

Statement of Environmental Effects

Attachment C to the Development Application

made under the Environmental Planning & Assessment Regulation 2000

INTRODUCTION

To assist Council in assessing your development application, in accordance with relevant legislative requirements, it is necessary for you to answer the following questions and provide justification of your responses. These questions relate to common matters that need to be addressed in order to mitigate potential impacts resulting from your development.

Please note: Incomplete or insufficient information may lead to your application be delayed or rejected.

PERMISSIBILITY

- | | | |
|--|---|-----------------------------|
| • Is your proposal permissible in the zone? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is your proposal consistent with the zone objectives? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is your proposal in accordance with the relevant development control plan? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |

If you answered "No" to any of the above, you should make an appointment to discuss your proposal with a member of the Health & Planning Division before lodging a development application.

Please justify your answers below:

DESCRIPTION OF DEVELOPMENT

This needs to include where applicable a description of matters such as proposed buildings, proposed building materials, nominated colour scheme, nature of use, staging of the development details of any demolition and other works etc.

DESCRIPTION OF SITE

1. Describe the site including any physical features of the site such as shape, slope, vegetation, any waterways. Also describe the current use/s on the site.

2. What is the present use and previous uses of the site?

3. Is the development site subject to any of the following natural hazards: (e.g. bushfire prone, salinity, flooding or stormwater inundation etc.)

4. What other constraints exist on the site? (e.g. vegetation, easements, sloping land, drainage lines contamination, etc.)

5. What types of land use and development exist on surrounding land?

CONTEXT AND SETTING

- Will the development be:
 - Visually prominent in the surrounding area? ☐ Yes ☒ No
 - Inconsistent with the existing streetscape? ☐ Yes ☒ No
 - Out of character with the surrounding area? ☐ Yes ☒ No
 - Inconsistent with surrounding land uses? ☐ Yes ☒ No

Please justify your answers below:

PRIVACY, VIEWS AND OVERSHADOWING

- Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space, etc.? ☐ Yes ☒ No
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? ☐ Yes ☒ No
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners and pumps, bedroom and living room windows, etc.? ☐ Yes ☒ No
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks roads and footpaths? ☐ Yes ☒ No

Please justify your answers below:

ACCESS, TRAFFIC AND UTILITIES

- Is legal and practical access available to the development? ☒ Yes ☐ No
- Will the development increase local traffic movements / volumes?
If yes, by how much? ☐ Yes ☒ No
- Are additional access points to a road network required? ☐ Yes ☒ No
- Has vehicle manoeuvring and onsite parking been addressed in the design? ☒ Yes ☐ No
- Are power, water, sewer and telecommunication services readily available to the site? ☒ Yes ☐ No

Please justify your answers below:

ENVIRONMENTAL IMPACTS

- | | | |
|---|---|--|
| • Is the development likely to result in any form of air pollution (smoke, dust, odour etc.)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Does the development have the potential to result in any form of water pollution (eg. sediment run-off)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Will the development have any noise impacts above background noise levels (eg. swimming pool pumps)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Does the development involve any significant excavation or filling? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Could the development cause erosion or sediment run-off (including during the construction period)? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is there any likelihood in the development resulting in soil contamination? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development considered to be environmentally sustainable (including provision of BASIX certificate where required)? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Is the development situated in a heritage area or likely to have an impact on any heritage item or item of cultural significance? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development likely to disturb any aboriginal artefacts or relics? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

Please justify your answers below:

FLORA AND FAUNA IMPACTS

- | | | |
|---|------------------------------|--|
| • Will the development result in the removal of any native vegetation from the site? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| • Is the development likely to have any impact on threatened species or native habitat? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

For further information on threatened species, visit www.threatenedspecies.environment.nsw.gov.au

Please justify your answers below:

WASTE AND STORMWATER DISPOSAL

- How will effluent be disposed of?
☒ To Sewer ☐ Onsite
- How will stormwater (from roof and hard standing) be disposed of:
☒ Council Drainage System ☐ Other (please provide details)
- Will liquid trade waste be discharged to Council's sewer? ☐ Yes ☒ No
- Will the development result in any hazardous waste or other waste disposal issue? ☐ Yes ☒ No
- Does the development propose to have rainwater tanks? ☐ Yes ☒ No
- Have all potential overland stormwater risks been considered in the design of the development? ☒ Yes ☐ No

Please justify your answers below:

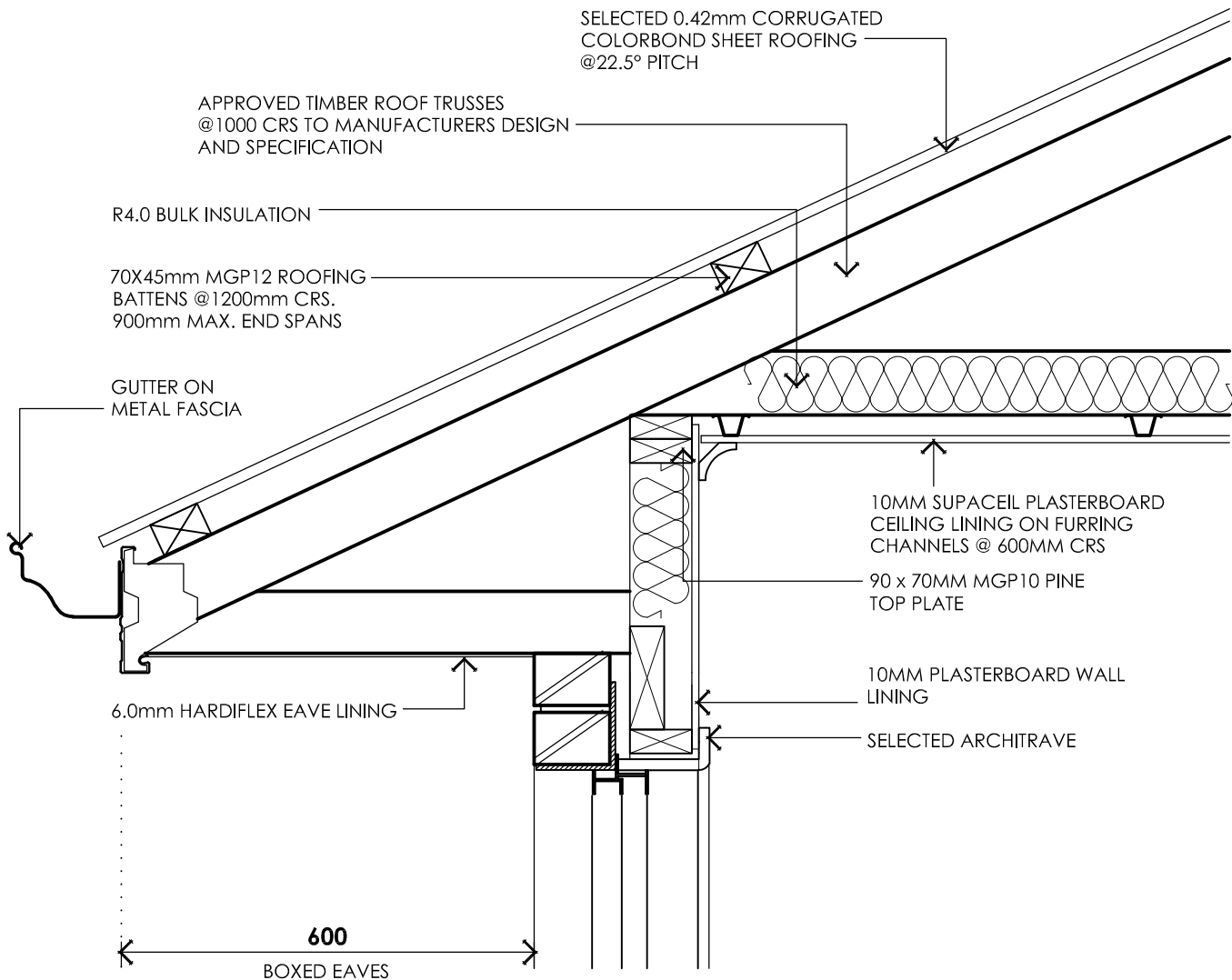
SOCIAL AND ECONOMIC IMPACTS

- Will the proposal have any economic or social consequences in the area? ☐ Yes ☒ No
- Has the development addressed any safety, security or crime prevention issues? ☒ Yes ☐ No

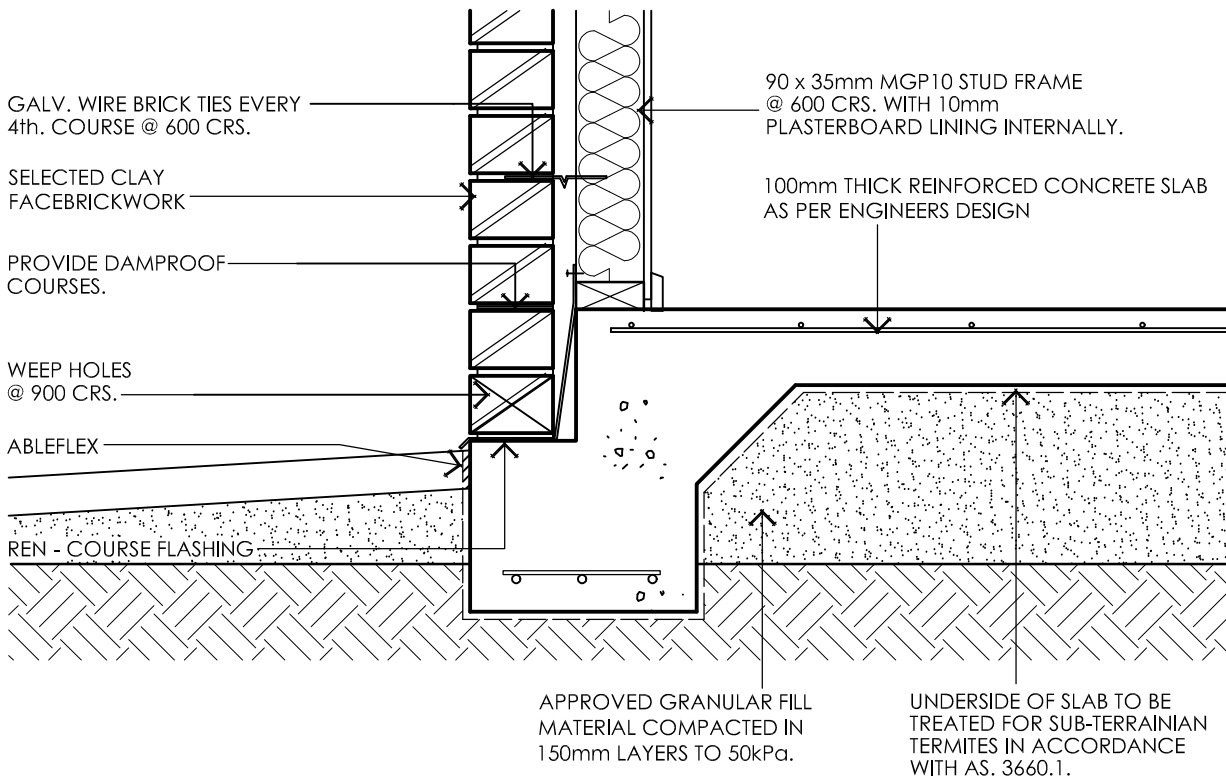
Please justify your answers below:

CONCLUSION

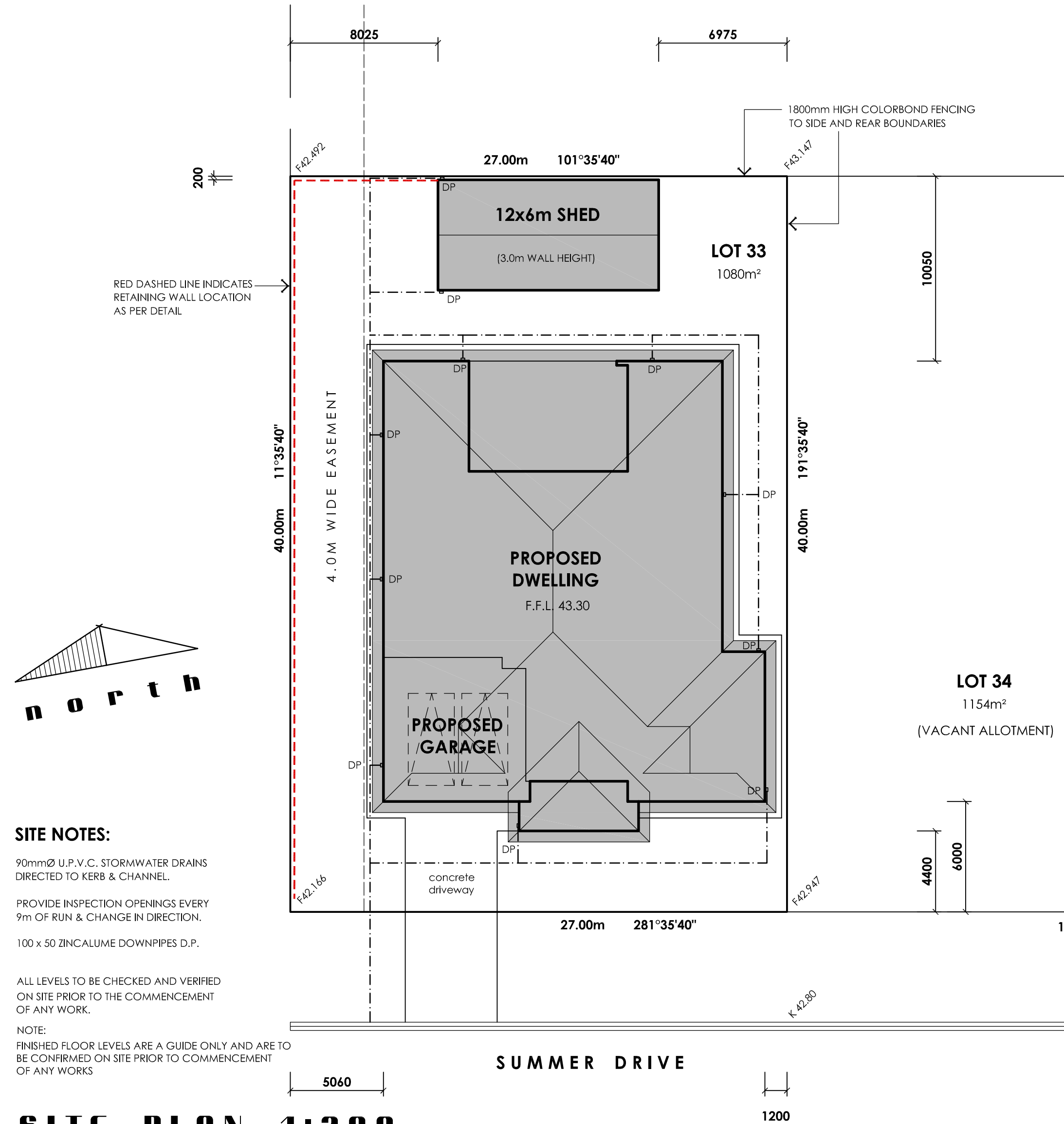
Cumulative effects of all factors.



TYPICAL HEAD DETAIL 1:10



EXTERNAL BEAM DETAIL 1:10



SITE NOTES:

90mmØ U.P.V.C. STORMWATER DRAINS DIRECTED TO KERB & CHANNEL.

PROVIDE INSPECTION OPENINGS EVERY 9m OF RUN & CHANGE IN DIRECTION.

100 x 50 ZINCALUME DOWNPIPES D.P.

ALL LEVELS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOTE:
FINISHED FLOOR LEVELS ARE A GUIDE ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS

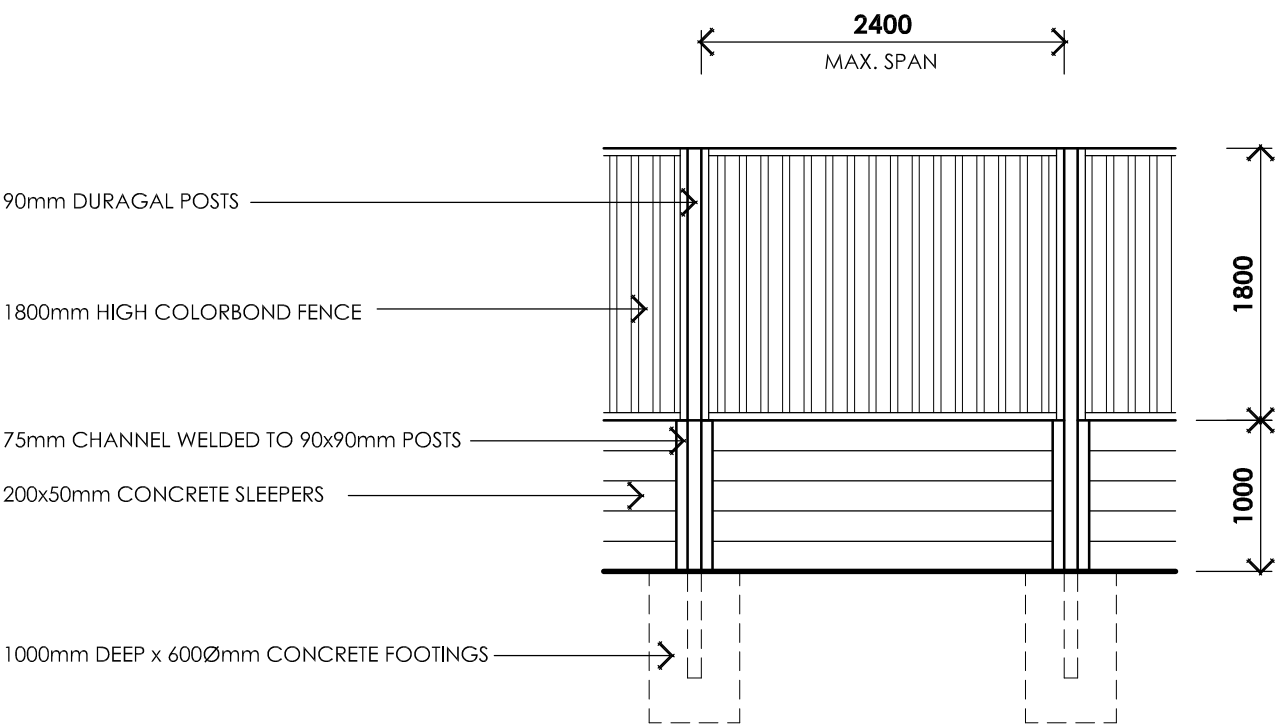
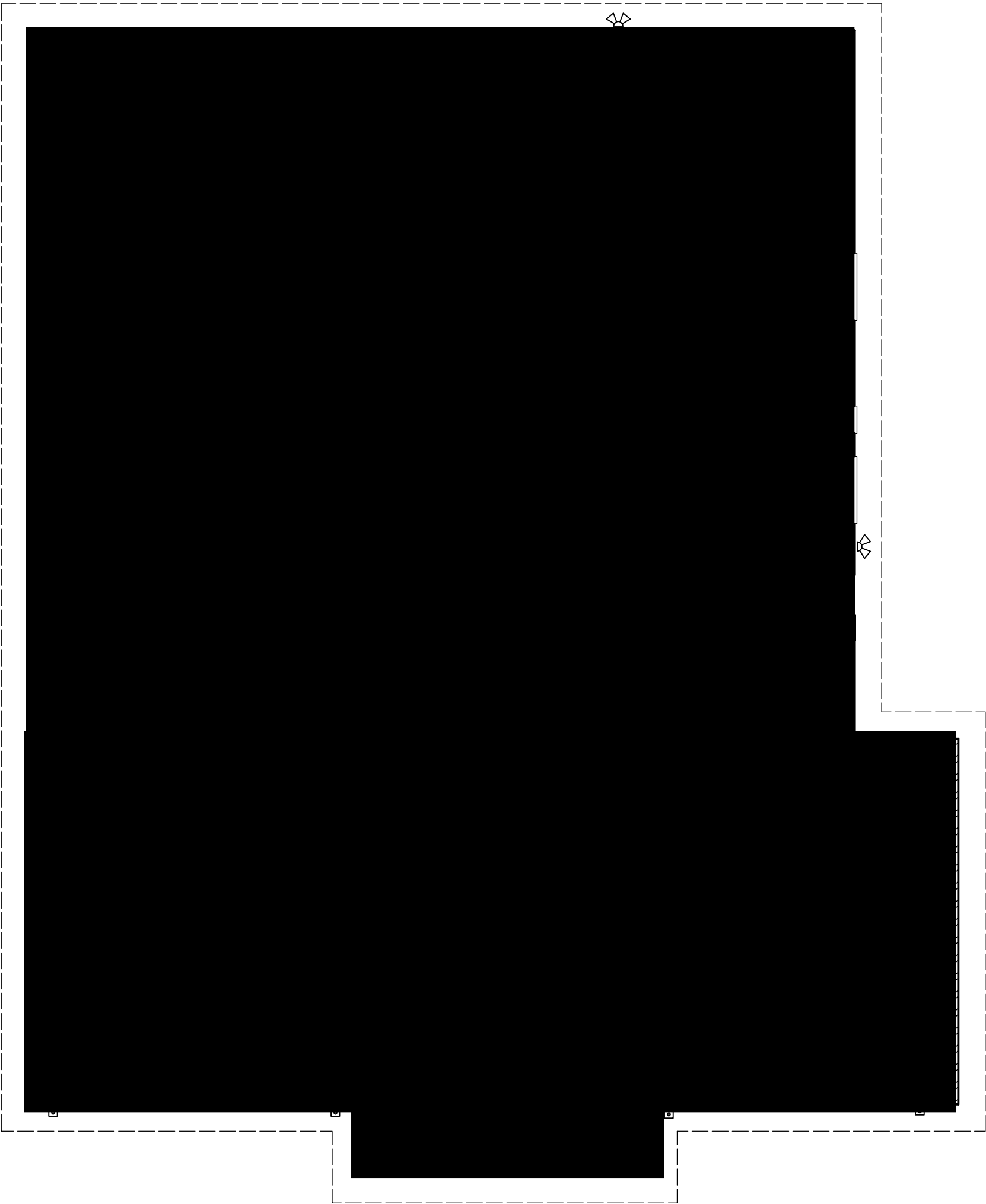
SITE PLAN 1:200

ELECTRICAL LEGEND

INTERNAL LIGHTING	QTY
• STANDARD BATTEN	0
• P PENDANT LIGHT	3
≡ 2x36w FLURO	2
⊙ IXL 2 IN 1 TASTIC	2
⊙ EXHAUST FAN	1
⊙ 10 WATT LED DOWNLIGHT	38
⊕ CEILING FAN	0
EXTERNAL LIGHTING	QTY
⊙ 10 WATT LED DOWNLIGHT	6
⊕ CEILING FAN	1
⊙ PARAFLOOD LIGHT	2
⊙ EXTERNAL BUNKER LIGHTS	4



ELECTRICAL PLAN 1:100



RETAINING WALL DETAIL 1:50

PROJECT: PROPOSED DWELLING

CLIENT: TRENDVIL PTY. LTD.

ADDRESS: LOT 33 SUMMER DRIVE, GOL GOL

SCALE: AS SHOWN

DESIGN: MB

DRAWN: MB

ISSUE:

DATE: MARCH 2025

SHEET NO: 3 OF 3

DRG NO: CD25 - 098

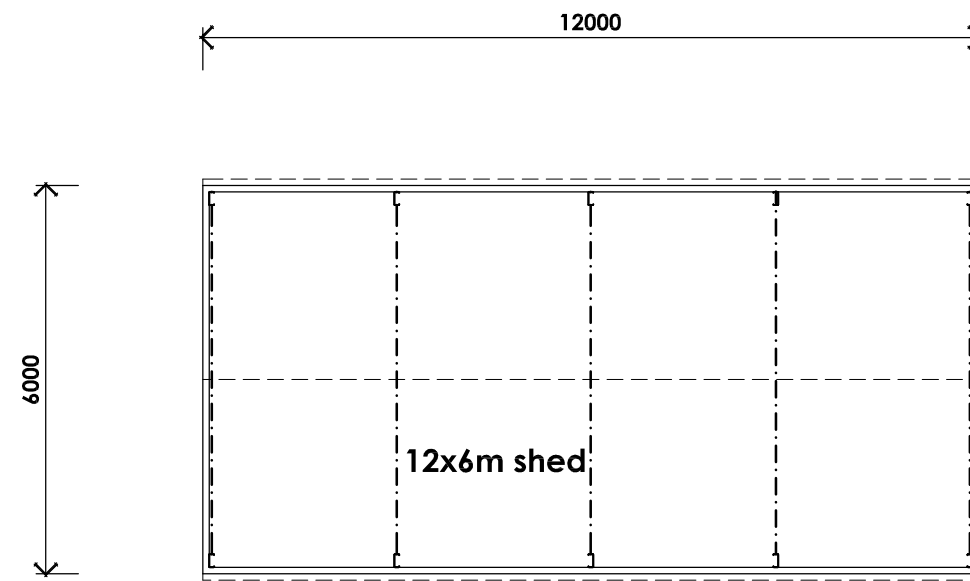


REGISTERED
Building Practitioner

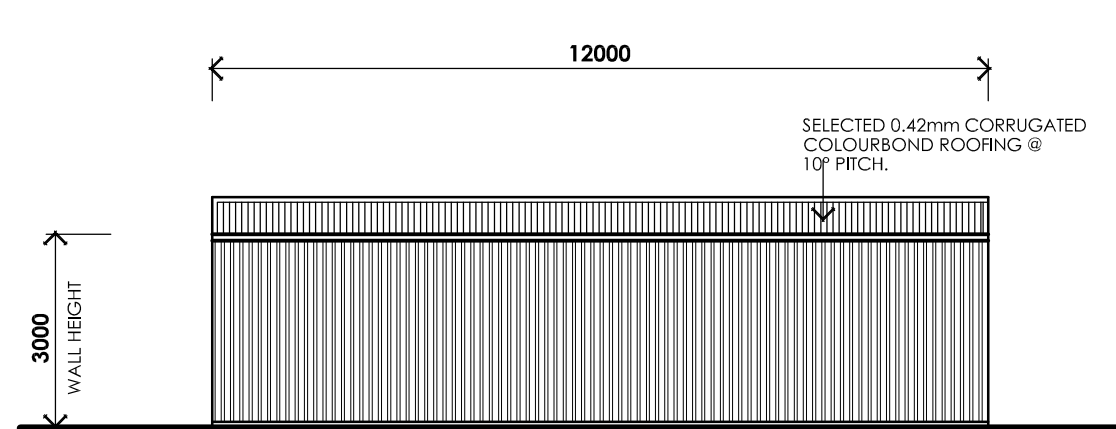
concept designmildura

M: 0408 125 516
A: 8 ysonde avenue, irymple
MARK BAKER DP AD23012

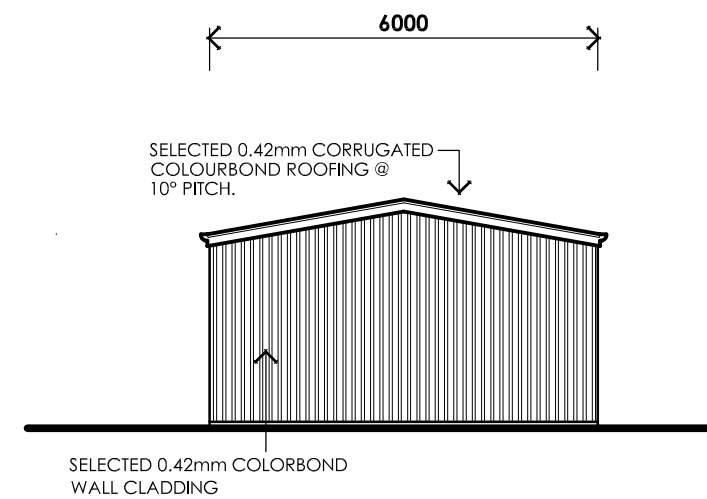
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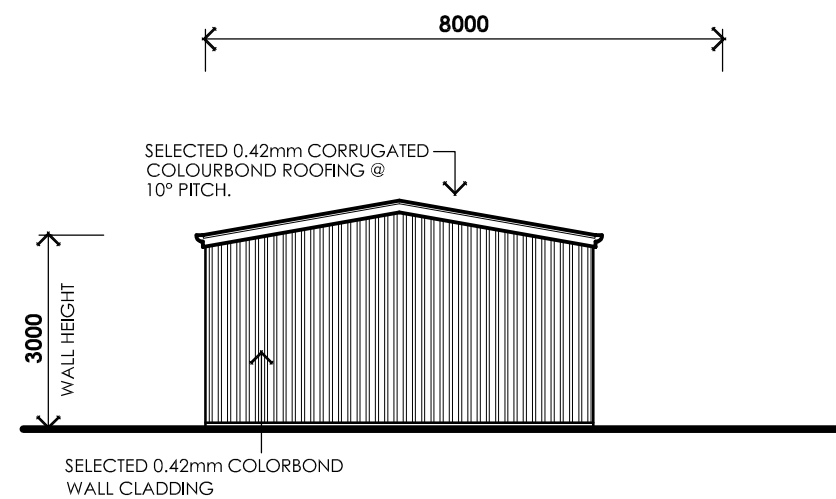
FLOOR PLAN 1:100



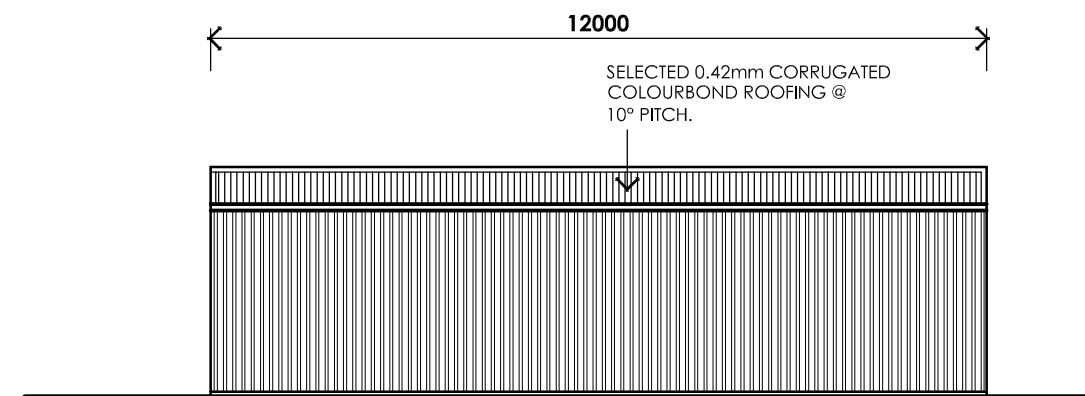
SIDE ELEVATION 1:100



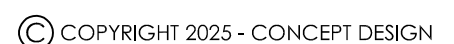
END ELEVATION 1:100

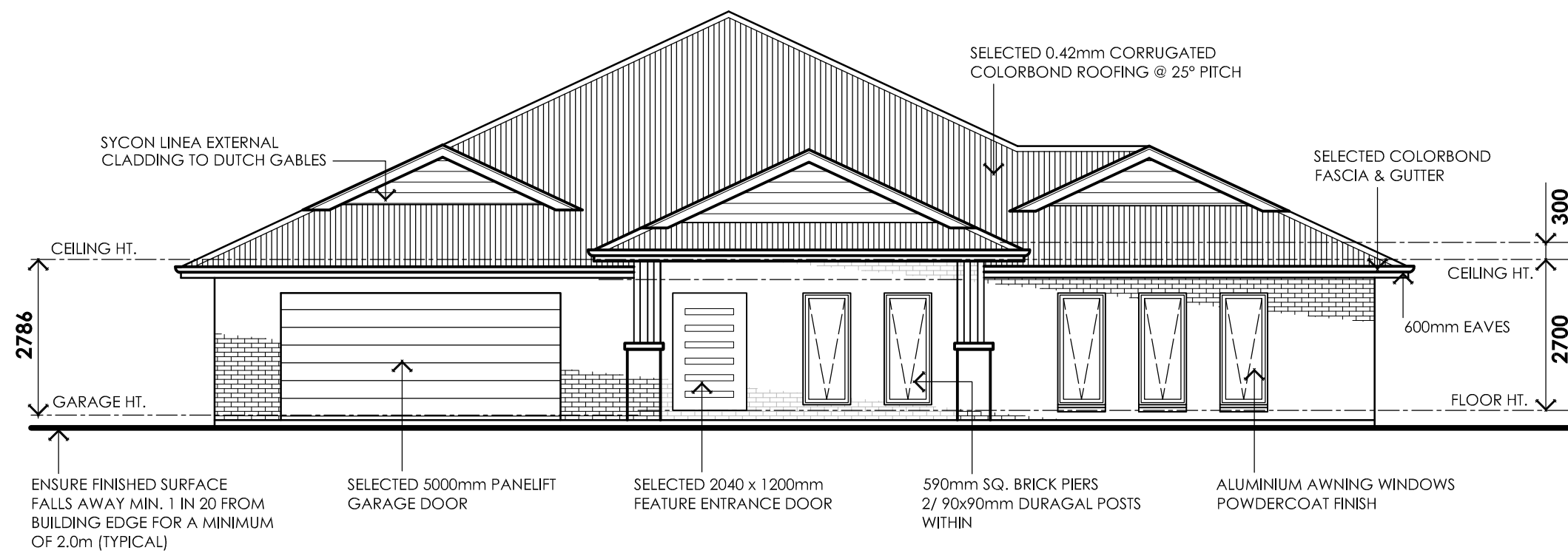


END ELEVATION 1:100



SIDE ELEVATION 1:100

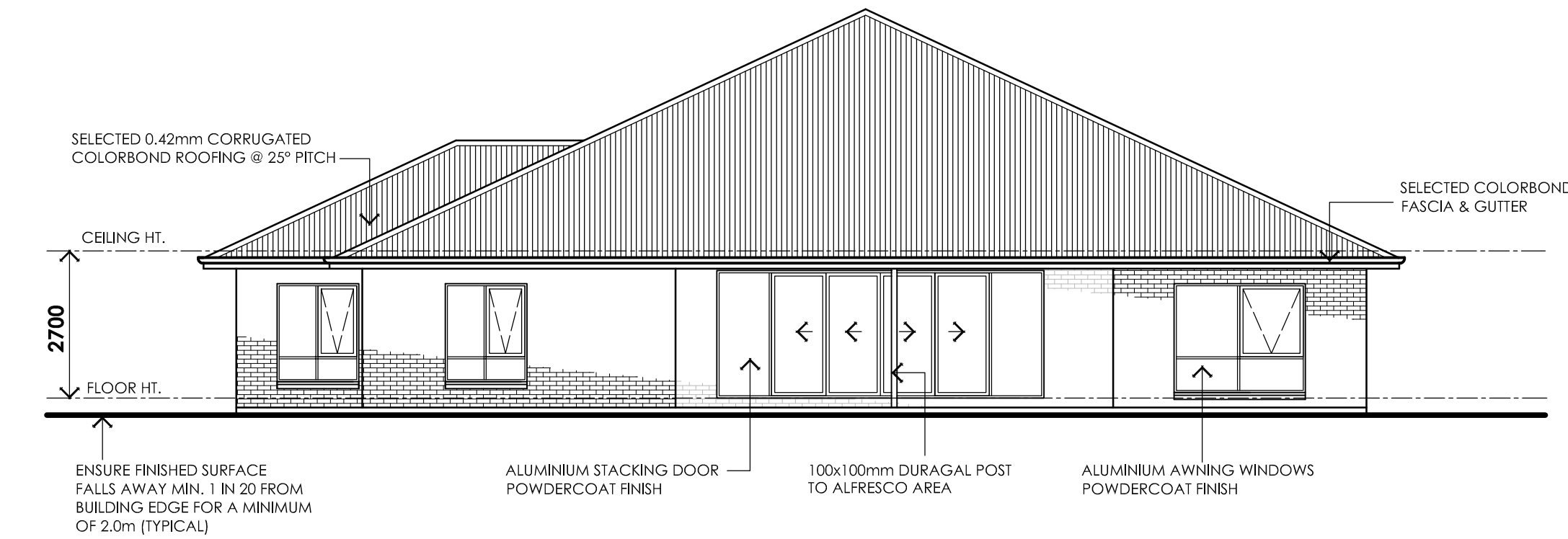




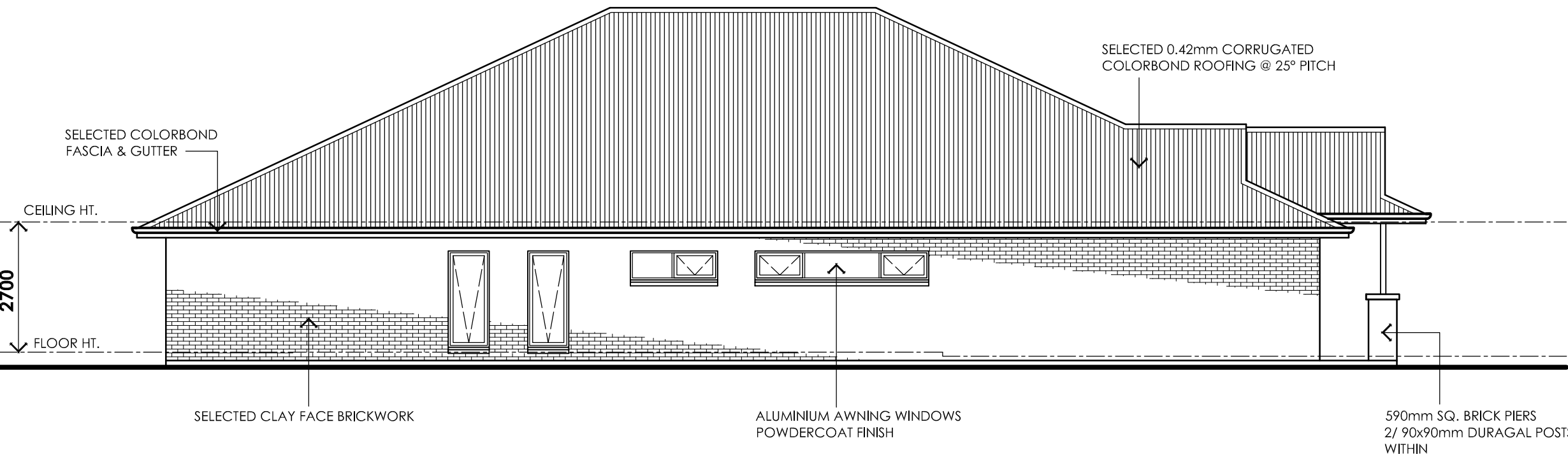
SOUTH ELEVATION 1:100



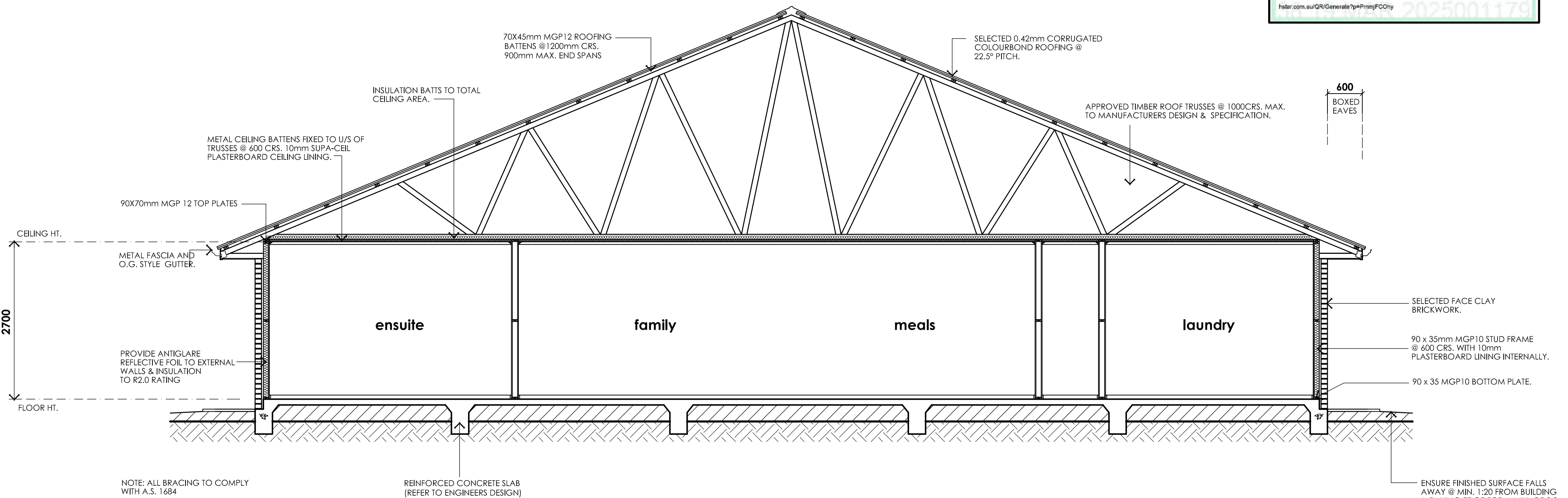
EAST ELEVATION 1:100



NORTH ELEVATION 1:100



WEST ELEVATION 1:100



TYPICAL SECTION A - A 1:50



BASIX REQUIREMENTS:	CERT. No. ?
WATER COMMITMENTS	
PROVIDE SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR.	
PROVIDE TOILET FLUSHING SYSTEMS WITH A MINIMUM RATING OF 4 STAR.	
PROVIDE TAPS TO KITCHEN WITH A MINIMUM RATING OF 4 STAR.	
PROVIDE TAPS TO ALL BASINS IN BATHROOMS WITH A MINIMUM RATING OF 4 STAR.	
ENERGY COMMITMENTS	
HOT WATER: PROVIDE SOLAR HOT WATER SERVICE (ELECTRIC BOOST) WITH A PERFORMANCE OF 36 TO 40 RECS OR BETTER.	
COOLING/ HEATING SYSTEM: PROVIDE THREE PHASE REVERSE CYCLE SYSTEM ENERGY RATING OF EER 3.5 - 4.0. ALSO MUST PROVIDE DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS	
THERMAL COMFORT COMMITMENTS	
INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (NO GARAGE)	
INSTALL R2.5 BATTS TO EXTERNAL WALLS OF HABITABLE AREA	

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concept design mildura

M: 0408 125 516
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