

## INTRODUCTION

To assist Council in assessing your development application, in accordance with relevant legislative requirements, it is necessary for you to answer the following questions and provide justification of your responses. These questions relate to common matters that need to be addressed in order to mitigate potential impacts resulting from your development.

Please note: Incomplete or insufficient information may lead to your application be delayed or rejected.

## PERMISSIBILITY

- Is your proposal permissible in the zone?  Yes  No
- Is your proposal consistent with the zone objectives?  Yes  No
- Is your proposal in accordance with the relevant development control plan?  Yes  No

If you answered "No" to any of the above, you should make an appointment to discuss your proposal with a member of the Health & Planning Division before lodging a development application.

Please justify your answers below:

## DESCRIPTION OF DEVELOPMENT

This needs to include where applicable a description of matters such as proposed buildings, proposed building materials, nominated colour scheme, nature of use, staging of the development details of any demolition and other works etc.

## DESCRIPTION OF SITE

1. Describe the site including any physical features of the site such as shape, slope, vegetation, any waterways. Also describe the current use/s on the site.

2. What is the present use and previous uses of the site?

3. Is the development site subject to any of the following natural hazards: (e.g. bushfire prone, salinity, flooding or stormwater inundation etc.)

4. What other constraints exist on the site? (e.g. vegetation, easements, sloping land, drainage lines contamination, etc.)

5. What types of land use and development exist on surrounding land?

### CONTEXT AND SETTING

- Will the development be:
  - Visually prominent in the surrounding area?  Yes  No
  - Inconsistent with the existing streetscape?  Yes  No
  - Out of character with the surrounding area?  Yes  No
  - Inconsistent with surrounding land uses?  Yes  No

Please justify your answers below:

### PRIVACY, VIEWS AND OVERSHADOWING

- Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space, etc.?  Yes  No
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access?  Yes  No
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners and pumps, bedroom and living room windows, etc.?  Yes  No
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks roads and footpaths?  Yes  No

Please justify your answers below:

### ACCESS, TRAFFIC AND UTILITIES

- Is legal and practical access available to the development?  Yes  No
- Will the development increase local traffic movements / volumes?  
If yes, by how much?  Yes  No
- Are additional access points to a road network required?  Yes  No
- Has vehicle manoeuvring and onsite parking been addressed in the design?  Yes  No
- Are power, water, sewer and telecommunication services readily available to the site?  Yes  No

Please justify your answers below:

## ENVIRONMENTAL IMPACTS

- Is the development likely to result in any form of air pollution (smoke, dust, odour etc.)?  Yes  No
- Does the development have the potential to result in any form of water pollution (eg. sediment run-off)?  Yes  No
- Will the development have any noise impacts above background noise levels (eg. swimming pool pumps)?  Yes  No
- Does the development involve any significant excavation or filling?  Yes  No
- Could the development cause erosion or sediment run-off (including during the construction period)?  Yes  No
- Is there any likelihood in the development resulting in soil contamination?  Yes  No
- Is the development considered to be environmentally sustainable (including provision of BASIX certificate where required)?  Yes  No
- Is the development situated in a heritage area or likely to have an impact on any heritage item or item of cultural significance?  Yes  No
- Is the development likely to disturb any aboriginal artefacts or relics?  Yes  No

Please justify your answers below:

## FLORA AND FAUNA IMPACTS

- Will the development result in the removal of any native vegetation from the site?  Yes  No
- Is the development likely to have any impact on threatened species or native habitat?  Yes  No

For further information on threatened species, visit [www.threatenedspecies.environment.nsw.gov.au](http://www.threatenedspecies.environment.nsw.gov.au)

Please justify your answers below:

## WASTE AND STORMWATER DISPOSAL

- How will effluent be disposed of?  
 To Sewer                       Onsite
- How will stormwater (from roof and hard standing) be disposed of:  
 Council Drainage System     Other (please provide details)
- Will liquid trade waste be discharged to Council's sewer?                       Yes                       No
- Will the development result in any hazardous waste or other waste disposal issue?                       Yes                       No
- Does the development propose to have rainwater tanks?                       Yes                       No
- Have all potential overland stormwater risks been considered in the design of the development?                       Yes                       No

Please justify your answers below:

## SOCIAL AND ECONOMIC IMPACTS

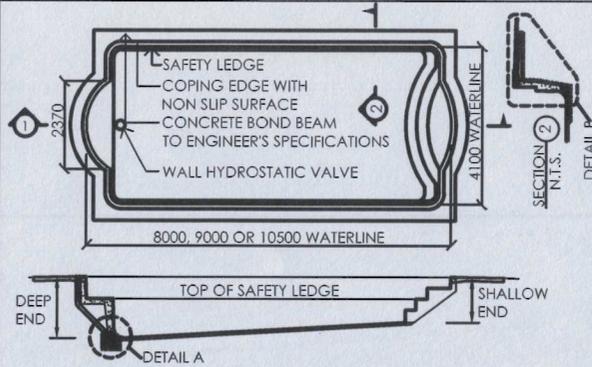
- Will the proposal have any economic or social consequences in the area?                       Yes                       No
- Has the development addressed any safety, security or crime prevention issues?                       Yes                       No

Please justify your answers below:

## CONCLUSION

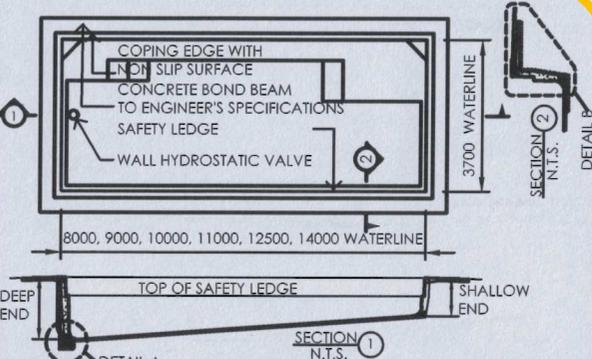
Cumulative effects of all factors.

THE CONQUEST



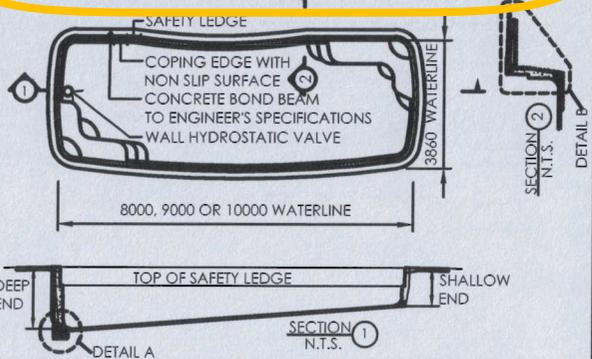
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9000	1650	1200
10500	1750	1200

THE EDEN



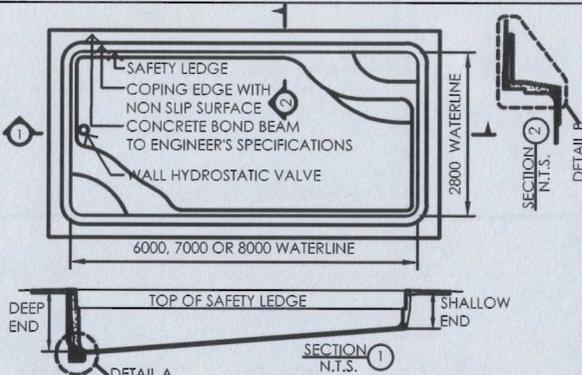
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7000	1672	1210	11000	1968	1210
8000	1746	1210	12500	2079	1210
9000	1820	1210	14000	2190	1210
10000	1894	1210			

THE HUDSON



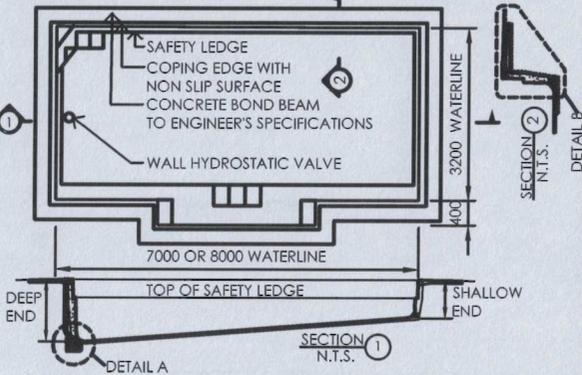
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8000	1900	1350
9000	1970	1350
10000	2050	1350

THE DARLING



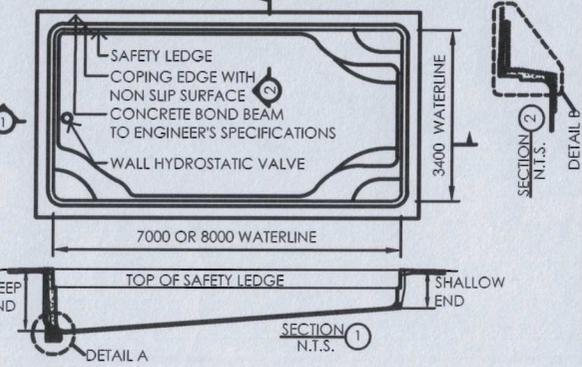
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6000	1730	1280
7000	1805	1280
8000	1875	1280

THE FLINDERS



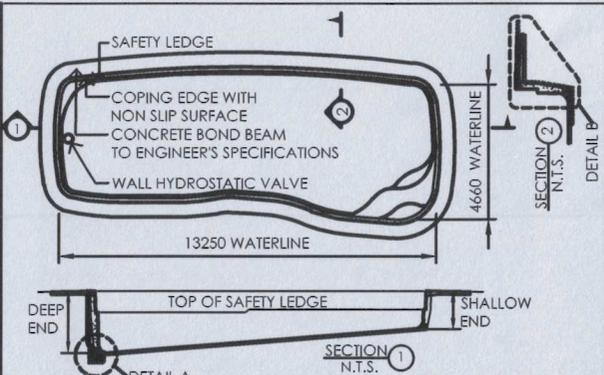
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7000	1690	1200
8000	1765	1200

THE LACHLAN



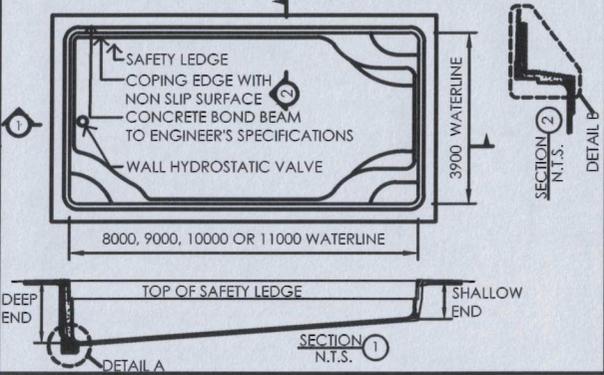
SIZE	DEEP END DEPTH	SHALLOW END DEPTH
7000	1805	1280
8000	1875	1280

THE DIAMANTINA



SIZE	DEEP END DEPTH	SHALLOW END DEPTH
13500	1800	1200

THE FRANKLIN



SIZE	DEEP END DEPTH	SHALLOW END DEPTH
8000	1820	1200
9000	1900	1200
10000	1970	1200
11000	2040	1200

FIBREGLOSS POOL DETAILS

**B·M**  
 CIVIL ENGINEERS  
 B-M CIVIL ENGINEERS PTY.LTD.  
 ABN 36 473 826 551  
 8 MIDSTAR CRESCENT, SHEPPARTON  
 PO BOX 6577 SHEPPARTON. 3632  
 Tel: 03 5823 5781.

JOB NO. <b>58924</b>	REVISION: <b>C</b>
DATE: <b>23.1.2024</b>	SHEET: <b>S01</b>
DESIGNED: <b>CONQUEST POOLS</b>	CHECKED: <b>DAVID EARL</b>
SIGNATURE: <i>Dea</i>	REG. NO.: <b>0002462</b>

REVISION	DESCRIPTION	APPROVED	DATE
C	NEW RETREAT POOL & NOTE CHANGES	DE	23.1.2024
B	STANDPIPE & BACKFILL CHANGES	DE	22.8.2023
A	ORIGINAL ISSUE	DE	12.5.2022

**SPECIFICATION AND GENERAL NOTES:**

**POOL SHELL:**

- \* THE MANUFACTURE OF THE FIBREGLASS SHELL IS TO COMPLY WITH AS 1839-2021.
- \* STRUCTURAL FIBRE REINFORCED SHELL TO HAVE MINIMUM THICKNESS OF 6MM, WITH UV STABILISED GEL COAT OR 0.5MM THICKNESS TO INNER POOL FACE 0.2 THICKNESS TO OUTER POOL FACE.
- \* STIFFENING RIBS LAMINATED TO WALL SHALL BE PROVIDED AT 600MM CENTRES UP TO A DEPTH OF 1.5M AND BE CONTINUOUS FOR DEPTHS BELOW 1.5M.

**INSTALLATION:**

- \* INSTALLATION IS TO BE IN ACCORDANCE WITH AS 1839-2021 AND COMPLY WITH ANY FUTURE REVISION.
- \* ONLY EXPERIENCED AND COMPONENT INSTALLERS ARE TO BE ENGAGED FOR POOL INSTALLATION. CORRECT INSTALLATION IS CRITICAL TO POOL PERFORMANCE.

**FOUNDATIONS:**

- \* POOL FLOOR TO BE LOCATED ON NATURAL APPROVED FOUNDATION MATERIAL HAVING AN ALLOWABLE SAFE BEARING PRESSURE OF 100Kpa MINIMUM.
- \* BEDDING LAYER OF 75mm MINIMUM THICKNESS IS TO BE PROVIDED. BEDDING MATERIAL IS TO BE FREE DRAINING, EG COURSE RIVER SAND OR 6mm SCREENINGS. BEDDING IS TO PROVIDE CONTINUOUS SUPPORT TO POOL FLOOR.

**WALL BACKFILL:**

- \* DURING CONSTRUCTION WALL BACKFILL IS TO BE PLACED AND COMPACTED IN LAYERS OF MAXIMUM DEPTH 150mm, MINIMUM WIDTH OF BACKFILL TO BE 150mm, BACKFILL TO BE BETWEEN 3% AND 5% CEMENT STABILISED SAND OR STONE DUST. BACKFILL TO BE PLACED AS POOL IS FILLING, BACKFILL MUST AT ALL TIMES BE ABOVE AND WITHIN 200mm OF WATER LEVEL.
- \* FITTINGS EXTRUDING FROM THE OUTSIDE OF THE POOL SHELL TO BE FREE FROM CONCRETE TO A RADIUS OF 300MM, THIS ALLOWING FOR NATURAL MOVEMENT WITHOUT COMPROMISING THE EXTRUDING FITTINGS.

**CONCRETE BOND BEAM:**

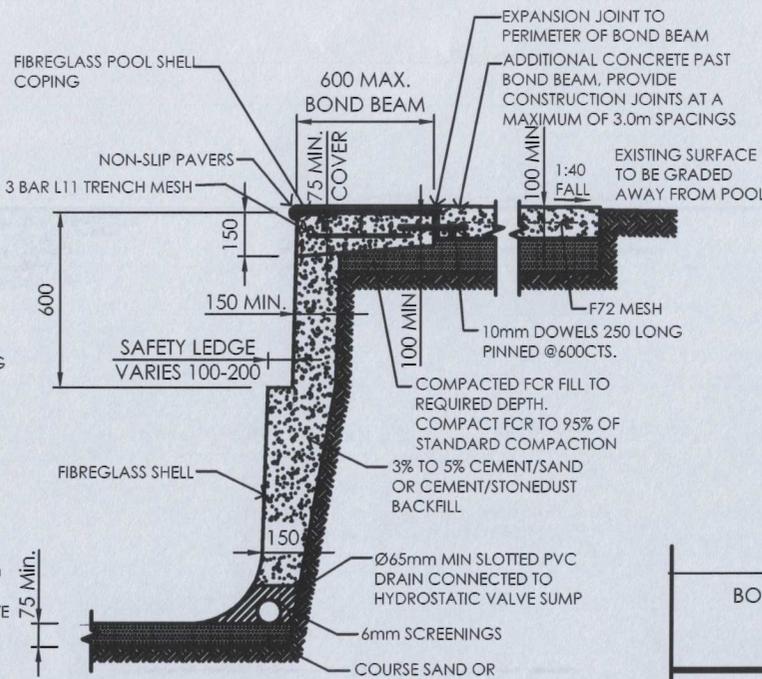
- \* BOND BEAM TO BE CONSTRUCTED AS PER PLAN. PROVIDE Ø 3mm GALVANISED WIRE TIES TO BOND BEAM REINFORCEMENT AT MAXIMUM 800mm CENTRES.

**POOL DRAINAGE:**

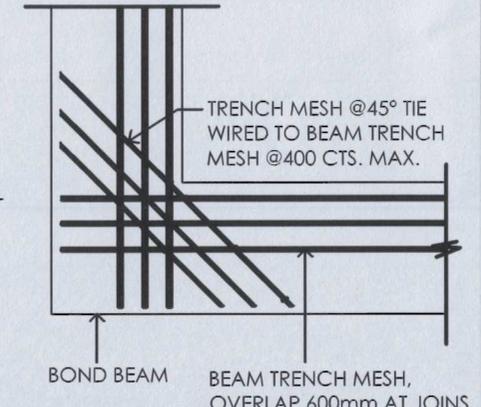
- \* BELOW MID DEPTH OF POOL PROVIDE Ø 65mm MINIMUM SLOTTED PVC DRAIN LOCATED IN PREVIOUS BACKFILL EG 6mm SCREENINGS. DRAINAGE IS TO BE DIRECTED TO SUMP OF HYDROSTATIC RELIEF VALVE. PROVIDE VERTICAL RISER (VENT LINE) TO ENABLE CONTROL AND MONITORING OF GROUND WATER.
- \* INSTALL A DRAIN TO DIRECT WATER FROM UNDER POOL TO OUTLET VENTED TO ATMOSPHERE - REFER TO AS1839:2021. WHERE NOT POSSIBLE A PROVISION FOR A PUMP AND SUMP SYSTEM SHALL BE PROVIDED - REFER TO AS1839:2021.

**SITE MAINTENANCE:**

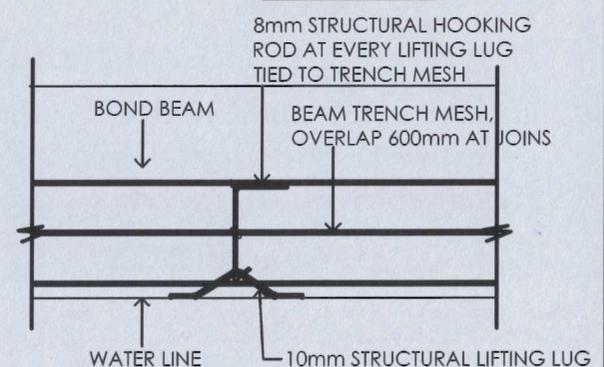
- \* IN ADDITION TO THE FOLLOWING, REFERENCE SHOULD BE MADE TO THE CSIRO INFORMATION SHEET "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND PERFORMANCE". THERE ARE ADDITIONAL TIPS IN THE VBA PUBLICATION "MINIMISING FOUNDATION MOVEMENT AND DAMAGE TO YOU HOUSE INFO SHEET.
- \* PLANTING OF TREES CLOSE TO THE POOL SHOULD BE AVOIDED. MINIMUM DISTANCE FROM THE POOL SHOULD EQUAL TO THEIR MATURE HEIGHT.
- \* A DRAINAGE SYSTEM MUST BE INSTALLED AROUND THE PERIMETER OF CONCRETE PAVING TO PREVENT WATER FROM PONDING AGAINST, NEAR OR BENEATH THE PAVING IN ORDER TO MAINTAIN A STABLE MOISTURE CONTENT. GRADING THE SURFACES 1 IN 20 FOR AT LEAST 2 METRES AWAY FROM THE PAVING TO COLLECTION POINTS WILL BE NECESSARY.
- \* POOL AND SITE DRAINAGE TO COMPLY WITH LOCAL COUNCIL REGULATIONS AND RELEVANT AUSTRALIAN STANDARDS.
- \* WEEP HOLES OF THE DWELLING MUST NOT BE COVERED BY LANDSCAPING.
- \* ANY PITS OR GRATED DRAINS INSTALLED AROUND THE POOL MUST NOT BE THE LOWEST POINT IN THE SYSTEM. IF THIS IS GOING TO BE THE CASE AN OVERFLOW PIT MUST BE INSTALLED DOWNSTREAM TO ALLOW FOR ANY OVERFLOW.
- \* IF THE EXISTING SYSTEM IS A CHARGED SYSTEM, A NEW DRAINAGE SYSTEM MUST BE INSTALLED TO COLLECT AND DRAIN WATER AWAY FROM THE POOL AND PAVING.



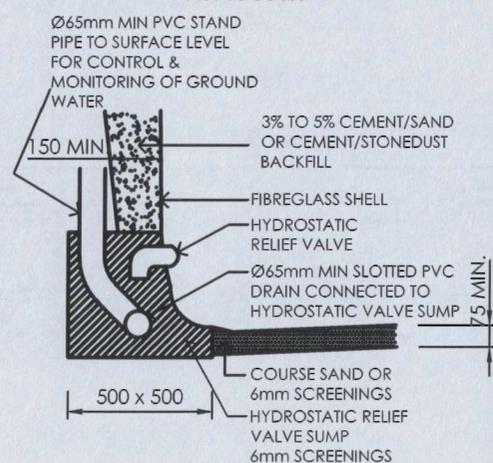
**DETAIL B**  
**Pool Edge Detail**  
Not To Scale



**Bond Beam Corner Detail**  
PLAN VIEW - N.T.S.



**Bond Beam Tie-in Detail**  
PLAN VIEW - N.T.S.

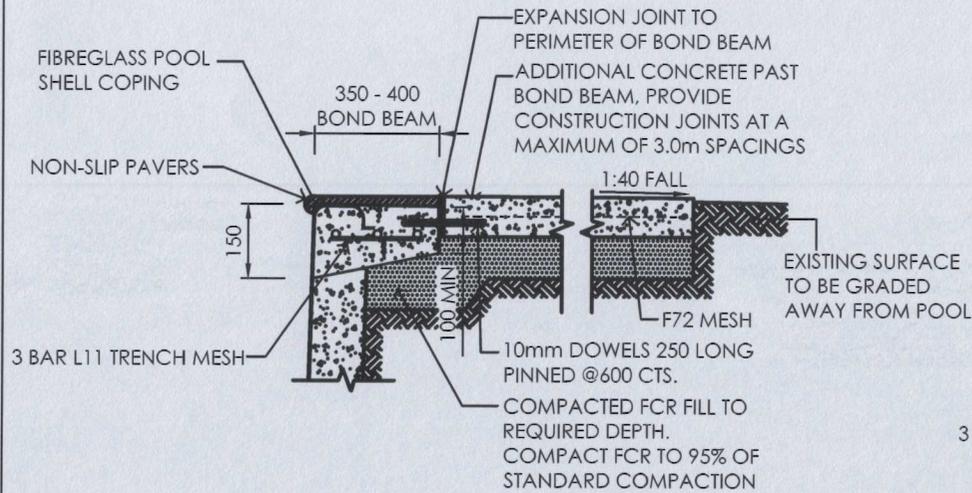


**DETAIL A**  
**Hydro Valve Detail**  
Not To Scale

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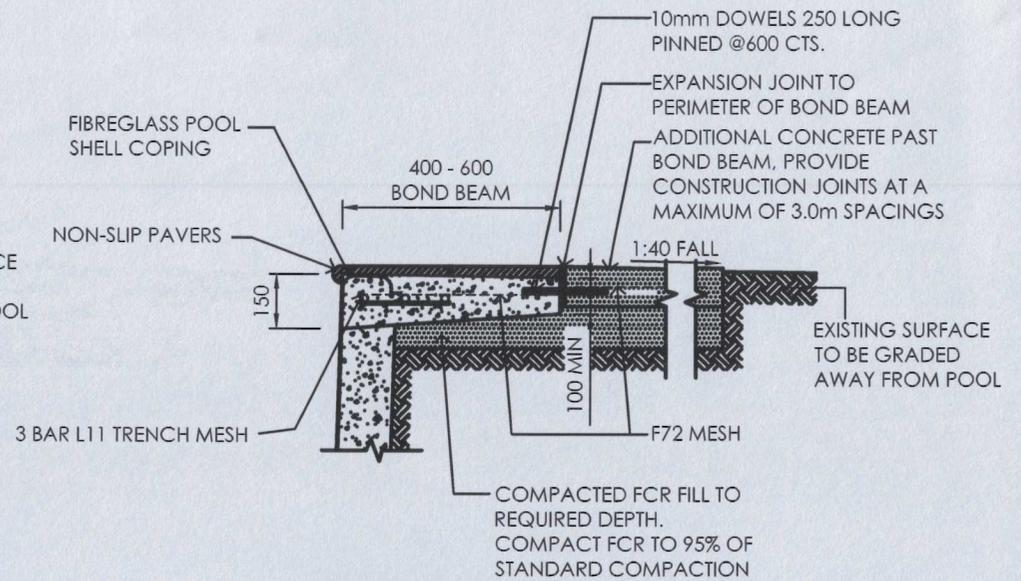
**ENGINEERING SPECIFICATIONS ONLY. FOR INSTALLATION REFER TO CONQUEST POOLS DIG SHEETS.**

<b>FIBREGLASS POOL DETAILS</b>			
 <b>B·M</b> CIVIL ENGINEERS B-M CIVIL ENGINEERS PTY.LTD. ABN 36 473 826 551 8 MIDSTAR CRESCENT, SHEPPARTON PO BOX 6577 SHEPPARTON. 3632 Tel: 03 5823 5781	JOB NO. <b>58924</b>	REVISION: <b>C</b>	
	DATE: <b>23.1.2024</b>	SHEET: <b>S03</b>	
DESIGNED:	CONQUEST POOLS		
CHECKED:	DAVID EARL		
SIGNATURE:			
REG. NO.:	<b>0002462</b>		
C	NEW RETREAT POOL & NOTE CHANGES	DE	23.1.2024
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REVISION	DESCRIPTION	APPROVED	DATE



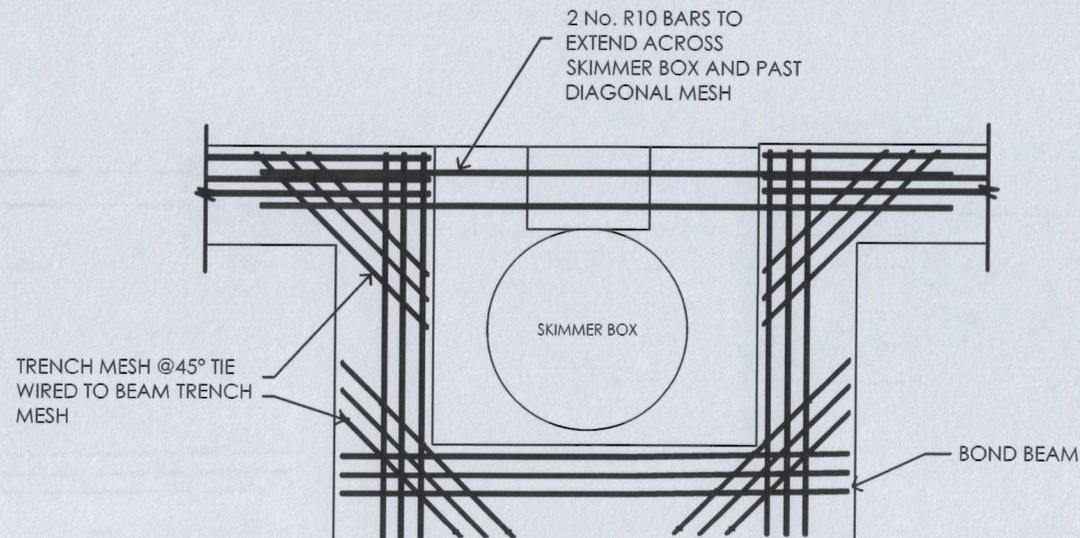
## BOND BEAM 1 Pool Edge Detail

Not To Scale



## BOND BEAM 2 Pool Edge Detail

Not To Scale



## Skimmer Box Bond Beam Detail

PLAN VIEW - N.T.S.

## FIBREGLASS POOL DETAILS

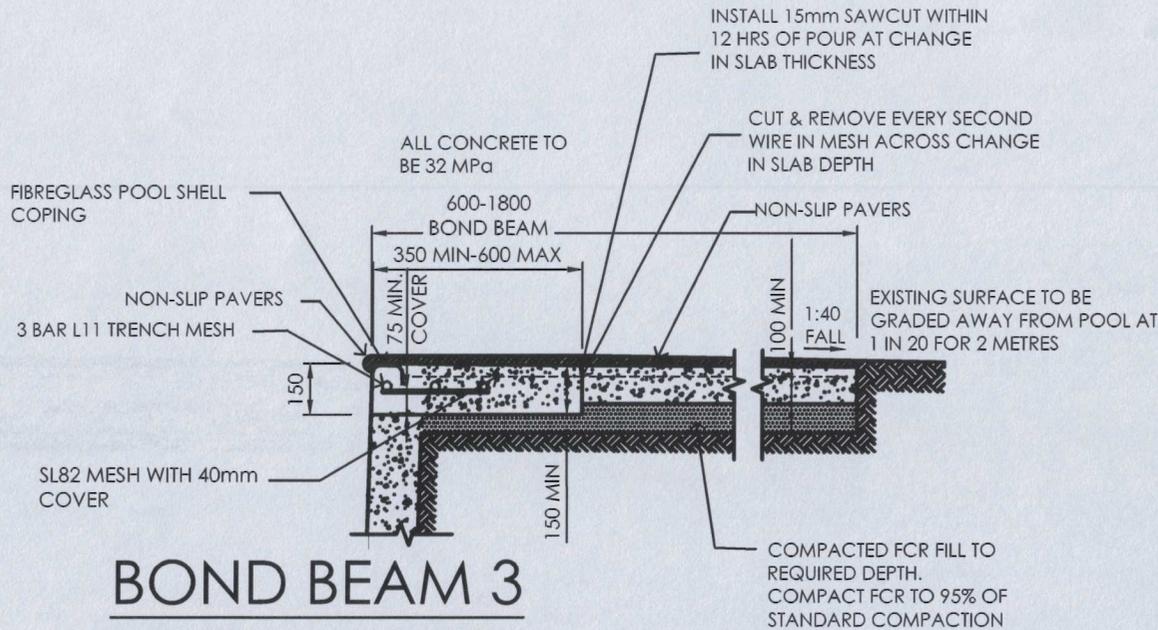


CIVIL ENGINEERS

B-M CIVIL ENGINEERS PTY.LTD.  
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8 MIDSTAR CRESCENT, SHEPPARTON  
PO BOX 6577 SHEPPARTON, 3632  
Tel: 03 5823 5781.

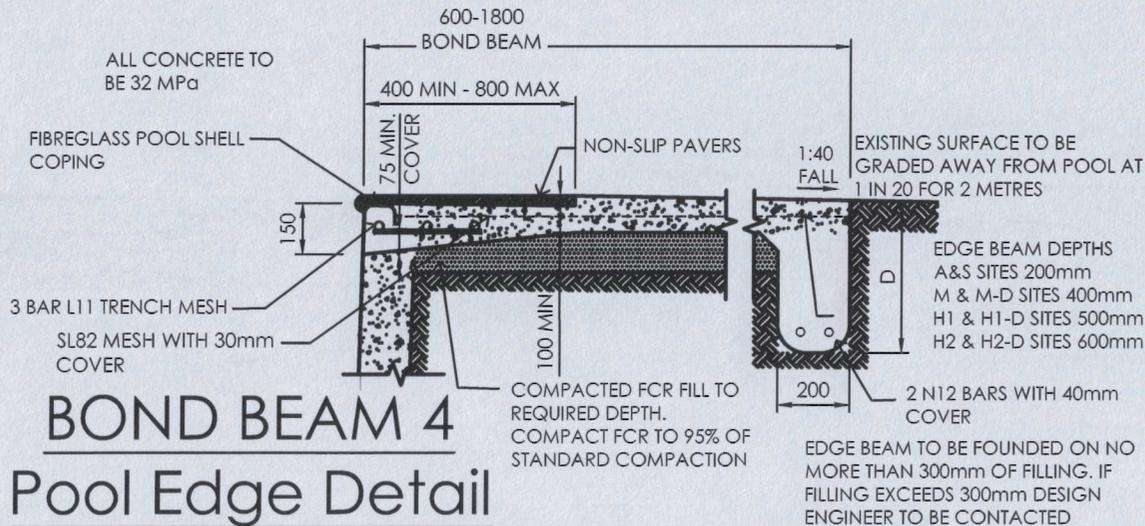
JOB NO. <b>58924</b>	REVISION: <b>C</b>
DATE: 23.1.2024	SHEET: <b>S04</b>
DESIGNED: <b>CONQUEST POOLS</b>	
CHECKED: <b>DAVID EARL</b>	
SIGNATURE: <i>[Signature]</i>	
REG. NO.: <b>0002462</b>	

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## BOND BEAM 3 Pool Edge Detail

Not To Scale



## BOND BEAM 4 Pool Edge Detail

Not To Scale

### SPECIFICATION AND GENERAL NOTES:

#### BOND BEAM:

- CONCRETE BOND BEAM IS TO BE CONSTRUCTED AS PER PLAN. BOND BEAM DETAILS THAT ARE SHOWN ARE SUITABLE FOR SITE CLASSIFICATIONS OF A, S, M & M-D. IF THE SITE CLASSIFICATION IS H1, H2, H1-D, H2-D OR P THEN THE BOND BEAM MUST BE INCREASED TO BE 200mm DEEP AT POOL EDGE WITH SAME REINFORCEMENT AND CONSTRUCTED USING 32 MPa CONCRETE.
- PROVIDE L11 TRENCH MESH ACROSS ALL RE-ENTRANT CORNERS WHICH MUST EXTEND TO EDGE OF CONCRETE OR FOR 2 METRES WHICHEVER IS THE LESSER.

#### CONCRETE:

- ALL CONCRETE TO BE USED IN BOND BEAM TO BE A MINIMUM STRENGTH OF 25MPa ON ANY POOL UP TO & INCLUDING 12m LONG UNLESS IT EXCEEDS 600mm IN WIDTH OR IF THE SITE CLASSIFICATION IS H1, H2, H1-D, H2-D OR P STRENGTH MUST BE INCREASED TO 32 MPa.
- ALL CONCRETE TO BE USED IN BOND BEAM TO BE A MINIMUM STRENGTH OF 32 MPa ON ANY POOL OVER 12m LONG.
- CONCRETE TO BE PLACED IN ACCORDANCE WITH AS 3600 AND CURED FOR AT LEAST 3 DAYS.
- CONCRETE MUST BE VIBRATED WHEN BEING PLACED.

#### ELECTRICAL:

- ALL STEEL MESH, INCLUDING BUT NOT LIMITED TO STAINLESS STEEL LADDERS AND HAND RAILS, IN THE CONCRETE WITHIN 1.2 METRES OF THE WATER EDGE MUST ELECTRONICALLY BONDED.

#### PLUMBING:

- PIPE WORK CONNECTED TO POOL SHELL MUST HAVE 500mm OF STONEDUST OR SAND AROUND THE PIPE WHICH IS NOT TO BE STABILISED WITH CEMENT.

#### REINFORCEMENT:

- ALL N12 BARS MUST BE LAPPED 500mm UNLESS OTHERWISE NOTED.
- TRENCH MESH MUST BE LAPPED 500mm UNLESS OTHERWISE NOTED.
- SLAB FABRICSPlicing SHALL BE A MINIMUM OF 2 LONGITUDINAL BARS PLUS 10mm.
- STEEL REINFORCEMENT IS TO BE CLEAN OF GREASE, OIL, MUD AND FREE OF LOOSE SURFACE RUST.
- SLAB FABRIC MUST HAVE A MINIMUM OF 30mm COVER.
- TRENCH MESH MUST HAVE A MINIMUM OF 40mm COVER.

#### LANDSCAPING:

- MUST COMPLY WITH BUILDING PERMIT AND RELEVANT AUSTRALIAN STANDARDS, PARTICULARLY DRAINAGE.

## FIBREGLASS POOL DETAILS



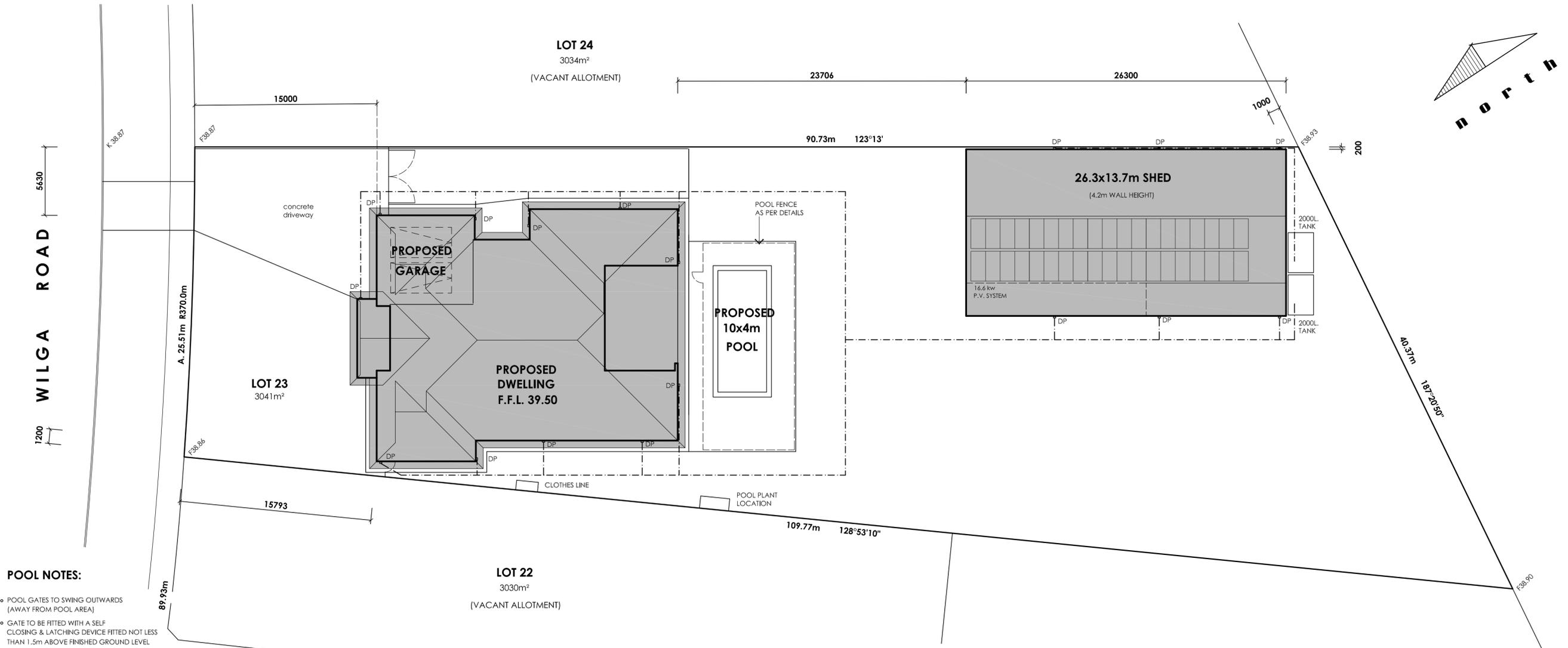
B·M CIVIL ENGINEERS PTY.LTD.  
ABN 36 473 826 551  
8 MIDSTAR CRESCENT, SHEPPARTON  
PO BOX 6577 SHEPPARTON, 3632  
Tel: 03 5823 5781

JOB NO. <b>58924</b>	REVISION: <b>C</b>
DATE: 23.1.2024	SHEET: <b>S05</b>
DESIGNED: CONQUEST POOLS	CHECKED: DAVID EARL
SIGNATURE: <i>David Earl</i>	REG. NO.: 0002462

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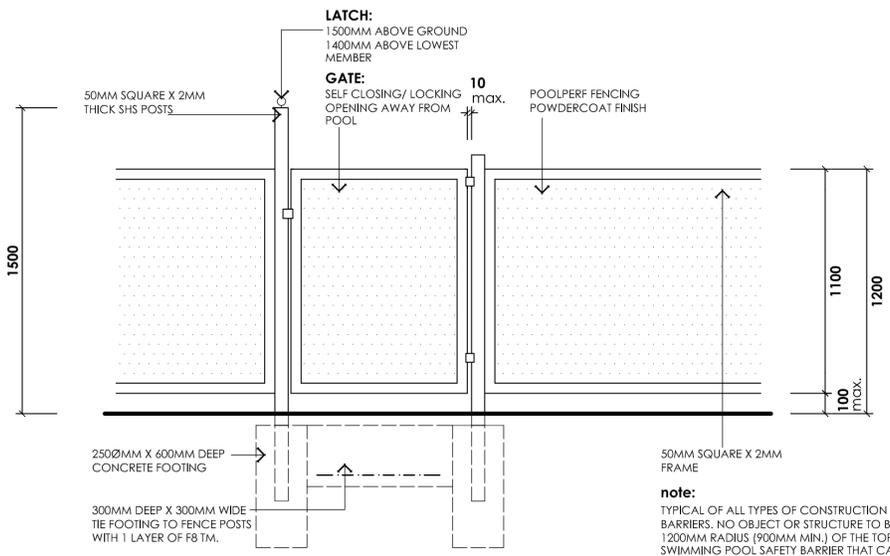
ENGINEERING SPECIFICATIONS ONLY. FOR INSTALLATION REFER TO CONQUEST POOLS DIG SHEETS.

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- POOL NOTES:**
- POOL GATES TO SWING OUTWARDS (AWAY FROM POOL AREA)
  - GATE TO BE FITTED WITH A SELF CLOSING & LATCHING DEVICE FITTED NOT LESS THAN 1.5m ABOVE FINISHED GROUND LEVEL AS PER A.S. 1926.1
  - GATES SHALL BE HUNG SO WHEN GATE IS CLOSED AND LATCHED, AND IS LIFTED UPWARDS OR PULLED DOWNWARDS WITH A FORCE OF 250N MOVEMENT OF THE GATE DOES NOT:
    - (A) RELEASE THE LATCH
    - (B) UNHINGE THE GATE, OR
    - (C) INCREASE THE OPENING BETWEEN THE BOTTOM OF THE GATE AND THE FFL TO GREATER THAN 100mm
  - ALL SWIMMING POOL SAFETY BARRIERS TO COMPLY WITH THE FOLLOWING AS REQUIRED AND APPLICABLE: THE NATIONAL CONSTRUCTION CODE AS 1926.1 2012 AS 1926.2 2007 AS 1926.3 2010
  - ENSURE CPR SIGNAGE IS DISPLAYED INSIDE POOL AREA
  - SWIMMING POOL MUST HAVE A COVER
  - SWIMMING POOL MUST NOT HAVE A VOLUME GREATER THAN 60 KILOLITRES
  - SWIMMING POOL MUST BE HEATED BY HEAT PUMP ONLY.
  - SWIMMING POOL PUMP MUST HAVE A PERFORMANCE OF 6 STARS, WITH A TIMER

- SITE NOTES:**
- 90mmØ U.P.V.C. STORMWATER DRAINS DIRECTED TO RAINWATER TANKS
  - PROVIDE INSPECTION OPENINGS EVERY 9m OF RUN & CHANGE IN DIRECTION.
  - 100 x 50 ZINCALUME DOWNPIPES D.P.
  - ALL LEVELS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
  - NOTE: FINISHED FLOOR LEVELS ARE A GUIDE ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS



**TYPICAL POOL FENCE DETAIL 1:20**

**Certificate No. 0011909173-01**

Scan QR code or follow website link for rating details.

Assessor name John Fisher  
Accreditation No. DMN/10/2003  
Property Address LOT-23 Wilga Road, Gol Gol NSW, 2738  
hstar.com.au/QR/Generate?pi=ibixqujws

**BASIX REQUIREMENTS: CERT. No. 1795040S\_02**

**WATER COMMITMENTS**  
PROVIDE SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR.  
PROVIDE TOILET FLUSHING SYSTEMS WITH A MINIMUM RATING OF 4 STAR.  
PROVIDE TAPS TO KITCHEN WITH A MINIMUM RATING OF 4 STAR.  
PROVIDE TAPS TO ALL BASINS IN BATHROOMS WITH A MINIMUM RATING OF 4 STAR.

**ENERGY COMMITMENTS**  
HOT WATER: PROVIDE SOLAR HOT WATER SERVICE (ELECTRIC BOOST) WITH A PERFORMANCE OF 31 TO 35 STCS OR BETTER.  
COOLING/ HEATING SYSTEM: PROVIDE THREE PHASE REVERSE CYCLE SYSTEM ENERGY RATING OF EER 3.0 - 3.5. ALSO MUST PROVIDE DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

**THERMAL COMFORT COMMITMENTS**  
INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (INCL. GARAGE)  
INSTALL R2.5 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALLS

**PROJECT:** PROPOSED DWELLING  
**CLIENT:** TRENDVIL PTY. LTD.  
**ADDRESS:** LOT 23 WILGA ROAD, GOL GOL

**SCALE:** AS SHOWN  
**DESIGN:** MB  
**DRAWN:** MB

**ISSUE:**  
**DATE:** APRIL 2025  
**SHEET NO:** 4 OF 5

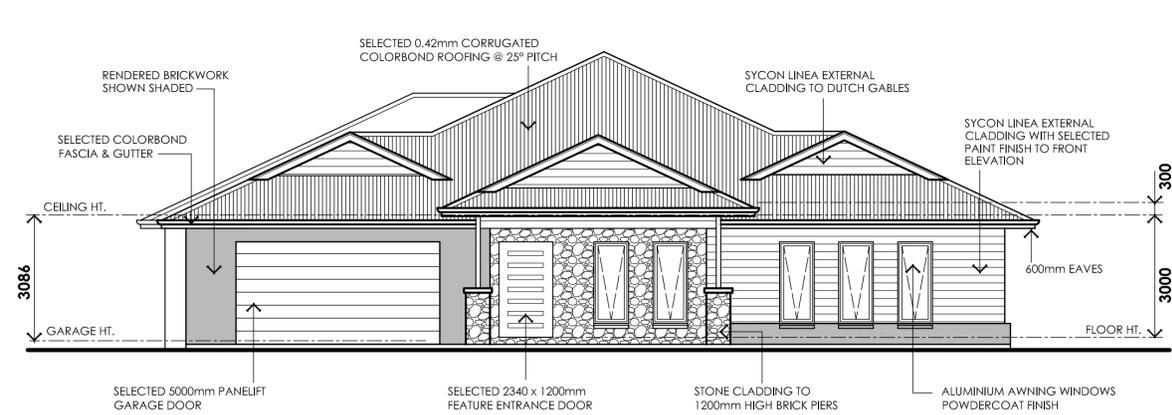
**DRG NO:** CD25 - 106

**concept designmildura**

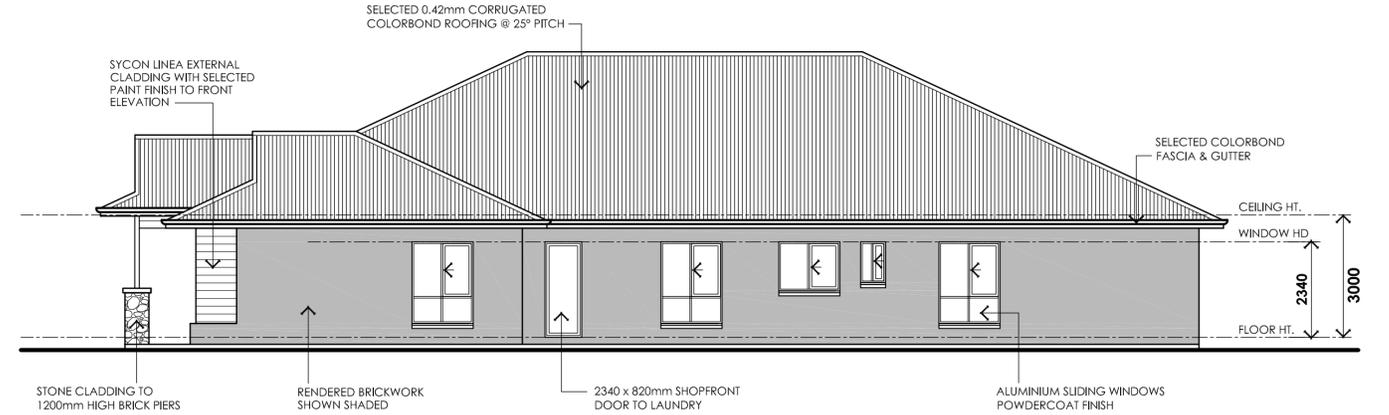
M: 0408 125 516  
A: 8 ysonde avenue, irymple  
MARK BAKER DP AD23012

REGISTERED Building Practitioner

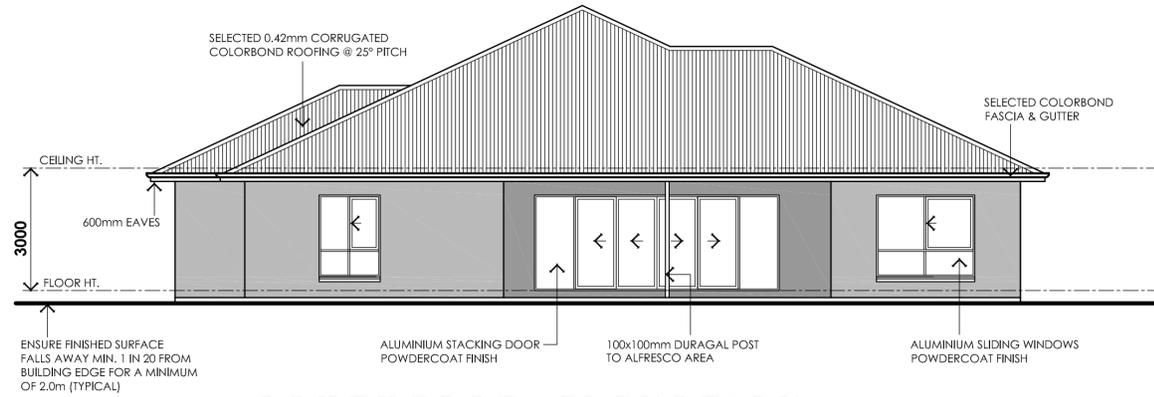
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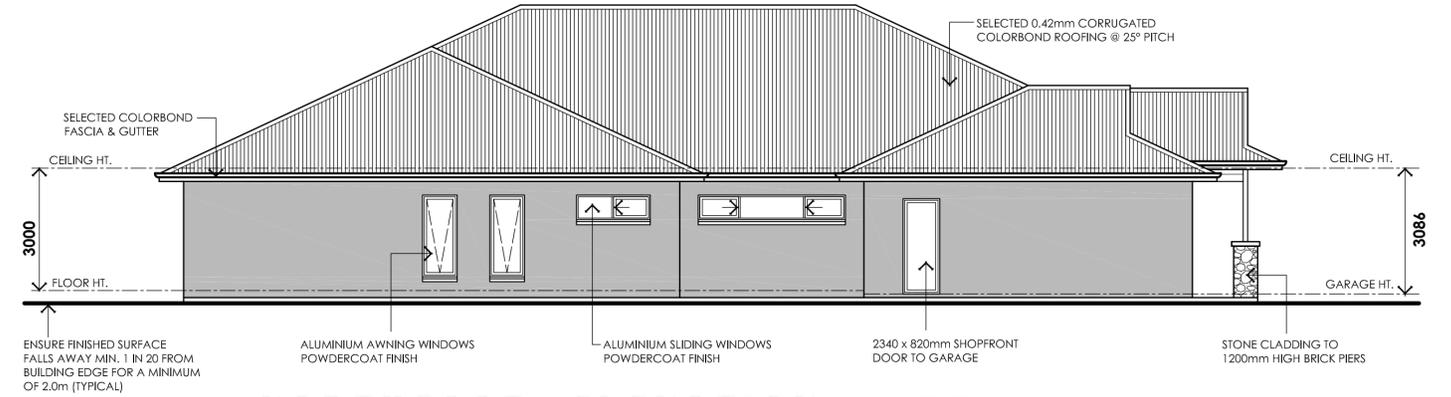
**NORTHWEST ELEVATION 1:100**



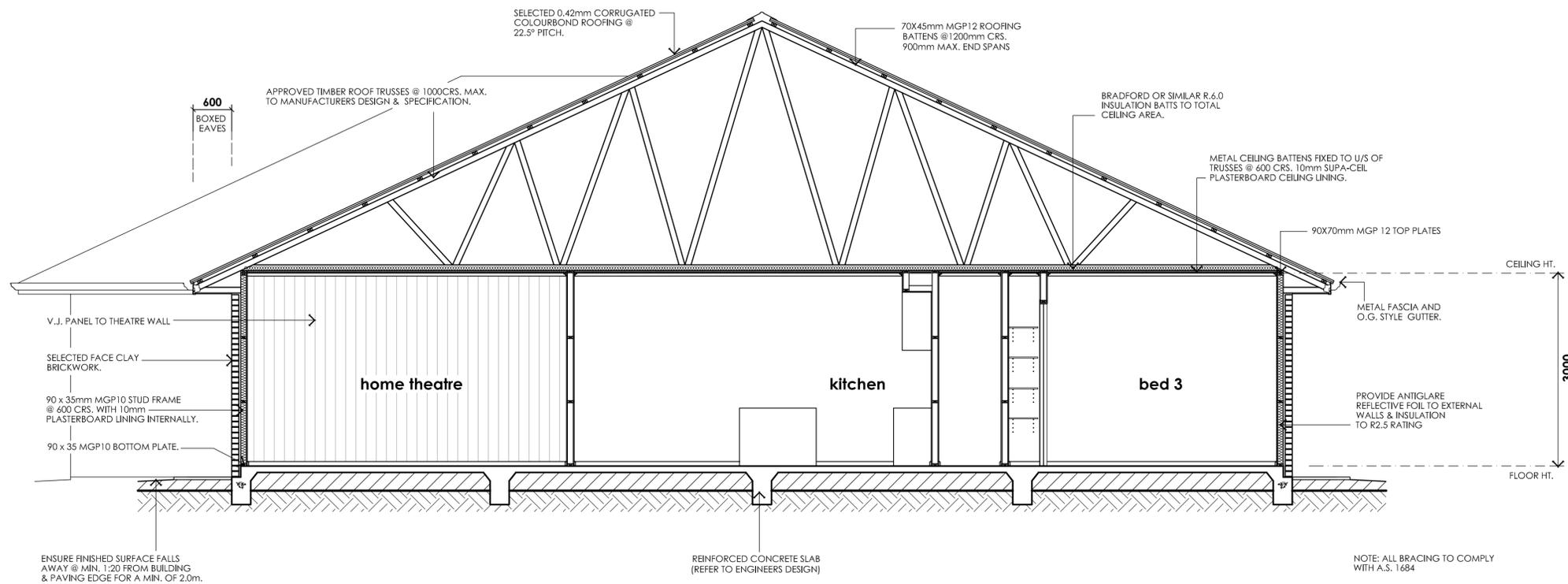
**SOUTHWEST ELEVATION 1:100**



**SOUTHEAST ELEVATION 1:100**



**NORTHEAST ELEVATION 1:100**



**TYPICAL SECTION A - A 1:50**

**Certificate No. 0011909173-01**  
 Scan QR code or follow website link for rating details.  
 Assessor name John Fisher  
 Accreditation No. DMN/10/2003  
 Property Address LOT-23 Wilga Road, Gol Gol  
 NSW, 2738  
 11909173-01  
 12 MAY 2022

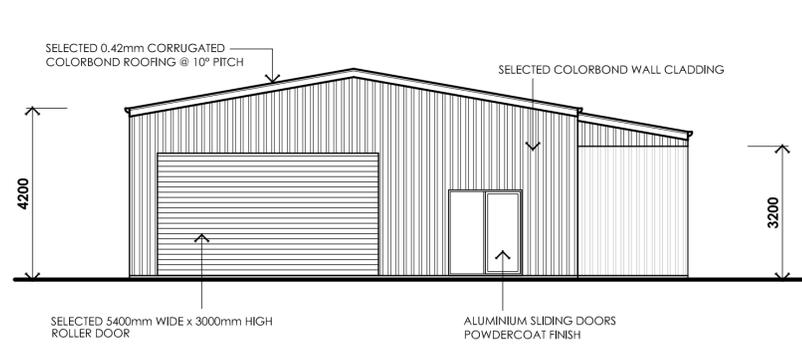
**PROJECT:** PROPOSED DWELLING  
**CLIENT:** TRENDVIL PTY. LTD.  
**ADDRESS:** LOT 23 WILGA ROAD, GOL GOL

**SCALE:** AS SHOWN  
**DESIGN:** MB  
**DRAWN:** MB  
**ISSUE:**  
**DATE:** APRIL 2025  
**SHEET NO:** 2 OF 5

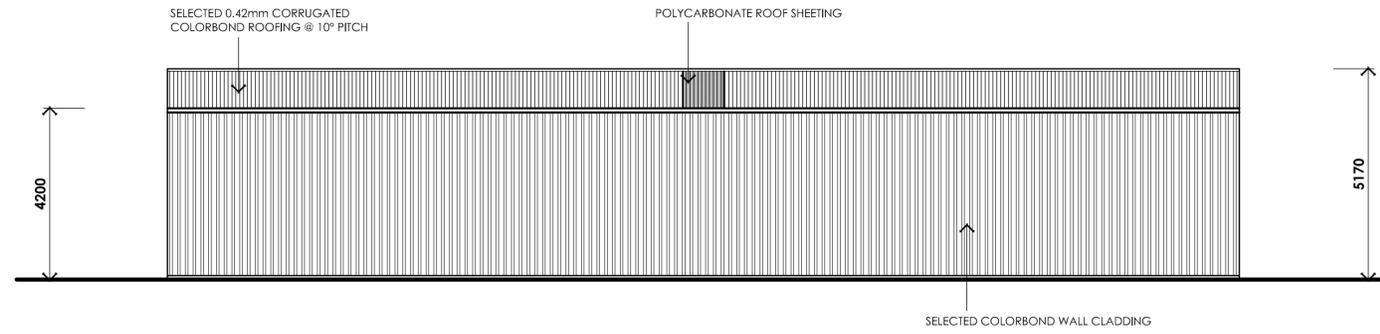
**DRG NO:** CD25 - 106

**concept designmildura**  
 REGISTERED Building Practitioner  
 M: 0408 125 516  
 A: 8 ysonde avenue, irymple  
 MARK BAKER DP AD23012  
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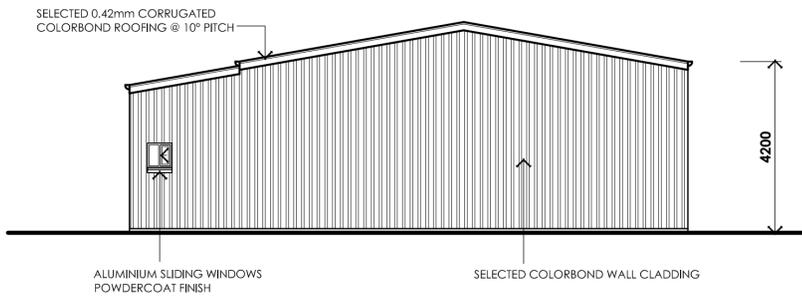




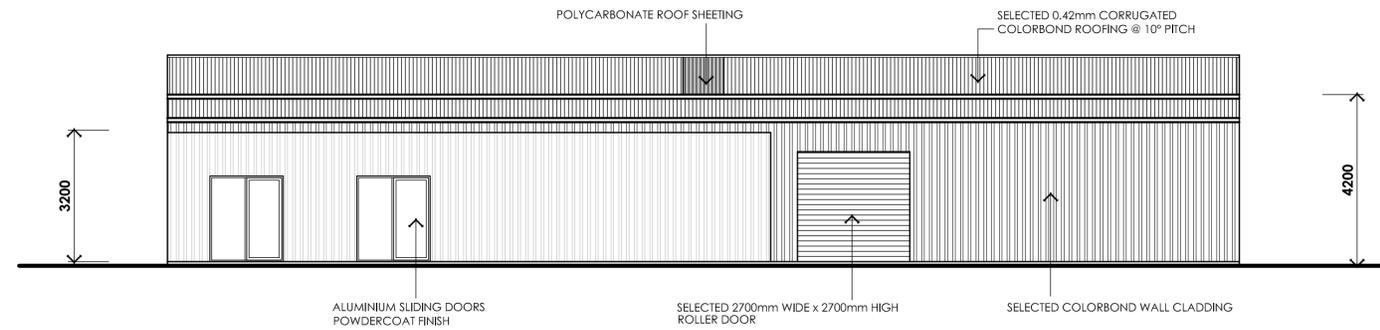
**NORTHWEST ELEVATION 1:100**



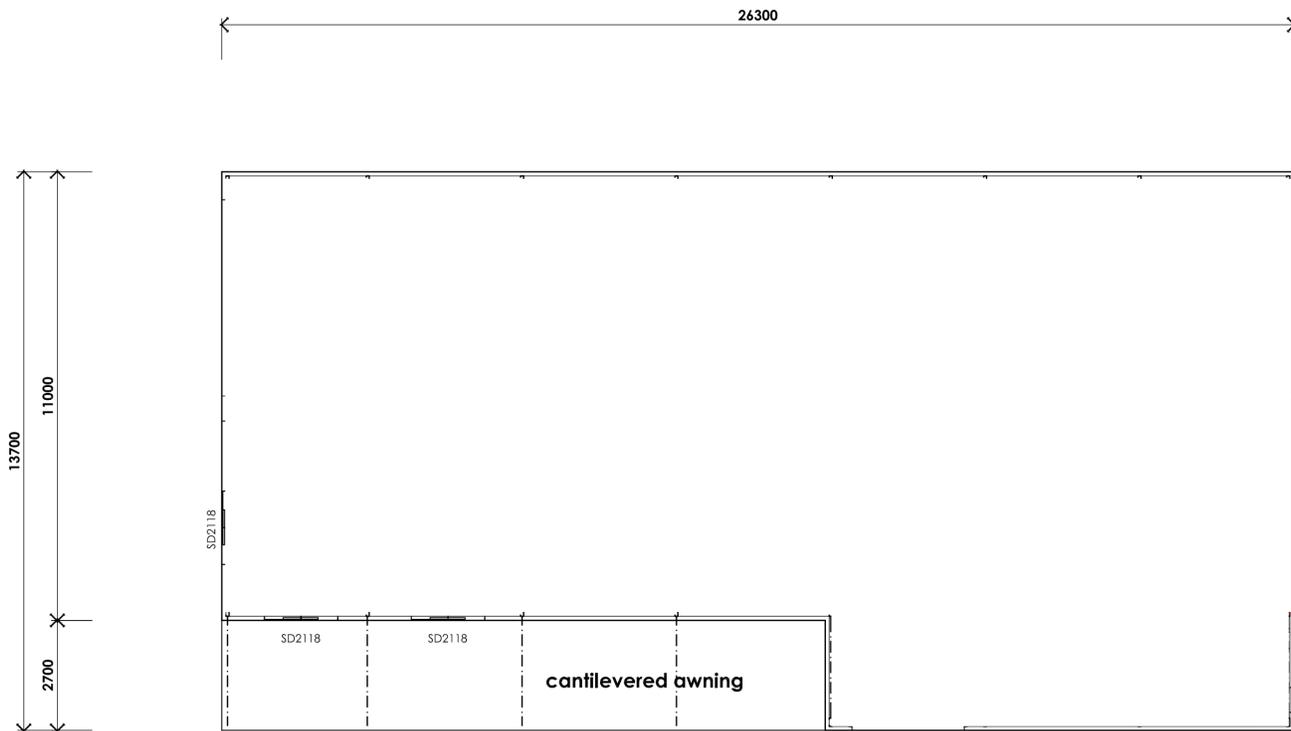
**NORTHEAST ELEVATION 1:100**



**SOUTHEAST ELEVATION 1:100**



**SOUTHWEST ELEVATION 1:100**



**FLOOR PLAN 1:100**



**Certificate No. 0011909173-01**  
 Scan QR code or follow website link for rating details.  
 Assessor name: John Fisher  
 Accreditation No. DMN/10/2003  
 Property Address: LOT-23 Wilga Road, Gol Gol NSW, 2738  
 hstar.com.au/QR/Generate?pi=ibixqUWs

**BASIX REQUIREMENTS: CERT. No. 1795040S\_02**

**WATER COMMITMENTS**  
 PROVIDE SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR.  
 PROVIDE TOILET FLUSHING SYSTEMS WITH A MINIMUM RATING OF 4 STAR.  
 PROVIDE TAPS TO KITCHEN WITH A MINIMUM RATING OF 4 STAR.  
 PROVIDE TAPS TO ALL BASINS IN BATHROOMS WITH A MINIMUM RATING OF 4 STAR.

**ENERGY COMMITMENTS**  
 HOT WATER: PROVIDE SOLAR HOT WATER SERVICE (ELECTRIC BOOST) WITH A PERFORMANCE OF 31 TO 35 STCS OR BETTER.  
 COOLING/ HEATING SYSTEM: PROVIDE THREE PHASE REVERSE CYCLE SYSTEM ENERGY RATING OF EER 3.0 - 3.5. ALSO MUST PROVIDE DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

**THERMAL COMFORT COMMITMENTS**  
 INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (INCL. GARAGE)  
 INSTALL R2.5 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALLS

**window schedule**

NO.	SERIAL NO.	FRAME SIZE	QTY.	U-VALUE	SHGC	UNTEL SIZE
W1						AS PER
W2						TRUSS
W3						MAN.
W4						DETAILS
W5						
W6						
W7						
SD1	SD2118	21050x1804	3	3.4	0.57	
FD1						

**WINDOW TYPE:**  
 ALUMINIUM AWNING AND SLIDING, POWDER COAT FINISH  
 AS PER U-VALUES AND SHGC LISTED

**WIND LOADS FOR HOUSING:**  
 IN ACCORDANCE WITH TABLE 2.2 - A.S 4055 - 2006  
 REGION: A  
 TERRAIN CATEGORY: T.C 3.0  
 TOPOGRAPHIC CLASS: T1  
 SHIELDING CLASS: P.S  
 WIND CLASS: N1

**BUSHFIRE ATTACK LEVEL:**  
 NO BAL REQUIREMENTS FOR THIS SITE

**AREAS:**  
 SHED 360.31m<sup>2</sup>

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