

Health & Planning Department 26-28 Adelaide Street PO Box 81 WENTWORTH NSW 2648

Tel: 03 5027 5027 council@wentworth.nsw.gov.au

#### **Statement of Environmental Effects**

Attachment C to the Development Application

made under the Environmental Planning & Assessment Regulation 2000

#### **INTRODUCTION**

**PERMISSIBILITY** 

To assist Council in assessing your development application, in accordance with relevant legislative requirements, it is necessary for you to answer the following questions and provide justification of your responses. These questions relate to common matters that need to be addressed in order to mitigate potential impacts resulting from your development.

Please note: Incomplete or insufficient information may lead to your application be delayed or rejected.

| <ul> <li>Is your proposal permissible in the zone?</li> <li>Is your proposal consistent with the zone objectives?</li> <li>Is your proposal in accordance with the relevant development control plan?</li> <li>If you answered "No" to any of the above, you should make an appointment to discuss y the Health &amp; Planning Division before lodging a development application.</li> <li>Please justify your answers below:</li> </ul> | Yes Yes Yes our proposal wit | ☐ No<br>☐ No<br>☐ No<br>h a member of |
|--|------------------------------|---------------------------------------|
|  |                              |                                       |
|  |                              |                                       |
|  |                              |                                       |
|  |                              |                                       |
| DESCRIPTION OF DEVELOPMENT   |                              | LP                                    |
| This needs to include where applicable a description of matters such as proposed buildin   |                              | _                                     |
|  |                              | _                                     |
| This needs to include where applicable a description of matters such as proposed buildin   |                              | _                                     |
| This needs to include where applicable a description of matters such as proposed buildin   |                              | _                                     |
| This needs to include where applicable a description of matters such as proposed buildin   |                              | _                                     |
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| This needs to include where applicable a description of matters such as proposed buildin   |                              | _                                     |
| This needs to include where applicable a description of matters such as proposed buildin   |                              | _                                     |

| DE       | ESCRIPTION OF SITE  |
|----------|---|
| 1.       | Describe the site including any physical features of the site such as shape, slope, vegetation, any waterways. Also describe the current use/s on the site. |
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|          |   |
| 2.       | What is the present use and previous uses of the site?  |
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|          |   |
| 2        | Is the development site subject to any of the following natural hazards: (e.g. bushfire prone, salinity, flooding or  |
| ٦.       | stormwater inundation etc.)   |
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|          |   |
| 1        | What other constraints exist on the site? (e.g. vegetation, easements, sloping land, drainage lines contamination, etc.)                                    |
| <b>-</b> | what other constraints exist on the site: (e.g. vegetation, easements, sloping land, drainage lines contamination, etc.)                                    |
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| <u></u>  | What types of land use and development exist on surrounding land?   |
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| CONTEXT AND SETTING   |                |  |
|---|----------------|--|
| Will the development be:  |                | <b>-1</b>  |
| <ul> <li>Visually prominent in the surrounding area?</li> </ul>   | ☐ Yes          | ₩ No   |
| <ul><li>Inconsistent with the existing streetscape?</li><li>Out of character with the surrounding area?</li></ul>   | ☐ Yes          | No     No |
| <ul> <li>Out of character with the surrounding area?</li> <li>Inconsistent with surrounding land uses?</li> </ul>   | ☐ Yes<br>☐ Yes | No No  |
| Please justify your answers below:  | □ res          | INO  |
| riedse justify your answers below.  |                |  |
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| PRIVACY, VIEWS AND OVERSHADOWING  |                |  |
| <ul> <li>Will the development result in any privacy issues between adjoining properties as a</li> </ul>   |                | •  |
| result of the placement of windows, decks, pergolas, private open space, etc.?  | ☐ Yes          | ₩ No   |
| Will the development result in the overshadowing of adjoining properties resulting  |                | <b>=</b> 1   |
| in an adverse impact on solar access?   | ☐ Yes          | <b>™</b> No  |
| <ul> <li>Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas,</li> </ul> |                |  |
| air conditioners and pumps, bedroom and living room windows, etc.?  | □ Yes          | <b>₩</b> No  |
| <ul> <li>Will the development impact on views enjoyed from adjoining or nearby properties</li> </ul>  | □ 1C3          | INO  |
| and public places such as parks roads and footpaths?  | ☐ Yes          | <b>™</b> No  |
| Please justify your answers below:  |                |  |
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| ACCECC TRAFFIC AND LITHITIES  |                |  |
| ACCESS, TRAFFIC AND UTILITIES   |                |  |
| Is legal and practical access available to the development?    Compared to the development  | Yes            | □ No   |
| Will the development increase local traffic movements / volumes?  If you by how much?   | ☐ Yes          | <b>™</b> No  |
| If yes, by how much?  | □ Vaa          | No   |
| <ul> <li>Are additional access points to a road network required?</li> <li>Has vehicle manoeuvring and onsite parking been addressed in the design?</li> </ul>                          | ☐ Yes<br>▼ Yes | ■ No   |
| <ul> <li>Are power, water, sewer and telecommunication services readily available to the</li> </ul>   | w res          | □ INO  |
| site?   | Yes            | □ No   |
| Please justify your answers below:  | 103            | □ 1 <b>10</b>  |
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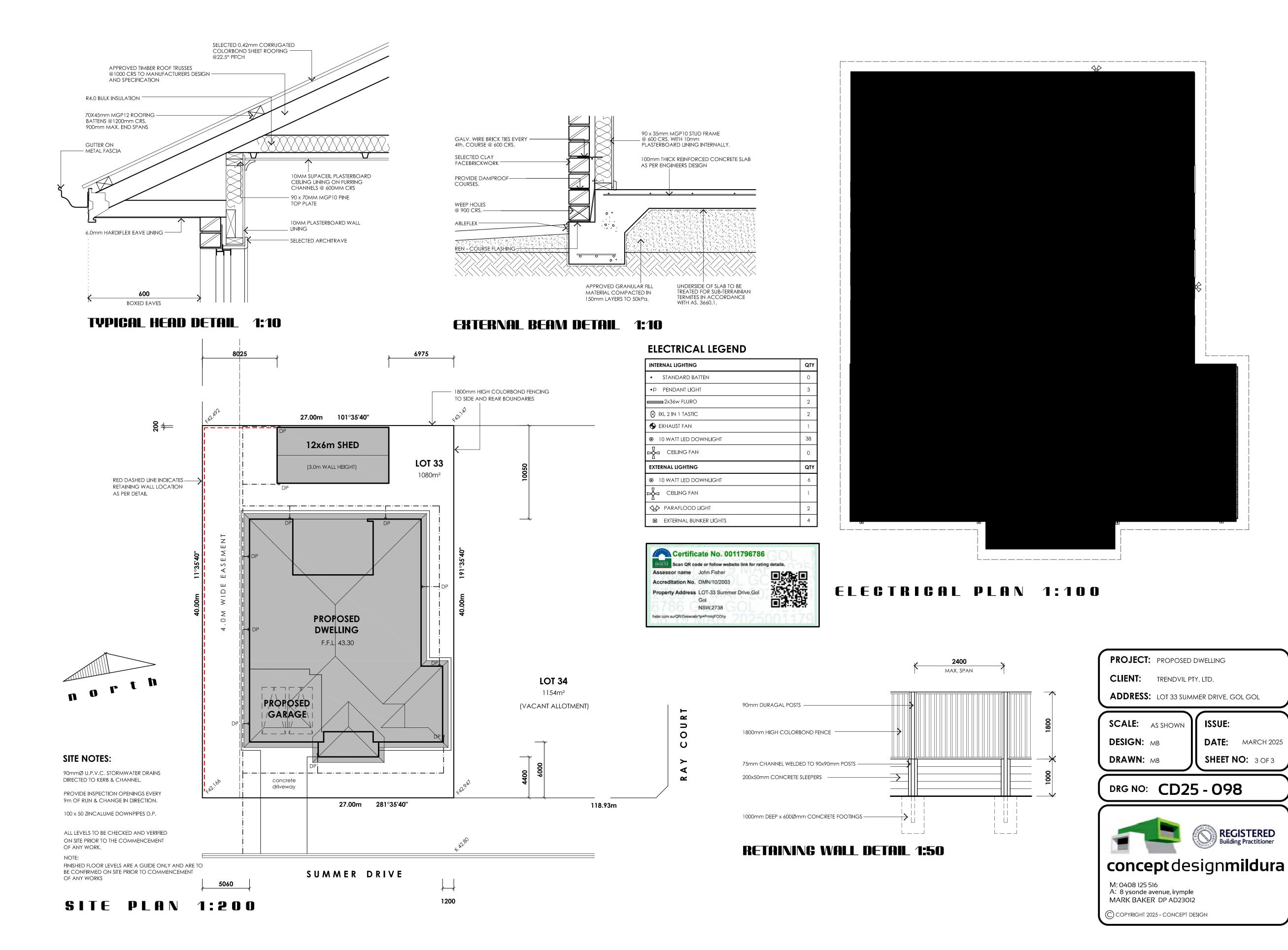
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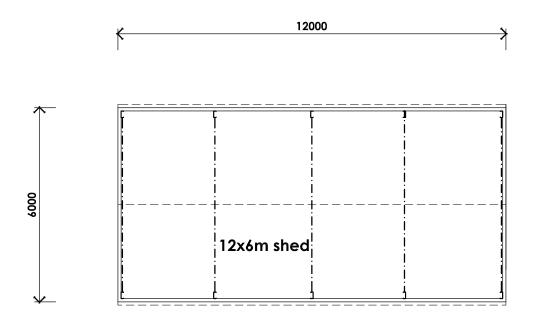
| ENVIRONMENTAL IMPACTS   |                |                                 |
|---|----------------|---------------------------------|
| <ul> <li>Is the development likely to result in any form of air pollution (smoke, dust, odour<br/>etc.)?</li> </ul>   | ☐ Yes          | No                              |
| Does the development have the potential to result in any form of water pollution (eg. sediment run-off)?      Will the development have any poise impacts above background noise levels (eg.          | ☐ Yes          | No                              |
| <ul> <li>Will the development have any noise impacts above background noise levels (eg. swimming pool pumps)?</li> <li>Does the development involve any significant excavation or filling?</li> </ul> | ☐ Yes<br>☐ Yes | No<br>No                        |
| <ul> <li>Could the development cause erosion or sediment run-off (including during the<br/>construction period)?</li> </ul>   | □ Yes          | ■ No                            |
| <ul> <li>Is there any likelihood in the development resulting in soil contamination?</li> <li>Is the development considered to be environmentally sustainable (including</li> </ul>                   | ☐ Yes          | No                              |
| <ul> <li>provision of BASIX certificate where required)?</li> <li>Is the development situated in a heritage area or likely to have an impact on any</li> </ul>  | Yes            | □ No                            |
| <ul><li>heritage item or item of cultural significance?</li><li>Is the development likely to disturb any aboriginal artefacts or relics?</li></ul>  | ☐ Yes<br>☐ Yes | <ul><li>No</li><li>No</li></ul> |
| Please justify your answers below:  |                |                                 |
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| FLORA AND FAUNA IMPACTS   |                |                                 |
| <ul> <li>Will the development result in the removal of any native vegetation from the site?</li> <li>Is the development likely to have any impact on threatened species or native habitat?</li> </ul> | ☐ Yes<br>☐ Yes | ₩ No<br>₩ No                    |
| For further information on threatened species, visit <a href="www.threatenedspecies.environment.">www.threatenedspecies.environment.</a><br>Please justify your answers below:                        | nsw.gov.au     |                                 |
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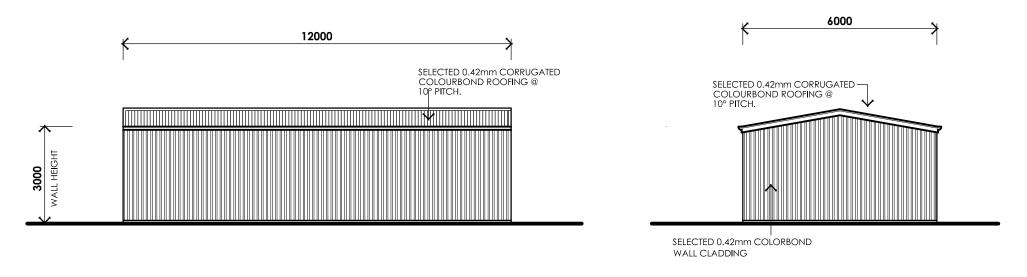
| WASTE AND STORMWATER DISPOSAL   |                |             |
|---|----------------|-------------|
| How will effluent be disposed of?   |                |             |
| ▼ To Sewer  □ Onsite  |                |             |
| How will stormwater (from roof and hard standing) be disposed of:                 |                |             |
| ▼ Council Drainage System □ Other (please provide details)                        | □ v            | - No        |
| Will liquid trade waste be discharged to Council's sewer?                         | ☐ Yes<br>☐ Yes | No No       |
| Will the development result in any hazardous waste or other waste disposal issue? |                | No No       |
| Does the development propose to have rainwater tanks?                             | ☐ Yes          | ₩ NO        |
| Have all potential overland stormwater risks been considered in the design of the | Yes            | □ No        |
| development?  | ₩ fes          |             |
| Please justify your answers below:  |                |             |
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| SOCIAL AND ECONOMIC IMPACTS   |                |             |
| SOCIAL AND ECONOMIC IMPACTS   |                |             |
| Will the proposal have any economic or social consequences in the area?           | ☐ Yes          | <b>™</b> No |
| Has the development addressed any safety, security or crime prevention issues?    | Yes            | ☐ No        |
| Please justify your answers below:  |                |             |
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| CONCLUSION  |                |             |
| Cumulative effects of all factors.  |                |             |
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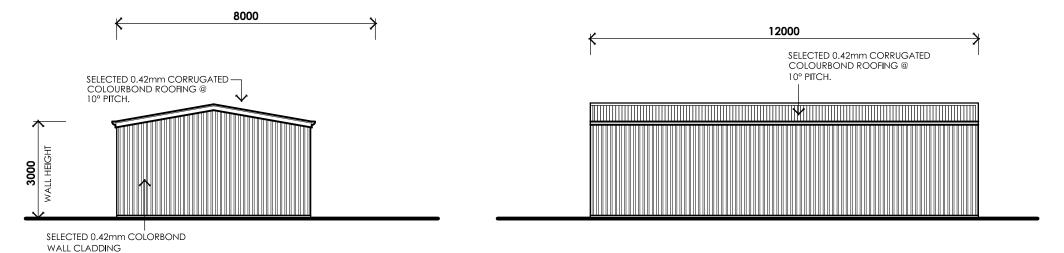


FLOOR PLAN 1:100



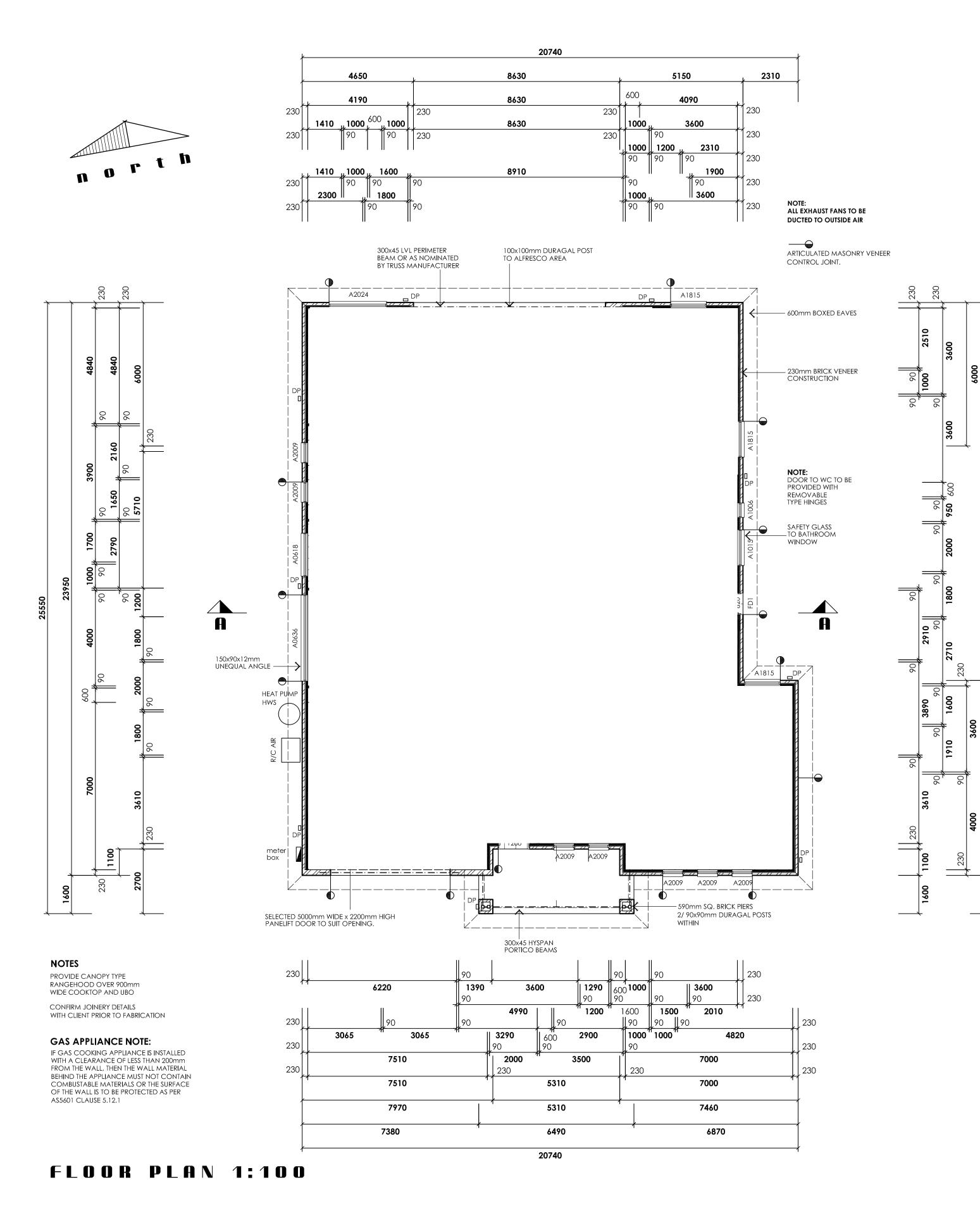
## SIDE ELEVATION 1:100

## END ELEVATION 1:100



END ELEVATION 1:100

SIDE ELEVATION 1:100



general notes:

- ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, STATE BUILDING REGULATIONS & LOCAL AUTHORITY REQUIREMENTS.
- CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS.
- 3. FIGURED DIMENSIONS HAVE PREFERENCE TO SCALE.
- PLANS SHALL BE READ IN CONJUCTION WITH PROJECT SPECIFICATIONS & ATTACHED DOCUMENTATION.
- 5. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE BUILDING IS WITHIN THE

DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE IS SHOWN CORRECT.

- IT IS THE BUILDERS RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY SERVICES
  WHICH MAY HINDER CONSTRUCTION OR CAUSE ALTERATIONS TO DESIGN
  BEFORE COMMENCING ANY WORK.
- 7. S DENOTES SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH AS 3786 2014. AND MUST BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- 8. DENOTES ARTICULATION JOINT TO BE CONSTRUCTED IN ACCORDANCE WITH CACA TECHNICAL NOTE 61.
- GLAZING TO COMPLY WITH 1288 2021 "GLASS IN BUILDINGS SELECTION & INSTALLATION".
- 10. OVERFLOW RELIEF GULLY REQUIREMENTS ARE TO COMPLY WITH AS 3500.2 -
- 2021 "SANITARY PLUMBING & SANITARY DRAINAGE"
- SOLID FUEL COMBUSTION HEATERS ARE TO INSTALLED IN ACCORDANCE WITH AS 2918 - 2018 "DOMESTIC SOLID FUEL".
- 12. WATERPROOFING IS TO BE INSTALLED IN ACCORDANCE WITH A.S. 3740-2021 "WATERPROOFING OF DOMESTIC WET AREAS

#### window schedule

| NO. | serall no. | frame S <b>I</b> ZE | QTY. | U-VALUE | SHGC | LINTEL SIZE |
|-----|------------|---------------------|------|---------|------|-------------|
| W1  | A2009      | 2000x850            | 7    | 4.9     | 0.53 | AS PER      |
| W2  | A1815      | 1800x1450           | 3    | 4.9     | 0.53 | TRUSS       |
| W3  | A1015      | 1000x1450           | 1    | 4.9     | 0.53 | MAN.        |
| W4  | A1006      | 1000x610            | 1    | 4.9     | 0.53 | DETAILS     |
| W5  | A2024      | 2000x2410           | 1    | 4.9     | 0.53 |             |
| W6  | A0618      | 600x1810            | 1    | 4.9     | 0.53 |             |
| W7  | A0636      | 600x3610            | 1    | 4.9     | 0.53 |             |
|     |            |                     |      |         |      |             |
| SD1 | SD2460     | 2340x6000           | 1    | 3.4     | 0.57 |             |
| FD1 | 820D       | 2040x820            | 1    | 4.6     | 0.48 |             |

#### WINDOW TYPE:

ALUMINIUM AWNING AND SLIDING , POWDER COAT FINISH AS PER U-VALUES AND SHGC LISTED

#### WIND LOADS FOR HOUSING:

IN ACCORDANCE WITH TABLE 2.2 A.S 4055 - 2006 REGION: A

TERRAIN CATEGORY: T.C 3.0

TOPOGRAPHIC CLASS: T1

SHIELDING CLASS: P.S

WIND CLASS N1

## BUSHFIRE ATTACK LEVEL: NO BAL REQUIREMENTS FOR THIS SITE

AREAS:

DWELLING 179.11m2 19.3 sq.

GARAGE 40.06m2

ALFRESCO 27.36m2
PORTICO 8.40m2

TOTAL 254.53m2 27.4 sq.

**PROJECT:** PROPOSED DWELLING

**CLIENT:** TRENDVIL PTY. LTD.

ADDRESS: LOT 33 SUMMER DRIVE, GOL GOL

SCALE: AS SHOWN

DESIGN: MB

DATE: MARCH 2025

SHEET NO: 1 OF 3

DRG NO: CD25 - 098



# **concept** design**mildura**

A: 8 ysonde avenue, irymple MARK BAKER DP AD23012

C COPYRIGHT 2025 - CONCEPT DESIGN

M: 0408 125 516

BASIX REQUIREMENTS: CERT. No. 1788024S

Certificate No. 0011796786

Property Address LOT-33 Summer Drive, Gol

NSW,2738

Accreditation No. DMN/10/2003

hstar.com.au/QR/Generate?p=PmmjFCOhy

### WATER COMMITMENTS

PROVIDE SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR.

PROVIDE TOILET FLUSHING SYSTEMS WITH A MINIMUM RATING OF 4 STAR.

PROVIDE TAPS TO KITCHEN WITH A MINIMUM RATING OF 4 STAR.

PROVIDE TAPS TO ALL BASINS IN BATHROOMS WITH A MINIMUM RATING OF 4 STAR

ENERGY COMMITMENTS

HOT WATER: PROVIDE SOLAR HOT WATER SERVICE (ELECTRIC BOOST) WITH A

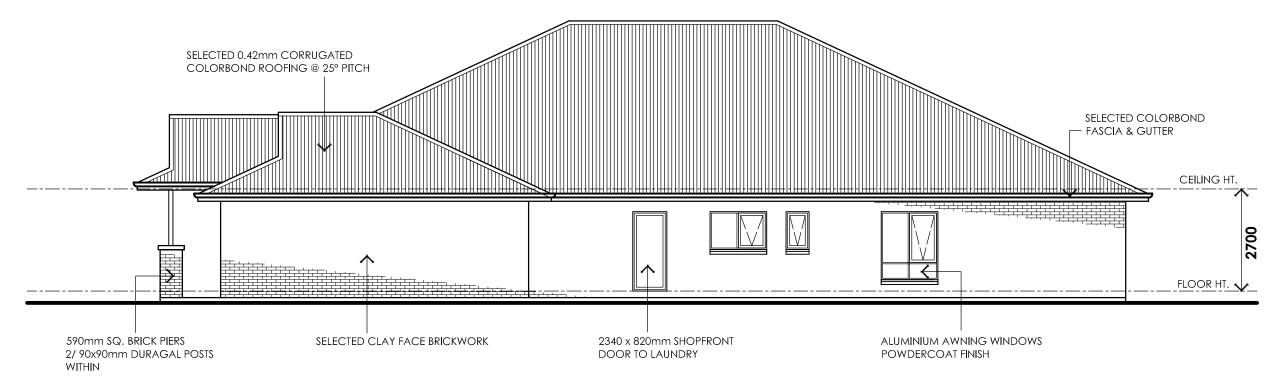
PERFORMANCE OF 31 TO 35 STCS OR BETTER.

COOLING/ HEATING SYSTEM: PROVIDE THREE PHASE REVERSE CYCLE SYSTEM ENERGY RATING OF EER 3.5 - 4.0, ALSO MUST PROVIDE DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

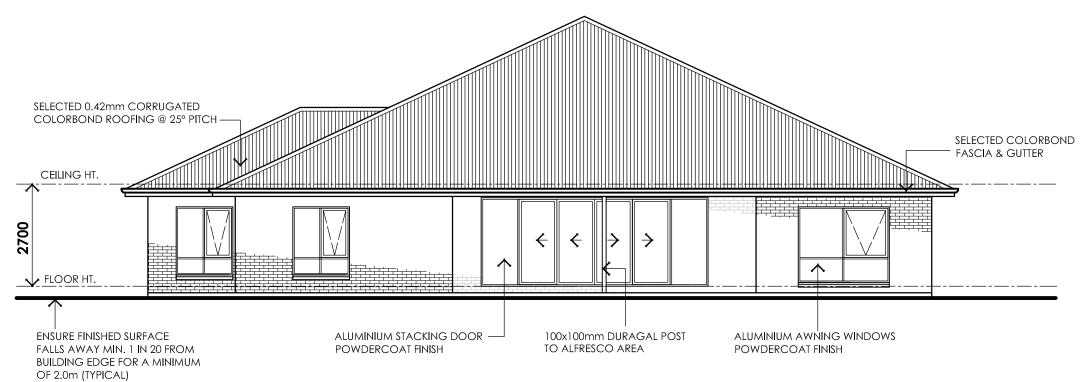
### THERMAL COMFORT COMMITMENTS

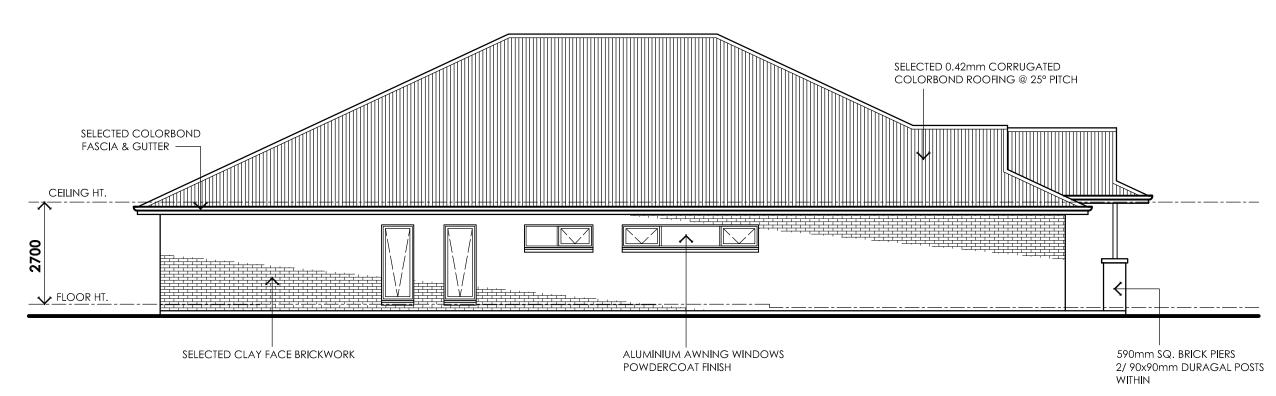
INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (INCL. GARAGE)
INSTALL R2.5 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALLS





EAST ELEVATION 1:100

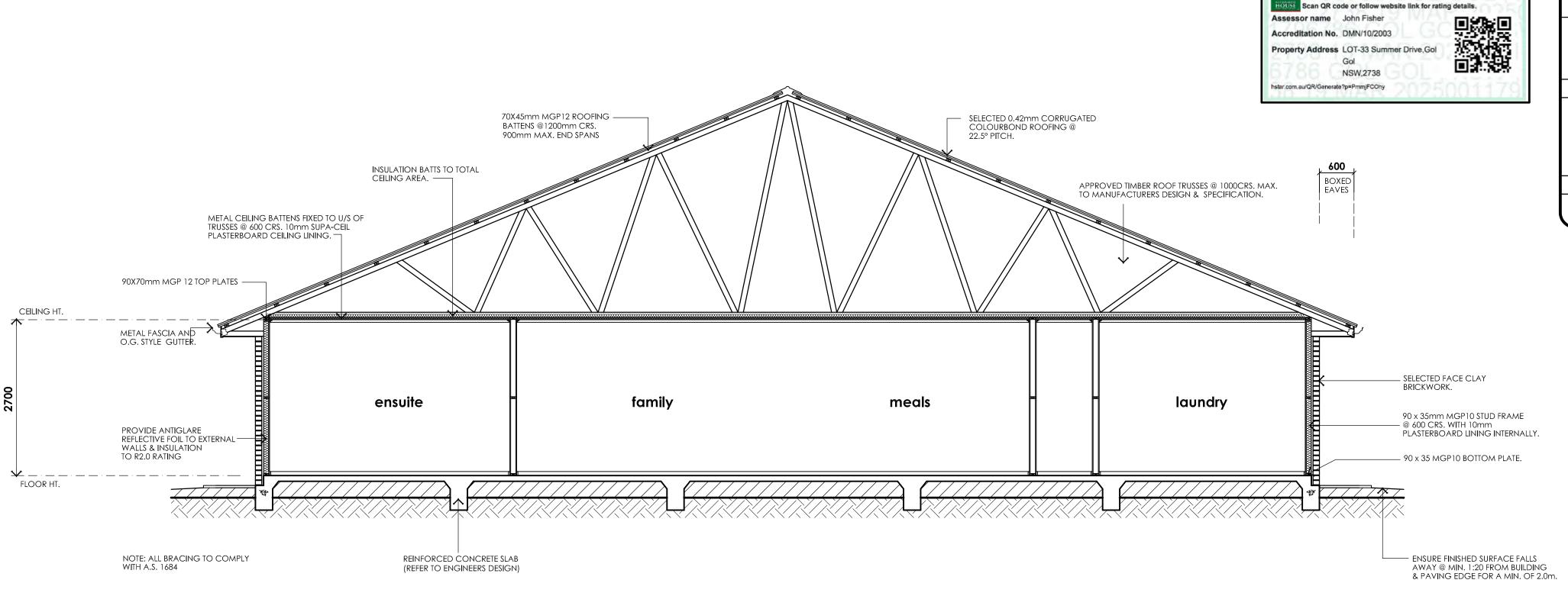




NORTH ELEVATION 1:100

WEST ELEVATION 1:100

Certificate No. 0011796786



WATER COMMITMENTS PROVIDE SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR. PROVIDE TOILET FLUSHING SYSTEMS WITH A MINIMUM RATING OF 4 STAR. PROVIDE TAPS TO KITCHEN WITH A MINIMUM RATING OF 4 STAR. PROVIDE TAPS TO ALL BASINS IN BATHROOMS WITH A MINIMUM RATING OF 4 STAR ENERGY COMMITMENTS HOT WATER: PROVIDE SOLAR HOT WATER SERVICE (ELECTRIC BOOST) WITH A PERFORMANCE OF 36 TO 40 RECS OR BETTER. COOLING/ HEATING SYSTEM: PROVIDE THREE PHASE REVERSE CYCLE SYSTEM ENERGY RATING OF EER 3.5 - 4.0, ALSO MUST PROVIDE DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS THERMAL COMFORT COMMITMENTS INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (NO GARAGE) INSTALL R2.5 BATTS TO EXTERNAL WALLS OF HABITABLE AREA **PROJECT:** PROPOSED DWELLING **CLIENT:** TRENDVIL PTY. LTD.

BASIX REQUIREMENTS: CERT. No. ?

SCALE: AS SHOWN
DESIGN: MB
DRAWN: MB
ISSUE:
DATE: MARCH 2025
SHEET NO: 2 OF 3

**ADDRESS:** LOT 33 SUMMER DRIVE, GOL GOL

DRG NO: CD25 - 098



TYPICAL SECTION A - A 1:50