

Planning Report

Dwelling and Outbuilding

46 Thomas Street,
Gol Gol, NSW, 2738

EXECUTIVE SUMMARY

Proposal	Construction of a Dwelling and Outbuilding
Street Address	46 Thomas Street, Gol Gol
Formal Land Description	Lot 4 in Deposited Plan 1298329
Zone	RU5 - Village
Relevant State Environmental Planning Policies	Nil

SUBJECT SITE AND SURROUNDING AREA

The subject site comprises one parcel of land commonly known as 46 Thomas Street, Gol Gol, and more formally as Lot 4 in Deposited Plan 1298329. The site is regular in shape and is relatively flat. It has an area of 939.71 square metres (sqm) and a frontage of 19.94 metres (m) to Thomas Street. All reticulated services are available given the land is located within an existing urban setting. No heritage or cultural sensitivities affect the land and there are no natural hazards or environmental sensitivities including native vegetation.

The site is situated within a newly developed residential subdivision, within the township of Gol Gol. The surrounding area is residential in nature and typically contain dwellings on similar sized allotments.

An aerial image of the site and surrounding area as well as site photos are contained on the following pages.

Aerial Image of the Site and Surrounding Area



Figure 1: Subject site and surrounding area (Source: Landchecker September 2024)

Site Photos



Figure 2: View of site from Thomas Street



Figure 3: Rear of the site

PROPOSAL

DESCRIPTION

This application is for the construction of a dwelling and outbuilding, as summarised under the following points:

- The dwelling is single storey and contains four bedrooms (master with WIR and ensuite), study, open plan kitchen, meals and family/dining area, butlers pantry, bathroom and separate WC, laundry, outdoor living area and double garage.
- The external appearance of the dwelling is finished with a variety of cladding types on the walls. The roof will be finished in a steel roof sheeting.
- The dwelling has a maximum height of 5.2m above natural ground.
- A 60m² outbuilding is also proposed at the rear of the site, having a total height of 5.03m.
- A new cross over will be utilised to provide access to the double garage.

PLANNING

CONTROLS AND ASSESSMENT

Wentworth Local Environmental Plan 2011 (LEP)

The Subject site is within the RU5 – Village

The objectives of the zone are:

- *To provide for a range of land uses, services and facilities that are associated with a rural village.*
- *To promote development in existing towns and villages in a manner that is compatible with their urban function.*
- *To encourage well-serviced sustainable development.*
- *To ensure there are opportunities for economic development.*
- *To deliver new residential and employment growth in Buronga and Gol Gol.*
- *To ensure business and retail land uses are grouped within and around existing activity centres.*

The proposed dwelling is located within a recently subdivided estate and will support the development of Gol Gol. The dwelling has been designed to meet sustainability targets and is appropriately located so as not to unreasonably impact on the adjoining land. As such, the proposal supports the objectives of the RU5 zone.

Wentworth Development Control Plan

5.1.1 Site Context and Analysis

The plans submitted with this application demonstrate how the proposed development responds to site specific conditions and the site has been described in detail previously in this report. The site does not have any specific constraints and the topography is relatively flat.

5.1.2 Streetscapes

The streetscape will be visually improved by allowing the proposed dwelling to be constructed. Due to the width of the lot, the dwelling design is not dominated by the proposed double garage. The width of the garage is less than 50% of the total dwelling width which is an objective sought by the DCP.

5.1.3 Front Setback

The dwelling is proposed to have a setback of 4.5 metres. While the proposed setback is 1.5 metres closer than the requirement; it is considered that most future dwellings located along this section of Thomas Street will have a similar setback due to the lot widths and required setbacks in the 3C Greenfield Housing Code.

5.1.4 Side setbacks and Corner Lot Setbacks

The dwelling is located 4.8m from the eastern boundary and 1 metre from the western boundary; thus meeting the control.

5.1.5 Rear setbacks

The dwelling is located 19.4 metres from the southern boundary; thus meeting the control. The shed is located 3 metres from the rear boundary, also meeting the requirements.

5.1.6. Walls on Boundaries

The shed is located 150mm from the boundary, this clause is applicable. The shed has a length of 10 metres, therefore being an acceptable length to be located along the boundary.

5.1.7 Building heights and overshadowing

The proposed dwelling is single story with a wall height of 5.2 metres. Overshadowing is not considered an issue when considering the size of the adjoining lots.

5.1.8 Site Coverage

The total site coverage for the dwelling and outbuilding is 45%, thus meeting the control.

5.1.9 Private Open Space

In excess of 40m² has been provided.

5.1.10 Energy Efficiency and Solar access

All habitable rooms have been located on the north, eastern and south-western sides of the dwelling, maximising on possible solar access.

5.1.11 Daylight to existing windows

Not applicable for this application.

5.1.12 North-facing windows

Not applicable for this application.

5.1.13 Overlooking

Not applicable for this application.

5.1.14 Fencing and Retaining Walls

Not applicable for this application.

5.1.15 Car Parking and Vehicle Access

A standard double garage is provided at the front of the site.

5.1.16 Cut and Fill

Due to the site being flat to accommodate residential development, minimal cut and fill is required for this development.

State Environmental Planning Policies (SEPP)

There are no SEPP's applicable to this application.

Assessment

Visual Impacts

Please refer to DCP assessment.

Open Space

Please refer to DCP assessment.

Overshadowing and Privacy

Please refer to DCP assessment.

Noise

This application is proposing a dwelling in a locality that only contains residential uses, excessive noise impacts are not envisaged from this development.

Erosion Control Measures

No erosion control measures are considered necessary for this development.

Economic and Social Impacts

Given the residential nature of this development, economic or social impacts on the locality are not envisaged.

Environmental Benefits

Due to the nature of this development, there are no significant environmental benefits predicted.

Disabled Access

Not applicable for this application.

Security, Site Facilities and Safety

Not applicable for this application.

Waste Management

Not applicable for this application

Building Code of Australia

The Construction Certificate will be issued by a Building Surveyor who will review the structures compliance with the Building Code of Australia.

Traffic

Traffic will not be impacted on from the proposed development.

Stormwater/flooding

The site is not subject to any identified natural hazards and stormwater will be directed to the legal point of discharge.

CONCLUSION

This report demonstrates that the proposal is consistent with the relevant provisions of the *Wentworth Local Environmental Plan 2011* and the Wentworth DCP.

The proposed development is appropriate for the site as it:

- Supports the objectives of the Zone RU5 - Village;
- Is appropriately located on the subject site;
- Will have an acceptable impact on the locality in terms of amenity and visual dominance; and
- Will not result in any detrimental impacts on the environment.

It is considered that the proposal is worthy of support, and it is therefore respectfully requested that the Wentworth Shire Council grant Development Consent for the construction of a dwelling and shed as described in this report at 46 Thomas Street, Gol Gol.

Note:

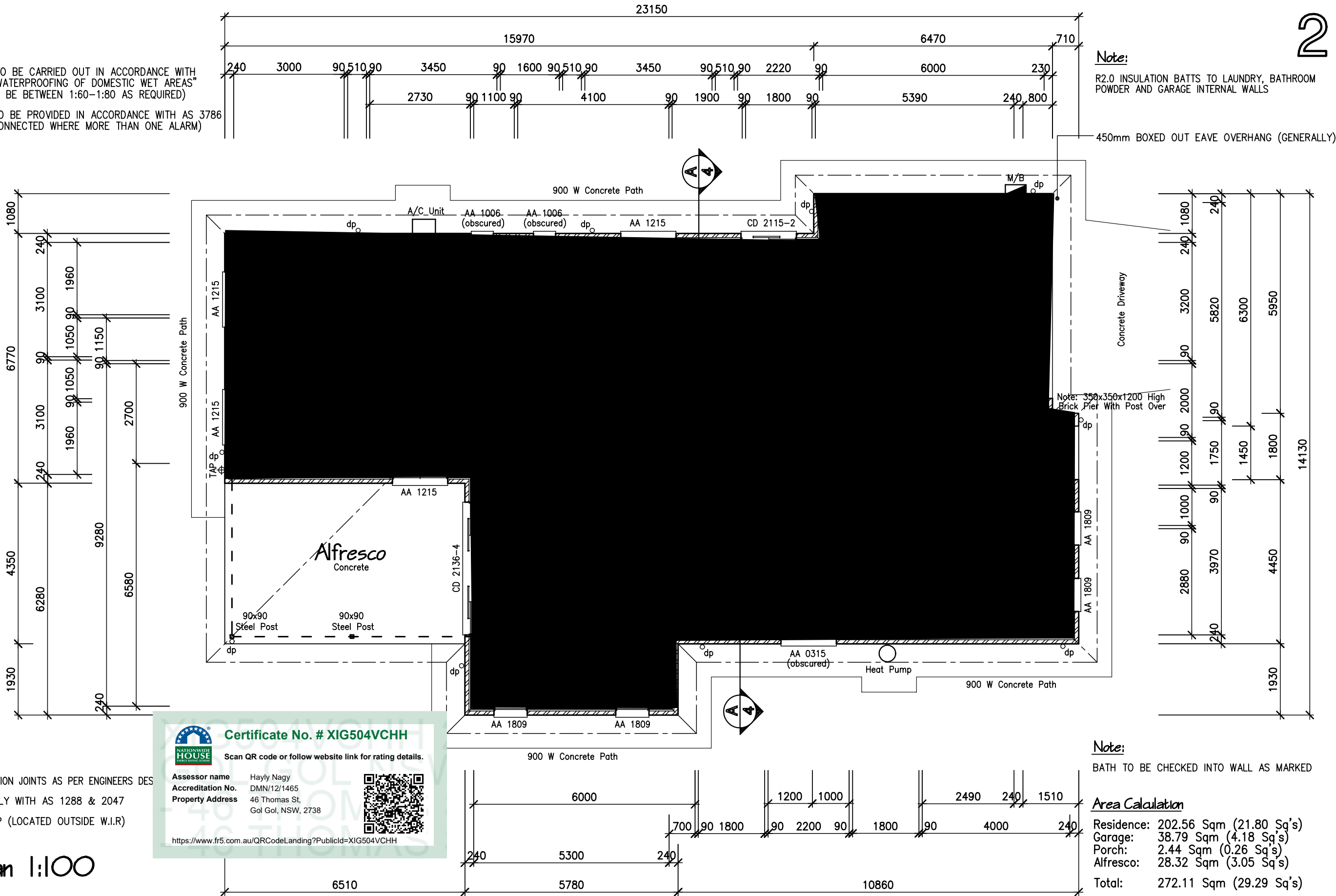
WATERPROOFING TO BE CARRIED OUT IN ACCORDANCE WITH AS 3740-2010 "WATERPROOFING OF DOMESTIC WET AREAS" (SHOWER FALL TO BE BETWEEN 1:60-1:80 AS REQUIRED)

SMOKE ALARMS TO BE PROVIDED IN ACCORDANCE WITH AS 3786 (MUST BE INTERCONNECTED WHERE MORE THAN ONE ALARM)

Note:

R2.0 INSULATION BATTS TO LAUNDRY, BATHROOM POWDER AND GARAGE INTERNAL WALLS

2



Note:

MASONRY ARTICULATION JOINTS AS PER ENGINEERS DES
GLAZING TO COMPLY WITH AS 1288 & 2047
RINNAI HEAT PUMP (LOCATED OUTSIDE W.I.R)

Note:

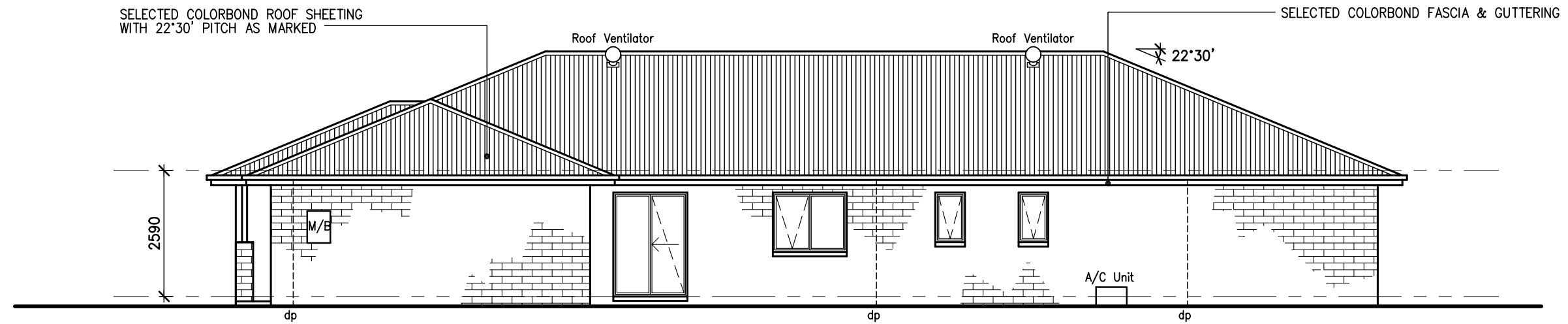
BATH TO BE CHECKED INTO WALL AS MARKED

Area Calculation

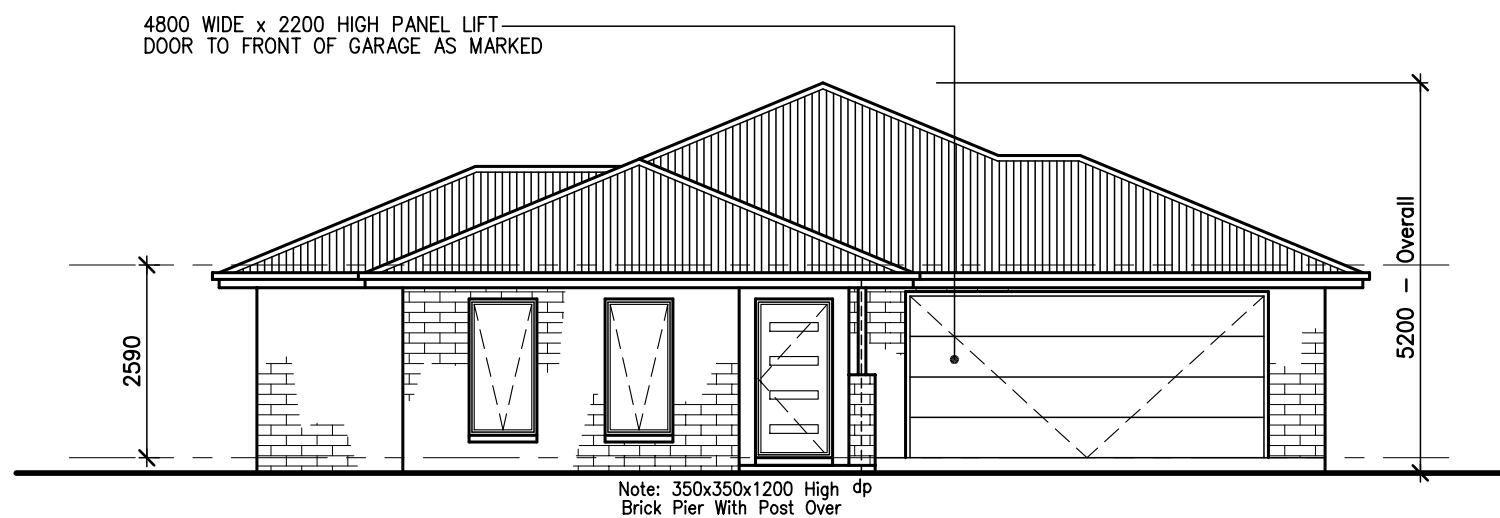
Residence: 202.56 Sqm (21.80 Sq's)
Garage: 38.79 Sqm (4.18 Sq's)
Porch: 2.44 Sqm (0.26 Sq's)
Alfresco: 28.32 Sqm (3.05 Sq's)
Total: 272.11 Sqm (29.29 Sq's)

Floor Plan 1:100

THIS IS SHEET ____ OF ____ DRAWINGS REFERRED TO IN THE CONTRACT DATED: _____ BUILDER: _____ PROPRIETOR: _____	<i>Amendments</i>		<i>Date</i>	COPYRIGHT © DO NOT SCALE THESE DRAWINGS	G.J Gardner. <u>HOMES</u> 54 Lime Avenue, Mildura Vic. 3500 Office: (03) 5023 1199 Fax: (03) 5023 6099 www.gjgardner.com.au		S & C Hanley Lyall Proposed Residence At: Lot 4 (No. 46) Thomas Street, Gol Gol	DRAWN: C.A.W	DWG. No.
	Preliminary Drawings	7/3/25	CHECKED: C.A.W					250302	
	Working Drawings	14/3/25	SCALE: As Shown					SHEET:	
	Altered Drawings	*	DATE: 14th March 2025					2 of 9	
	Craig Wight – Registered Building Practitioner – DP AD 36750								



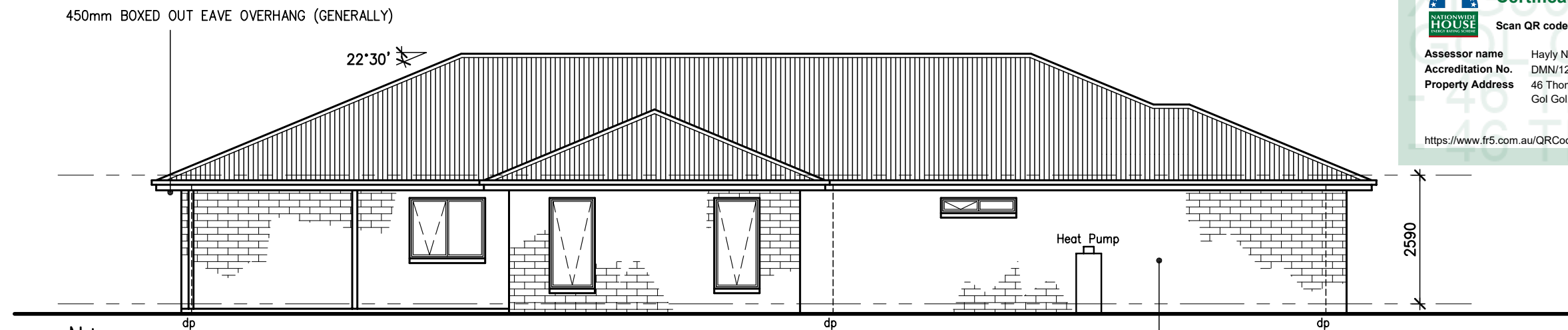
West Elevation 1:100



North Elevation 1:100



South Elevation 1:100



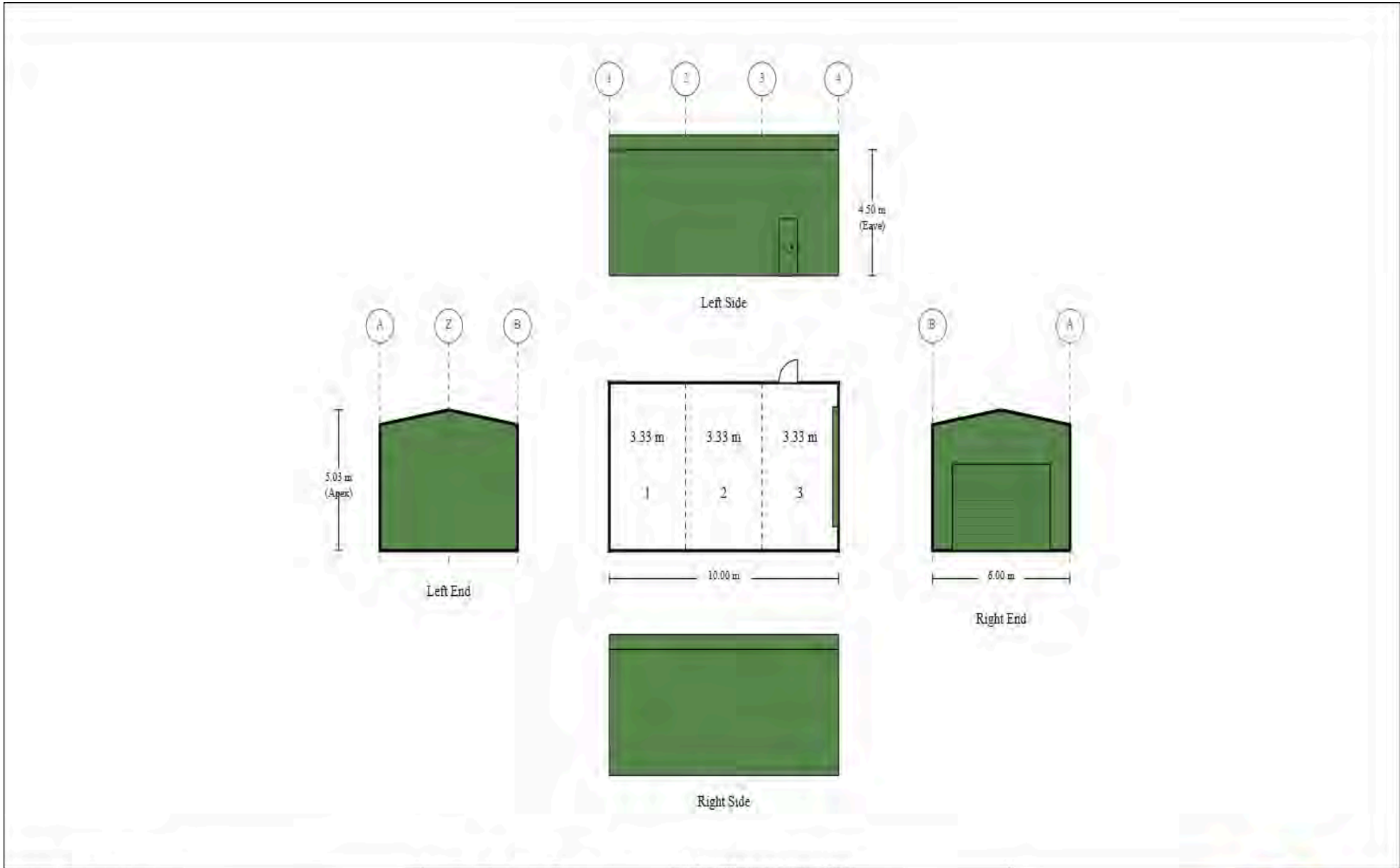
Note:


MASONRY ARTICULATION JOINTS AS PER ENGINEERS DESIGN

East Elevation 1:100

— SELECTED FACE BRICKWORK (GENERALLY)

THIS IS SHEET ____ OF ____ DRAWINGS REFERRED TO IN THE CONTRACT DATED: _____ BUILDER: _____ PROPRIETOR: _____	Amendments	Date	COPYRIGHT © DO NOT SCALE THESE DRAWINGS	G.J Gardner. <u>HOMES</u> 54 Lime Avenue, Mildura Vic. 3500 Office: (03) 5023 1199 Fax: (03) 5023 6099 www.gjgardner.com.au		S & C Hanley Lyall Proposed Residence At: Lot 4 (No. 46) Thomas Street, Gol Gol	DRAWN: C.A.W	DWG. No.
	Preliminary Drawings	7/3/25					CHECKED: C.A.W	250302
	Working Drawings	14/3/25					SCALE: As Shown	SHEET:
	Altered Drawings	*					DATE: 14th March 2025	3 of 9
	Craig Wight - Registered Building Practitioner - DP AD 36750							



Purchaser Name: Shane Hanley		Building Layout Ref# BRMIL2502028-1	Seller: THE Shed Company Mildura Name: Ben Rogers Phone: (03) 5021 0226 Fax: (03) 5021 0228 Email: ben.rogers@theshedcompany.com.au	
Site Address:				
Ref # BRMIL2502028-1	Print Date: 17/03/25			