOVE AND WITHIN 200mm OF WATER LEVEL.
- * FITTINGS EXTRUDING FROM THE OUTSIDE OF THE POOL SHELL TO BE FREE FROM CONCRETE TO A RADIUS OF 300MM, THIS ALLOWING FOR NATURAL MOVEMENT WITHOUT COMPROMISING THE EXTRUDING FITTINGS.

CONCRETE BOND BEAM:

- * BOND BEAM TO BE CONSTRUCTED AS PER PLAN. PROVIDE Ø 3mm GALVANISED WIRE TIES TO BOND BEAM REINFORCEMENT AT MAXIMUM 800mm CENTRES.

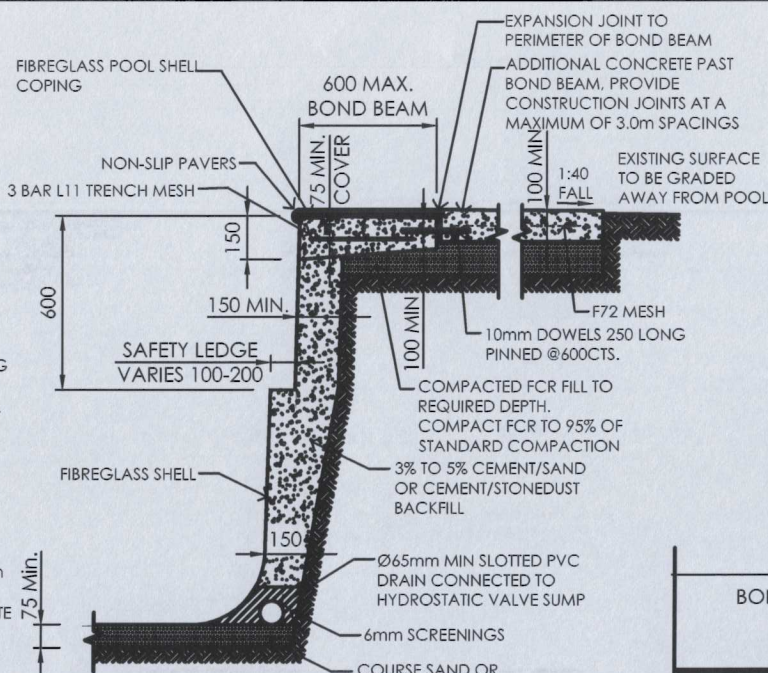
POOL DRAINAGE:

- * BELOW MID DEPTH OF POOL PROVIDE Ø 65mm MINIMUM SLOTTED PVC DRAIN LOCATED IN PREVIOUS BACKFILL EG 6mm SCREENINGS. DRAINAGE IS TO BE DIRECTED TO SUMP OF HYDROSTATIC RELIEF VALVE. PROVIDE VERTICAL RISER (VENT LINE) TO ENABLE CONTROL AND MONITORING OF GROUND WATER.
- * INSTALL A DRAIN TO DIRECT WATER FROM UNDER POOL TO OUTLET VENTED TO ATMOSPHERE - REFER TO AS1839:2021. WHERE NOT POSSIBLE A PROVISION FOR A PUMP AND SUMP SYSTEM SHALL BE PROVIDED - REFER TO AS1839:2021.

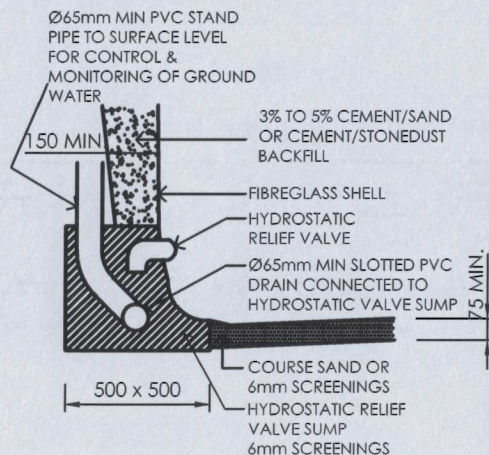
SITE MAINTENANCE:

- * IN ADDITION TO THE FOLLOWING, REFERENCE SHOULD BE MADE TO THE CSIRO INFORMATION SHEET "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND PERFORMANCE". THERE ARE ADDITIONAL TIPS IN THE VBA PUBLICATION "MINIMISING FOUNDATION MOVEMENT AND DAMAGE TO YOU HOUSE INFO SHEET."
- * PLANTING OF TREES CLOSE TO THE POOL SHOULD BE AVOIDED. MINIMUM DISTANCE FROM THE POOL SHOULD EQUAL TO THEIR MATURE HEIGHT.
- * A DRAINAGE SYSTEM MUST BE INSTALLED AROUND THE PERIMETER OF CONCRETE PAVING TO PREVENT WATER FROM PONDING AGAINST, NEAR OR BENEATH THE PAVING IN ORDER TO MAINTAIN A STABLE MOISTURE CONTENT. GRADING THE SURFACES 1 IN 20 FOR AT LEAST 2 METRES AWAY FROM THE PAVING TO COLLECTION POINTS WILL BE NECESSARY.
- * POOL AND SITE DRAINAGE TO COMPLY WITH LOCAL COUNCIL REGULATIONS AND RELEVANT AUSTRALIAN STANDARDS.
- * WEEP HOLES OF THE DWELLING MUST NOT BE COVERED BY LANDSCAPING.
- * ANY PITS OR GRATED DRAINS INSTALLED AROUND THE POOL MUST NOT BE THE LOWEST POINT IN THE SYSTEM. IF THIS IS GOING TO BE THE CASE AN OVERFLOW PIT MUST BE INSTALLED DOWNSTREAM TO ALLOW FOR ANY OVERFLOW.
- * IF THE EXISTING SYSTEM IS A CHARGED SYSTEM, A NEW DRAINAGE SYSTEM MUST BE INSTALLED TO COLLECT AND DRAIN WATER AWAY FROM THE POOL AND PAVING.

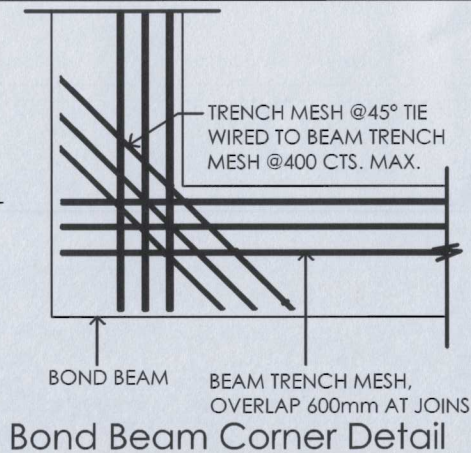
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE BY BUILDER PRIOR TO ORDERING OR PLACING ANY MATERIALS. DO NOT SCALE THIS DRAWING, WRITTEN MEASUREMENTS TAKE PRECEDENCE.



DETAIL B
Pool Edge Detail
Not To Scale

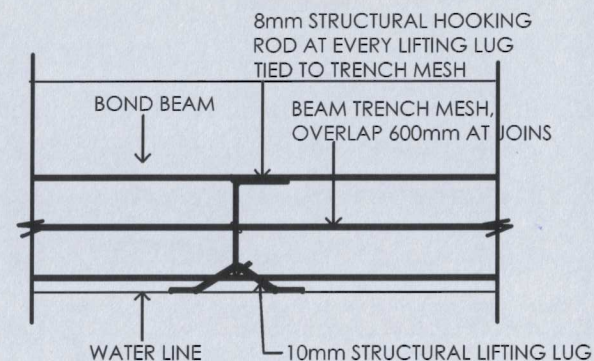


DETAIL A
Hydro Valve Detail
Not To Scale



Bond Beam Corner Detail

PLAN VIEW - N.T.S.



Bond Beam Tie-in Detail

PLAN VIEW - N.T.S.

FIBREGLASS POOL DETAILS

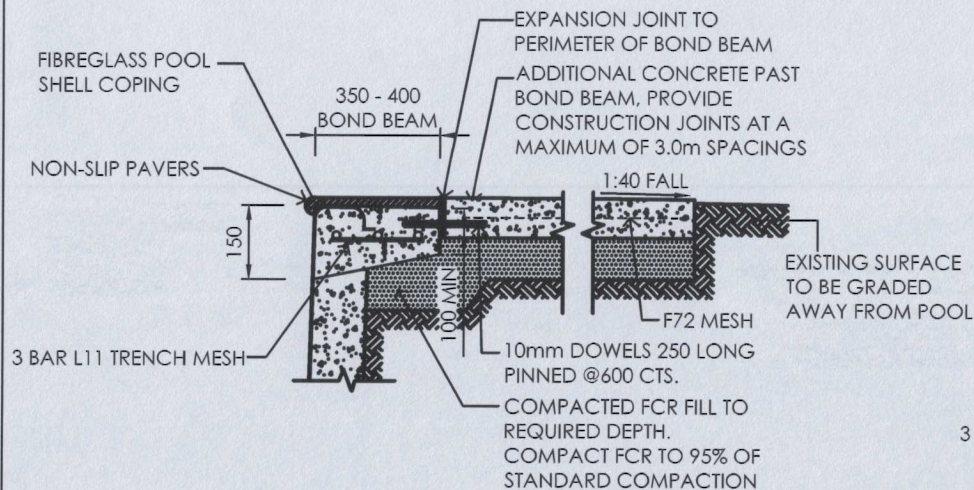


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Tel: 03 5823 5781

JOB NO.	58924	REVISION:	C
DATE:	23.1.2024	SHEET:	S03
DESIGNED:	CONQUEST POOLS	CHECKED:	DAVID EARL
SIGNATURE:	<i>David Earl</i>	REG. NO.:	0002462

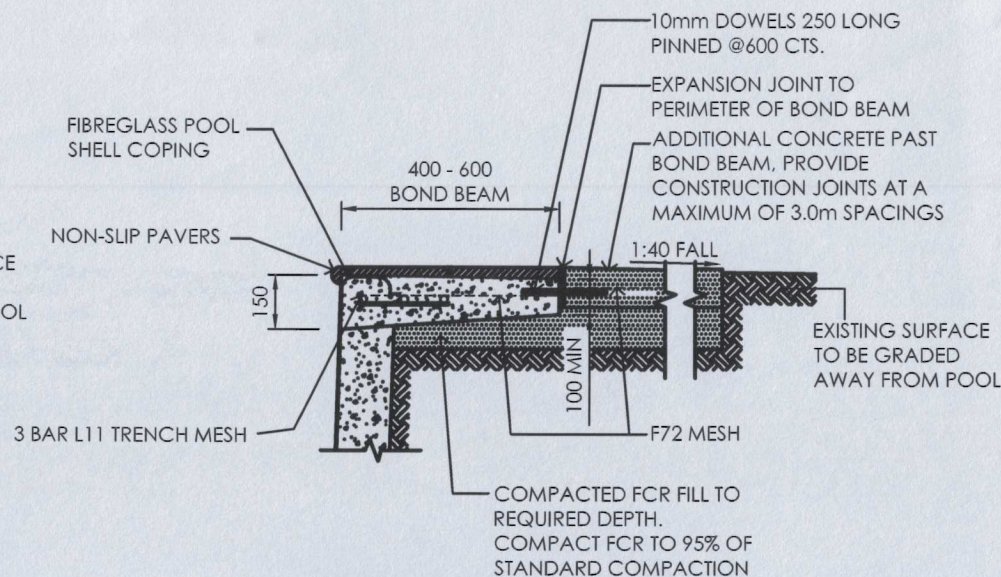
REVISION	DESCRIPTION	APPROVED	DATE
C	NEW RETREAT POOL & NOTE CHANGES	DE	23.1.2024
B	STANDPIPE & BACKFILL CHANGES	DE	22.8.2023
A	ORIGINAL ISSUE	DE	12.5.2022

**ENGINEERING SPECIFICATIONS ONLY.
FOR INSTALLATION REFER TO CONQUEST POOLS DIG SHEETS.**



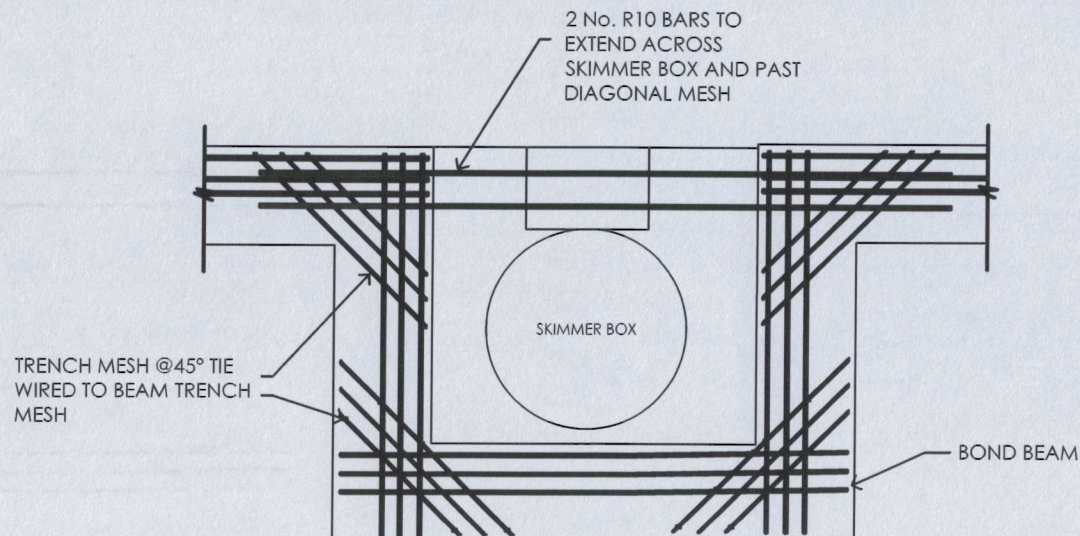
BOND BEAM 1 Pool Edge Detail

Not To Scale



BOND BEAM 2 Pool Edge Detail

Not To Scale



Skimmer Box Bond Beam Detail

PLAN VIEW - N.T.S.

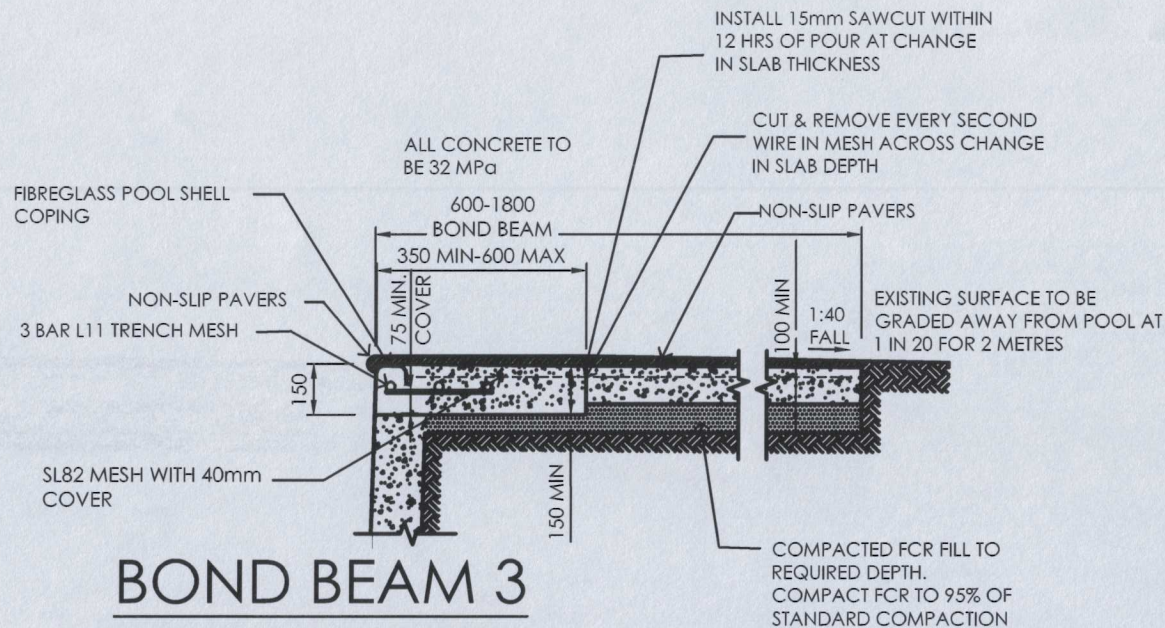
FIBREGLASS POOL DETAILS



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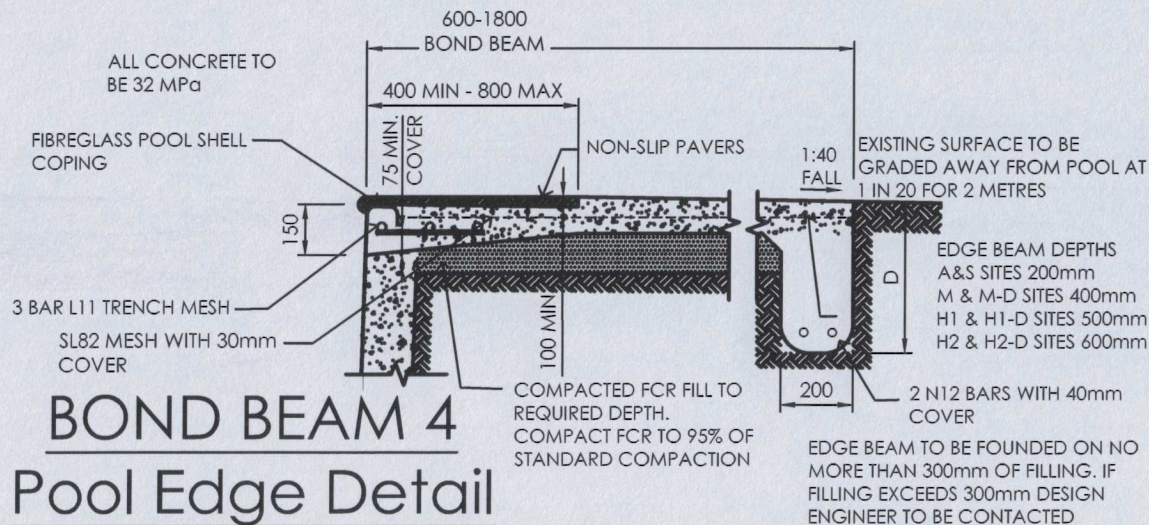
JOB NO. 58924	REVISION: C
DATE: 23.1.2024	SHEET: S04
DESIGNED:	CONQUEST POOLS
CHECKED:	DAVID EARL
SIGNATURE:	<i>[Signature]</i>
REG. NO.:	0002462

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BOND BEAM 3 Pool Edge Detail

Not To Scale



BOND BEAM 4 Pool Edge Detail

Not To Scale

SPECIFICATION AND GENERAL NOTES:

BOND BEAM:

- CONCRETE BOND BEAM IS TO BE CONSTRUCTED AS PER PLAN. BOND BEAM DETAILS THAT ARE SHOWN ARE SUITABLE FOR SITE CLASSIFICATIONS OF A, S, M & M-D. IF THE SITE CLASSIFICATION IS H1, H2, H1-D, H2-D OR P THEN THE BOND BEAM MUST BE INCREASED TO BE 200mm DEEP AT POOL EDGE WITH SAME REINFORCEMENT AND CONSTRUCTED USING 32 MPa CONCRETE.
- PROVIDE L11 TRENCH MESH ACROSS ALL RE-ENTRANT CORNERS WHICH MUST EXTEND TO EDGE OF CONCRETE OR FOR 2 METRES WHICHEVER IS THE LESSER.

CONCRETE:

- ALL CONCRETE TO BE USED IN BOND BEAM TO BE A MINIMUM STRENGTH OF 25MPa ON ANY POOL UP TO & INCLUDING 12m LONG UNLESS IT EXCEEDS 600mm IN WIDTH OR IF THE SITE CLASSIFICATION IS H1, H2, H1-D, H2-D OR P STRENGTH MUST BE INCREASED TO 32 MPa.
- ALL CONCRETE TO BE USED IN BOND BEAM TO BE A MINIMUM STRENGTH OF 32 MPa ON ANY POOL OVER 12m LONG.
- CONCRETE TO BE PLACED IN ACCORDANCE WITH AS 3600 AND CURED FOR AT LEAST 3 DAYS.
- CONCRETE MUST BE VIBRATED WHEN BEING PLACED.

ELECTRICAL:

- ALL STEEL MESH, INCLUDING BUT NOT LIMITED TO STAINLESS STEEL LADDERS AND HAND RAILS, IN THE CONCRETE WITHIN 1.2 METRES OF THE WATER EDGE MUST ELECTRONICALLY BONDED.

PLUMBING:

- PIPE WORK CONNECTED TO POOL SHELL MUST HAVE 500mm OF STONEDUST OR SAND AROUND THE PIPE WHICH IS NOT TO BE STABILISED WITH CEMENT.

REINFORCEMENT:

- ALL N12 BARS MUST BE LAPPED 500mm UNLESS OTHERWISE NOTED.
- TRENCH MESH MUST BE LAPPED 500mm UNLESS OTHERWISE NOTED.
- SLAB FABRICSPICING SHALL BE A MINIMUM OF 2 LONGITUDINAL BARS PLUS 10mm.
- STEEL REINFORCEMENT IS TO BE CLEAN OF GREASE, OIL, MUD AND FREE OF LOOSE SURFACE RUST.
- SLAB FABRIC MUST HAVE A MINIMUM OF 30mm COVER.
- TRENCH MESH MUST HAVE A MINIMUM OF 40mm COVER.

LANDSCAPING:

- MUST COMPLY WITH BUILDING PERMIT AND RELEVANT AUSTRALIAN STANDARDS, PARTICULARLY DRAINAGE.

FIBREGLASS POOL DETAILS



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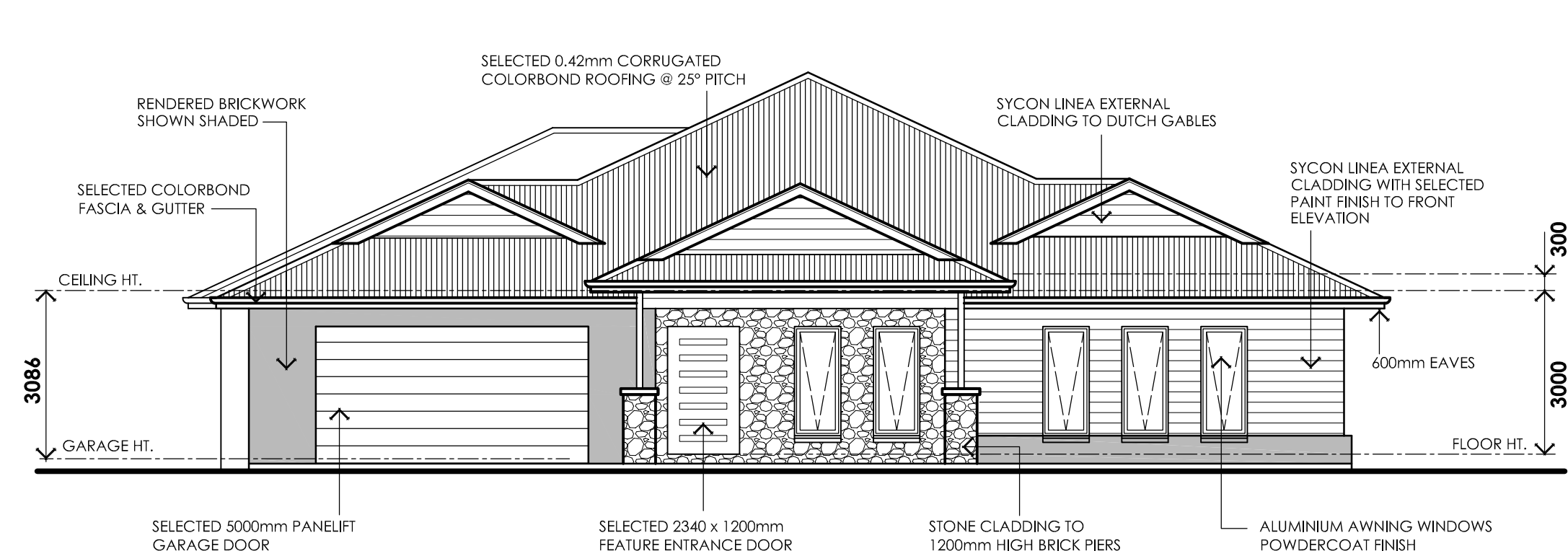
JOB NO. 58924	REVISION: C
DATE: 23.1.2024	SHEET: S05
DESIGNED: CONQUEST POOLS	
CHECKED: DAVID EARL	
SIGNATURE: <i>David Earl</i>	
REG. NO.: 0002462	

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE BY BUILDER
PRIOR TO ORDERING OR PLACING ANY MATERIALS.
DO NOT SCALE THIS DRAWING, WRITTEN MEASUREMENTS TAKE PRECEDENCE.

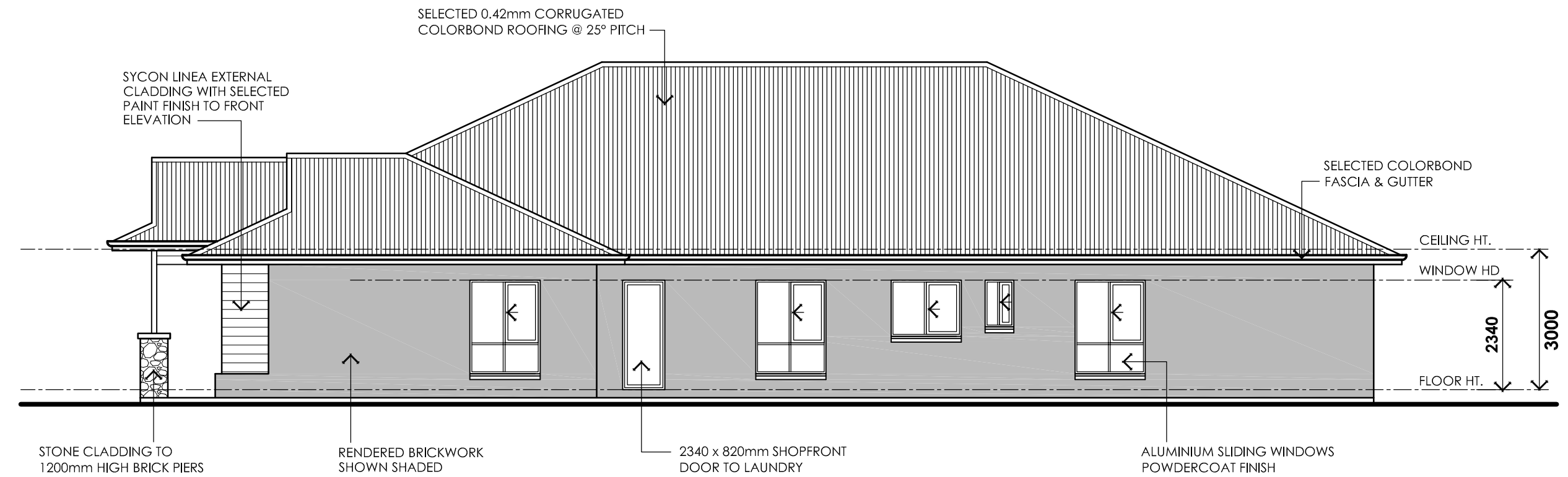
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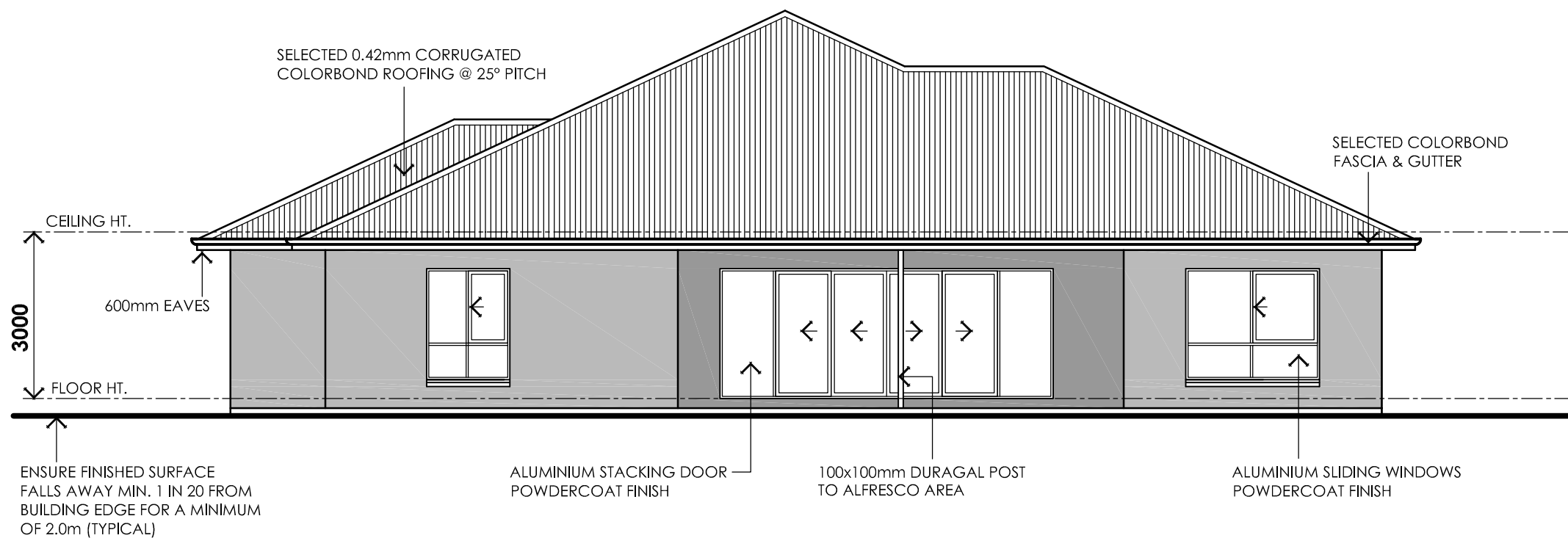
© COPYRIGHT 2025 - CONCEPT DESIGN



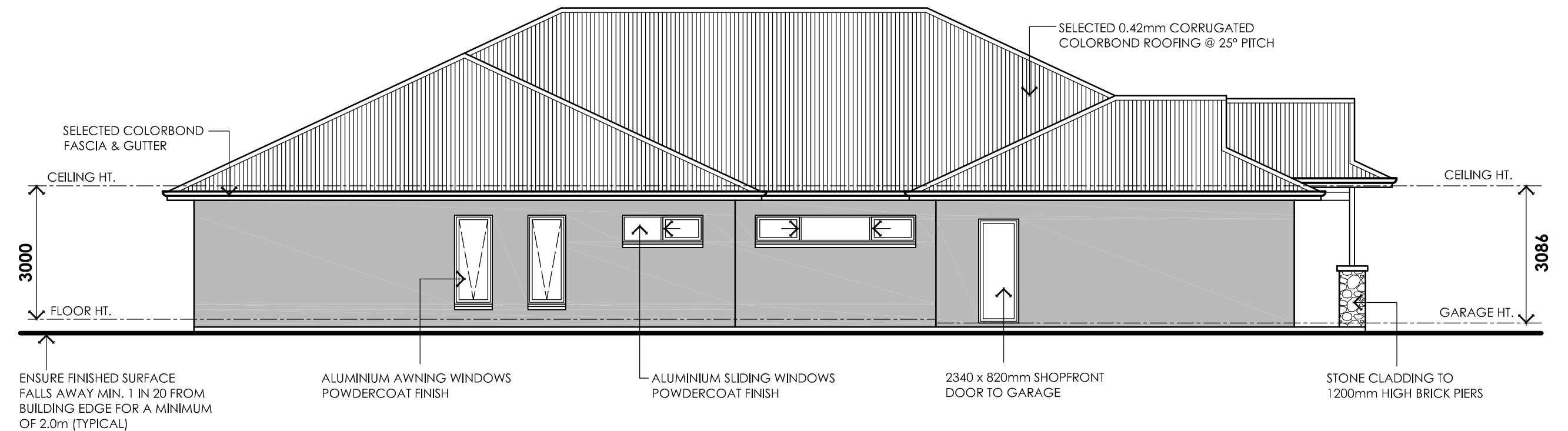
NORTHWEST ELEVATION 1:100



SOUTHWEST ELEVATION 1:100



SOUTHEAST ELEVATION 1:100



NORTHEAST ELEVATION 1:100

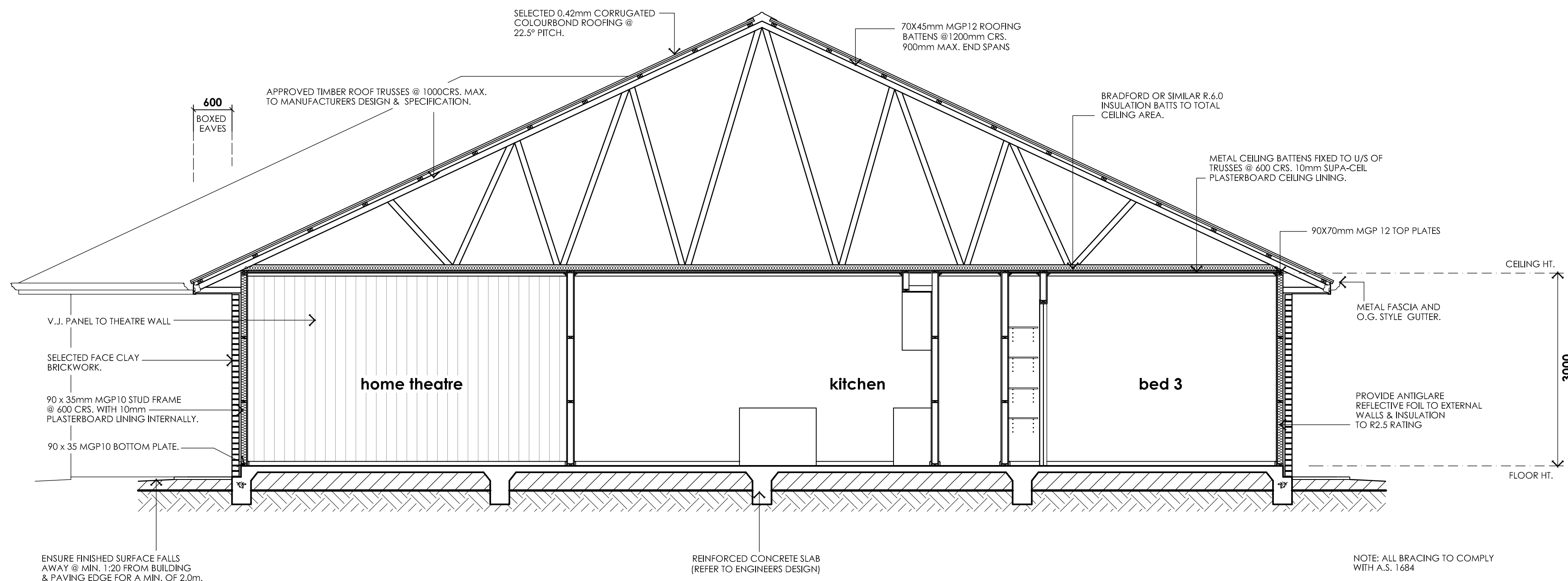


PROJECT: PROPOSED DWELLING
CLIENT: TRENDVIL PTY. LTD.
ADDRESS: LOT 23 WILGA ROAD, GOL GOL

SCALE: AS SHOWN
DESIGN: MB
DRAWN: MB
ISSUE:
DATE: APRIL 2025
SHEET NO: 2 OF 5

DRG NO: CD25 - 106

 **REGISTERED**
Building Practitioner
concept designmildura
M: 0408 125 516
A: 8 ysonde avenue, irymple
MARK BAKER DP AD23012
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TYPICAL SECTION A - A 1:50



PROVIDE SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR.
PROVIDE TOILET FLUSHING SYSTEMS WITH A MINIMUM RATING OF 4 STAR.
PROVIDE TAPS TO KITCHEN WITH A MINIMUM RATING OF 4 STAR.
PROVIDE TAPS TO ALL BASINS IN BATHROOMS WITH A MINIMUM RATING OF 4 STAR.

HOT WATER: PROVIDE SOLAR HOT WATER SERVICE (ELECTRIC BOOST) WITH A PERFORMANCE OF 31 TO 35 STCS OR BETTER.

COOLING/ HEATING SYSTEM: PROVIDE THREE PHASE REVERSE CYCLE SYSTEM ENERGY RATING OF EER 3.0 - 3.5. ALSO MUST PROVIDE DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (INCL. GARAGE)
INSTALL R2.5 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALLS

1. ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, STATE BUILDING REGULATIONS & LOCAL AUTHORITY REQUIREMENTS.
2. CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS.
3. FIGURED DIMENSIONS HAVE PREFERENCE TO SCALE.
4. PLANS SHALL BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS & ATTACHED DOCUMENTATION.
5. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE BUILDING IS WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE IS SHOWN CORRECT.
6. IT IS THE BUILDERS RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY SERVICES WHICH MAY HINDER CONSTRUCTION OR CAUSE ALTERATIONS TO DESIGN BEFORE COMMENCING ANY WORK.
7.  DENOTES SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH AS 3786 - 2014. AND MUST BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
8.  DENOTES ARTICULATION JOINT TO BE CONSTRUCTED IN ACCORDANCE WITH CACA TECHNICAL NO 61.
9. GLAZING TO COMPLY WITH 1288 - 2021 "GLASS IN BUILDINGS- SELECTION & INSTALLATION"
10. OVERFLOW RELIEF VALVE REQUIREMENTS ARE TO COMPLY WITH AS 3500.2 - 2021 "SAFETY PLUMBING & SANITARY DRAINAGE"
11. SOLID FUEL COMBUSTION HEATERS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2918 - 2018 "DOMESTIC SOLID FUEL".
12. WATERPROOFING IS TO BE INSTALLED IN ACCORDANCE WITH A.S. 3740-2021 "WATERPROOFING OF DOMESTIC WET AREAS"

NO.	SERIAL NO.	FRAME SIZE	QTY.	U-V	SHGC	TYPE	UNITS/ SIZE
W1	A2009	2000x850	7	3.6	0.52	DG	AS PER
W2	S2015	1800x1450	4	3.7	0.55	DG	TRUSS
W3	S1215	1200x1450	1	3.7	0.55	DG	MAN.
W4	S1006	1000x610	1	3.7	0.55	DG	DETAILS
W5	S2024	2000x2410	1	3.7	0.55	DG	
W6	S0618	600x1810	1	3.7	0.55	DG	
W7	S0636	600x3610	1	3.7	0.55	DG	
SD1	SD2460	2340x6000	1	3.4	0.57	DG	
FD1	820D	2340x820	2	4.6	0.48	SG	

ALUMINIUM AWNING AND SLIDING , POWDER COAT FINISH
DOUBLE GLAZED WINDOWS

IN ACCORDANCE WITH TABLE 2.2 A.S 4055 - 2008

REGION :	A
TERRAIN CATEGORY :	T.C 3.0
TOPOGRAPHIC CLASS :	T1
SHIELDING CLASS :	P.S
WIND CLASS	N1

NO BAL REQUIREMENTS FOR THIS SITE

DWELLING	354.50m2	38.2 sq
GARAGE	57.97m2	
ALFRESCO	50.39m2	
PORTICO	16.22m2	

TOTAL	479.08m2	51.6 sq.
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PROJECT: PROPOSED DWELLING

CLIENT: TRENDVIL PTY. LTD.

ADDRESS: LOT 23 WILGA ROAD, GOL GOL

SCALE: AS SHOWN

DESIGN: MB

DRAWN: MB

ISSUE:

DATE: APRIL 2025

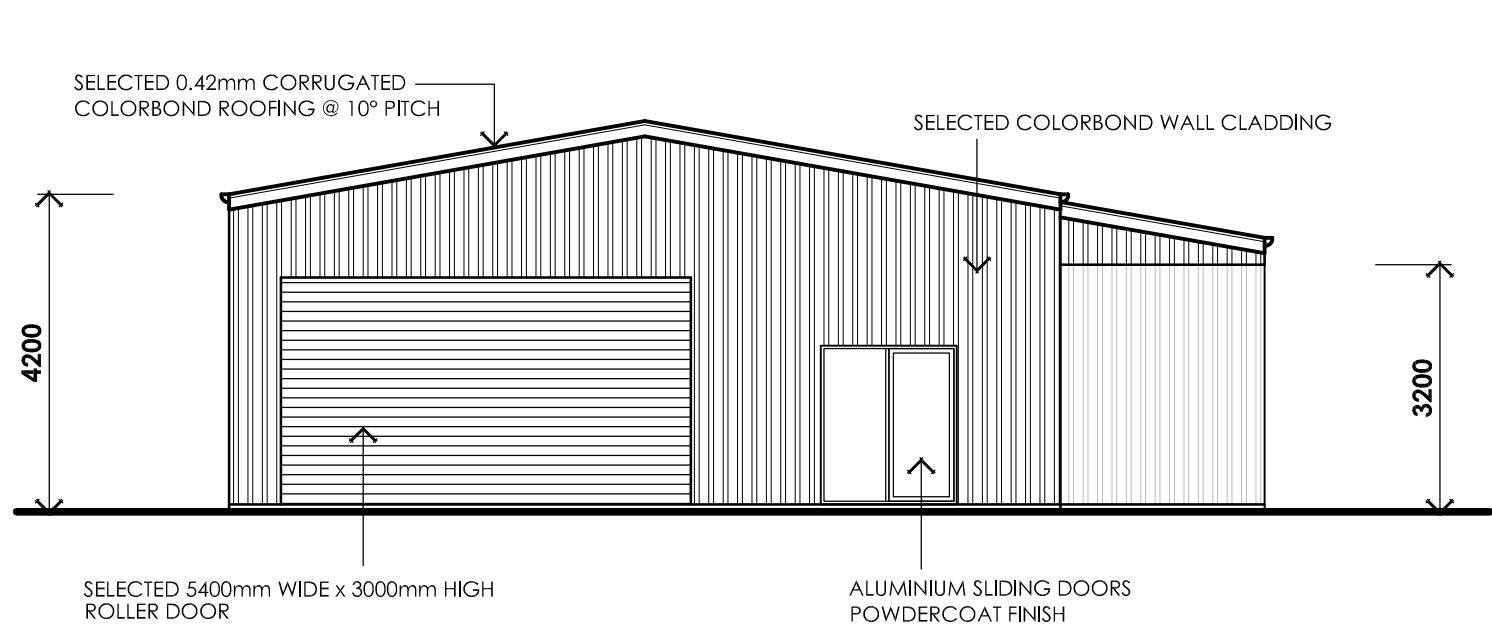
SHEET NO: 1 OF 5

DRG NO: **CD25 - 106**

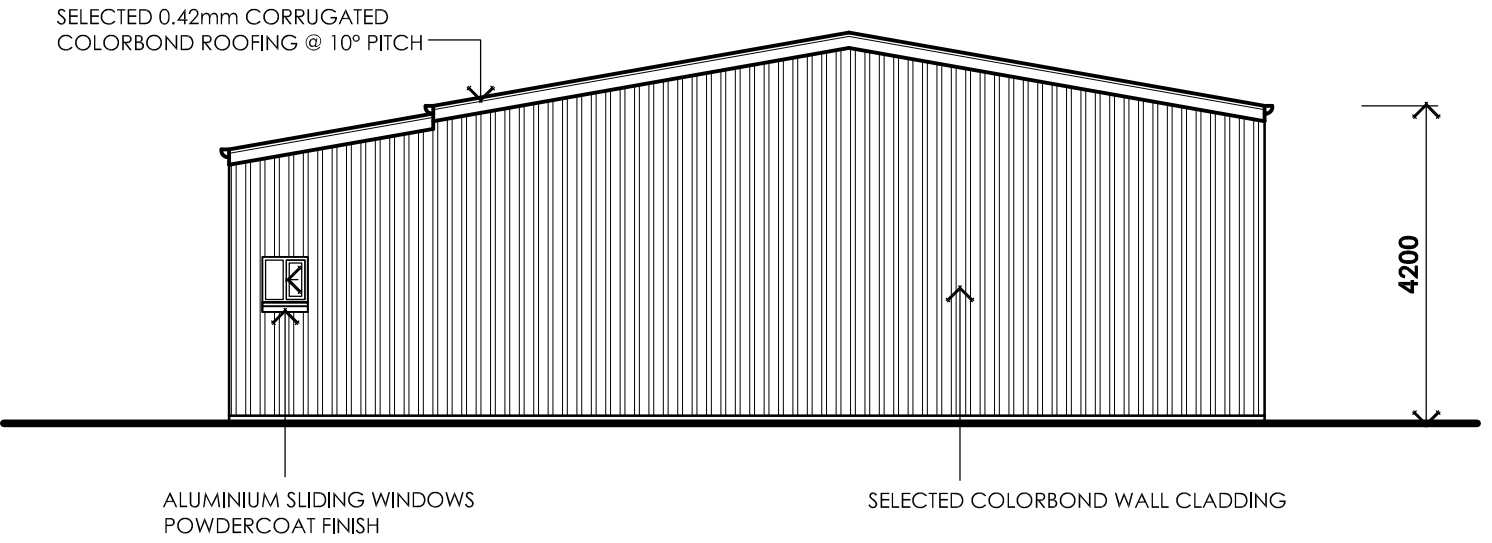
concept designmildura

M: 0408 125 516
A: 8 ysonde avenue, irymple
MARK BAKER DP AD23012

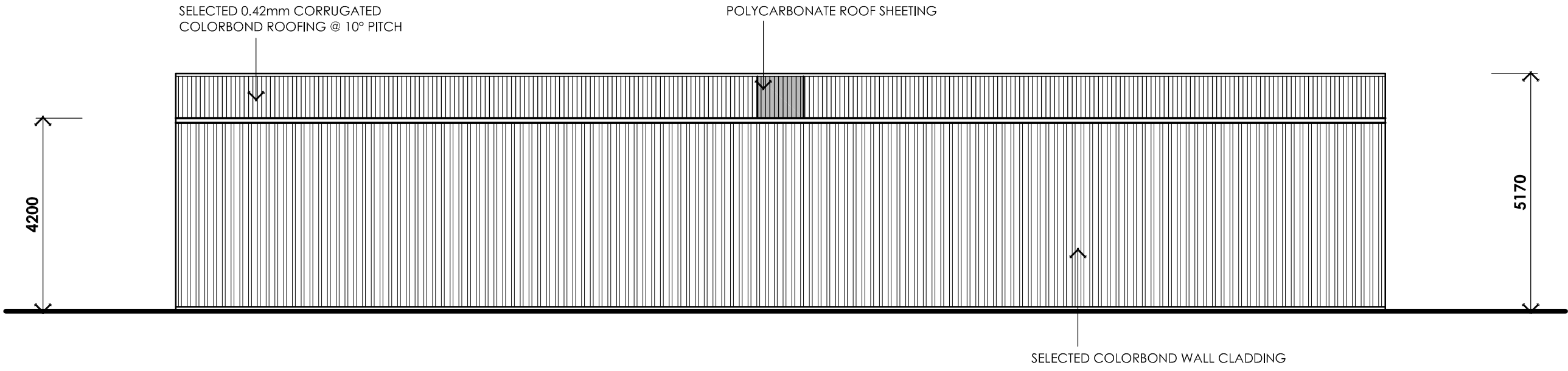
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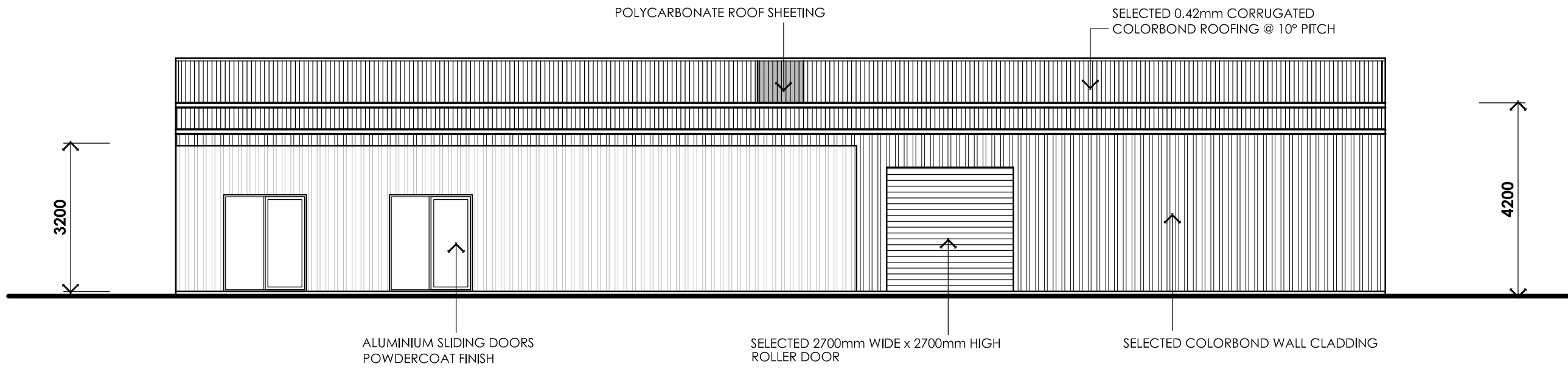
NORTHWEST ELEVATION 1:100



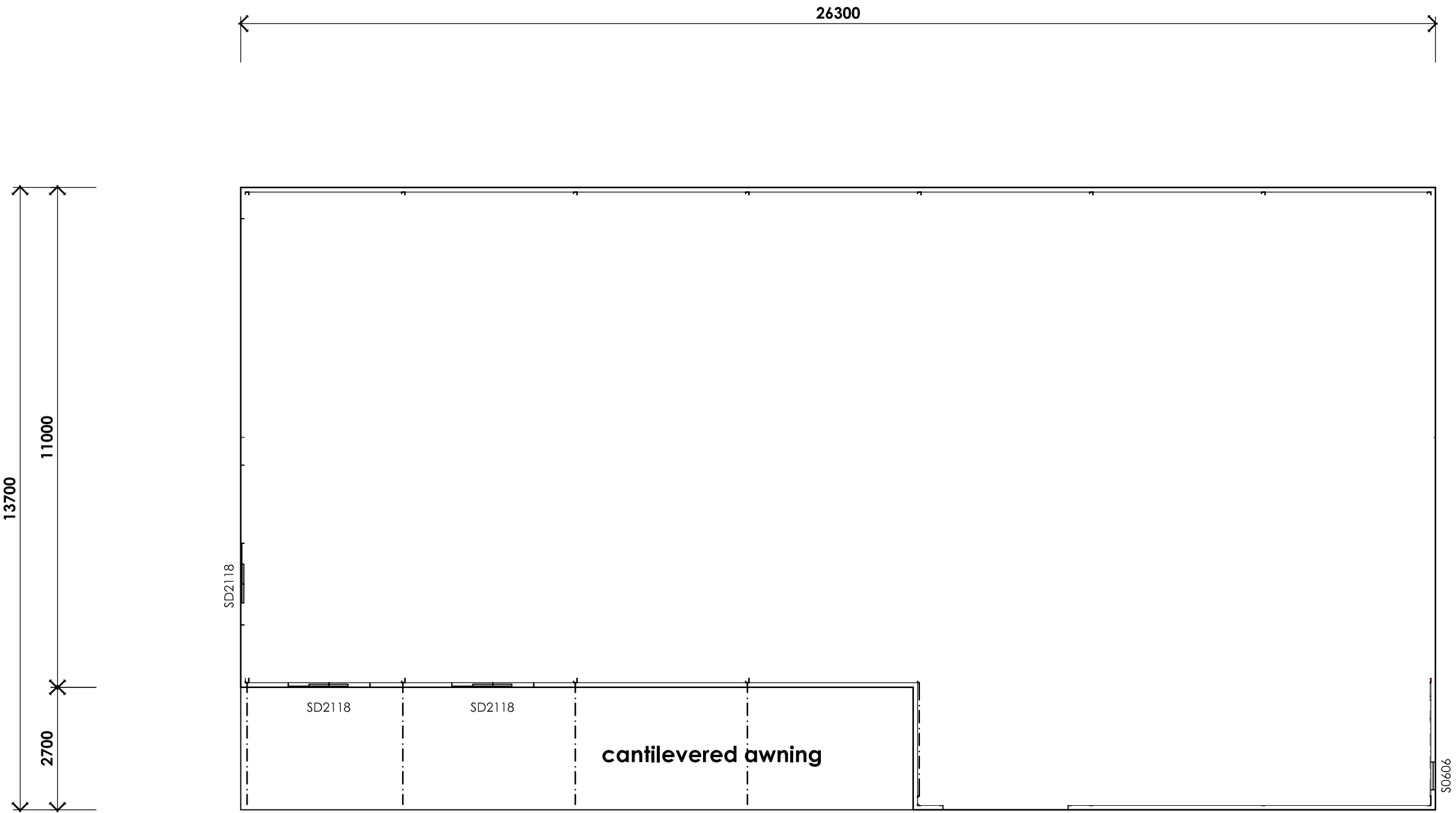
SOUTHEAST ELEVATION 1:100



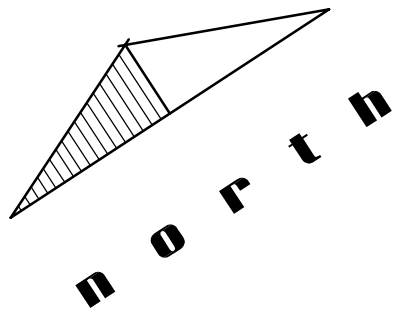
NORTHEAST ELEVATION 1:100



SOUTHWEST ELEVATION 1:100



FLOOR PLAN 1:100



BASIX REQUIREMENTS: CERT. No. 1795040S_02	
WATER COMMITMENTS	
PROVIDE SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR.	
PROVIDE TOILET FLUSHING SYSTEMS WITH A MINIMUM RATING OF 4 STAR.	
PROVIDE TAPS TO KITCHEN WITH A MINIMUM RATING OF 4 STAR.	
PROVIDE TAPS TO ALL BASINS IN BATHROOMS WITH A MINIMUM RATING OF 4 STAR.	
ENERGY COMMITMENTS	
HOT WATER: PROVIDE SOLAR HOT WATER SERVICE (ELECTRIC BOOST) WITH A PERFORMANCE OF 31 TO 35 STCS OR BETTER.	
COOLING/ HEATING SYSTEM: PROVIDE THREE PHASE REVERSE CYCLE SYSTEM ENERGY RATING OF EER 3.0 - 3.5. ALSO MUST PROVIDE DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS	
THERMAL COMFORT COMMITMENTS	
INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (INCL. GARAGE)	
INSTALL R2.5 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALLS	

window schedule						
NO.	SERIAL NO.	FRAME SIZE	QTY.	U-VALUE	SHGC	UNTEL SIZE
W1						AS PER
W2						TRUSS
W3						MAN.
W4						DETAILS
W5						
W6						
W7						
SD1	SD2118	21050x1804	3	3.4	0.57	
FD1						

WINDOW TYPE:

ALUMINIUM AWNING AND SLIDING , POWDER COAT FINISH
AS PER U-VALUES AND SHGC LISTED

WIND LOADS FOR HOUSING:
IN ACCORDANCE WITH TABLE 2.2 A.S 4055 - 2006

REGION : A
TERRAIN CATEGORY : T.C 3.0
TOPOGRAPHIC CLASS : T1
SHIELDING CLASS : P.S
WIND CLASS : N1

BUSHFIRE ATTACK LEVEL:	
NO BAL REQUIREMENTS FOR THIS SITE	

AREAS:	
SHED	360.31m2

PROJECT:	PROPOSED DWELLING
CLIENT:	TRENDVIL PTY. LTD.
ADDRESS:	LOT 23 WILGA ROAD, GOL GOL

SCALE:	AS SHOWN	ISSUE:	
DESIGN:	MB	DATE:	APRIL 2025
DRAWN:	MB	SHEET NO:	5 OF 5

DRG NO:	CD25 - 106
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