Wentworth SHIRE COUNCIL

Health & Planning Department
61 Darling Street
PO Box 81
WENTWORTH NSW 2648

Tel: 03 5027 5027
council@wentworth.nsw.gov.au

Statement of Environmental Effects

Attachment C to the Development Application

made under the Environmental Planning & Assessment Regulation 2000

INTRODUCTION

To assist Council in assessing your development application, in accordance with relevant legislative requirements, it is necessary for you to answer the following questions and provide justification of your responses. These questions relate to common matters that need to be addressed in order to mitigate potential impacts resulting from your development.

Please note: Incomplete or insufficient information may lead to your application be delayed or rejected.

PERMISSIBILITY

- Is your proposal permissible in the zone? ☑ Yes ☐ No
- Is your proposal consistent with the zone objectives? ☑ Yes ☐ No
- Is your proposal in accordance with the relevant development control plan? ■ Yes ☐ No

If you answered "No" to any of the above, you should make an appointment to discuss your proposal with a member of the Health & Planning Division before lodging a development application.

Please justify your answers below:

The proposed site is zoned RU1 and construction of an outbuilding (storage shed) is permitted with consent. The proposed design is consistant with zone objectives

DESCRIPTION OF DEVELOPMENT

This needs to include where applicable a description of matters such as proposed buildings, proposed building materials, nominated colour scheme, nature of use, staging of the development details of any demolition and other works etc.

The development of an outbuilding 10m x 10m x 3m eaves
walls and roof in trimdeck pale eucalypt colourbond.
outbuilding will be used for storage of engineering tools, boat , trailers and no demolition required.
Also Skillion Craport 6m x 15.31m x 3.4m eaves in Pale Eucalypt colorbond abutting existing shed used for tractor etc

DESCRIPTION OF SITE

1. Describe the site including any physical features of the site such as shape, slope, vegetation, any waterways. Also describe the current use/s on the site.

the site is a developed site , cleared and flat

2. What is the present use and previous uses of the site?

Storage of equipment

3. Is the development site subject to any of the following natural hazards: (e.g. bushfire prone, salinity, flooding or stormwater inundation etc.)

Flooding

4. What other constraints exist on the site? (e.g. vegetation, easements, sloping land, drainage lines contamination, etc.)

N/A

5. What types of land use and development exist on surrounding land?

primary production grape vines

CONTEXT AND SETTING

- Will the development be:
  - Visually prominent in the surrounding area? ☐ Yes ☒ No
  - Inconsistent with the existing streetscape? ☐ Yes ☒ No
  - Out of character with the surrounding area? ☐ Yes ☒ No
  - Inconsistent with surrounding land uses? ☐ Yes ☒ No

Please justify your answers below:

The surrounding area is used for primary production purposes. the outbuildings will not impact the streetscape and does not obstruct adjoining properties.

PRIVACY, VIEWS AND OVERSHADOWING

- Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space, etc.? ☐ Yes ☒ No
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? ☐ Yes ☒ No
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners and pumps, bedroom and living room windows, etc.? ☐ Yes ☒ No
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks roads and footpaths? ☐ Yes ☒ No

Please justify your answers below:

the proposed outbuildings will have no effect on adjoining properties

ACCESS, TRAFFIC AND UTILITIES

- Is legal and practical access available to the development? ☒ Yes ☐ No
- Will the development increase local traffic movements / volumes? ☐ Yes ☒ No
  If yes, by how much?
- Are additional access points to a road network required? ☐ Yes ☒ No
- Has vehicle manoeuvring and onsite parking been addressed in the design? ☐ Yes ☒ No
- Are power, water, sewer and telecommunication services readily available to the site? ☐ Yes ? ☐ No

Please justify your answers below:

Don't Know

no traffic increase

ENVIRONMENTAL IMPACTS

• Is the development likely to result in any form of air pollution (smoke, dust, odour etc.)?	☐ Yes	☒ No
• Does the development have the potential to result in any form of water pollution (eg. sediment run-off)?	☐ Yes	☒ No
• Will the development have any noise impacts above background noise levels (eg. swimming pool pumps)?	☐ Yes	☒ No
• Does the development involve any significant excavation or filling?	☐ Yes	☒ No
• Could the development cause erosion or sediment run-off (including during the construction period)?	☐ Yes	☒ No
• Is there any likelihood in the development resulting in soil contamination?	☐ Yes	☒ No
• Is the development considered to be environmentally sustainable (including provision of BASIX certificate where required)?	☒ Yes	☐ No
• Is the development situated in a heritage area or likely to have an impact on any heritage item or item of cultural significance?	☐ Yes	☒ No
• Is the development likely to disturb any aboriginal artefacts or relics?	☐ Yes	☒ No

Please justify your answers below:

no environmental impacts

FLORA AND FAUNA IMPACTS

• Will the development result in the removal of any native vegetation from the site?	☐ Yes	☒ No
• Is the development likely to have any impact on threatened species or native habitat?	☐ Yes	☒ No

For further information on threatened species, visit www.threatenedspecies.environment.nsw.gov.au

Please justify your answers below:

No

WASTE AND STORMWATER DISPOSAL

- How will effluent be disposed of?
  ☐ To Sewer ☐ Onsite
- How will stormwater (from roof and hard standing) be disposed of:
  ☐ Council Drainage System ☒ Other (please provide details)
- Will liquid trade waste be discharged to Council's sewer? ☐ Yes ☒ No
- Will the development result in any hazardous waste or other waste disposal issue? ☐ Yes ☒ No
- Does the development propose to have rainwater tanks? ☒ Yes ☐ No
- Have all potential overland stormwater risks been considered in the design of the development? ☒ Yes ☑ No

Please justify your answers below:

downpipes will be connected to a water tank

SOCIAL AND ECONOMIC IMPACTS

- Will the proposal have any economic or social consequences in the area? ☐ Yes ☒ No
- Has the development addressed any safety, security or crime prevention issues? ☐ Yes ☒ No

Please justify your answers below:

no impact

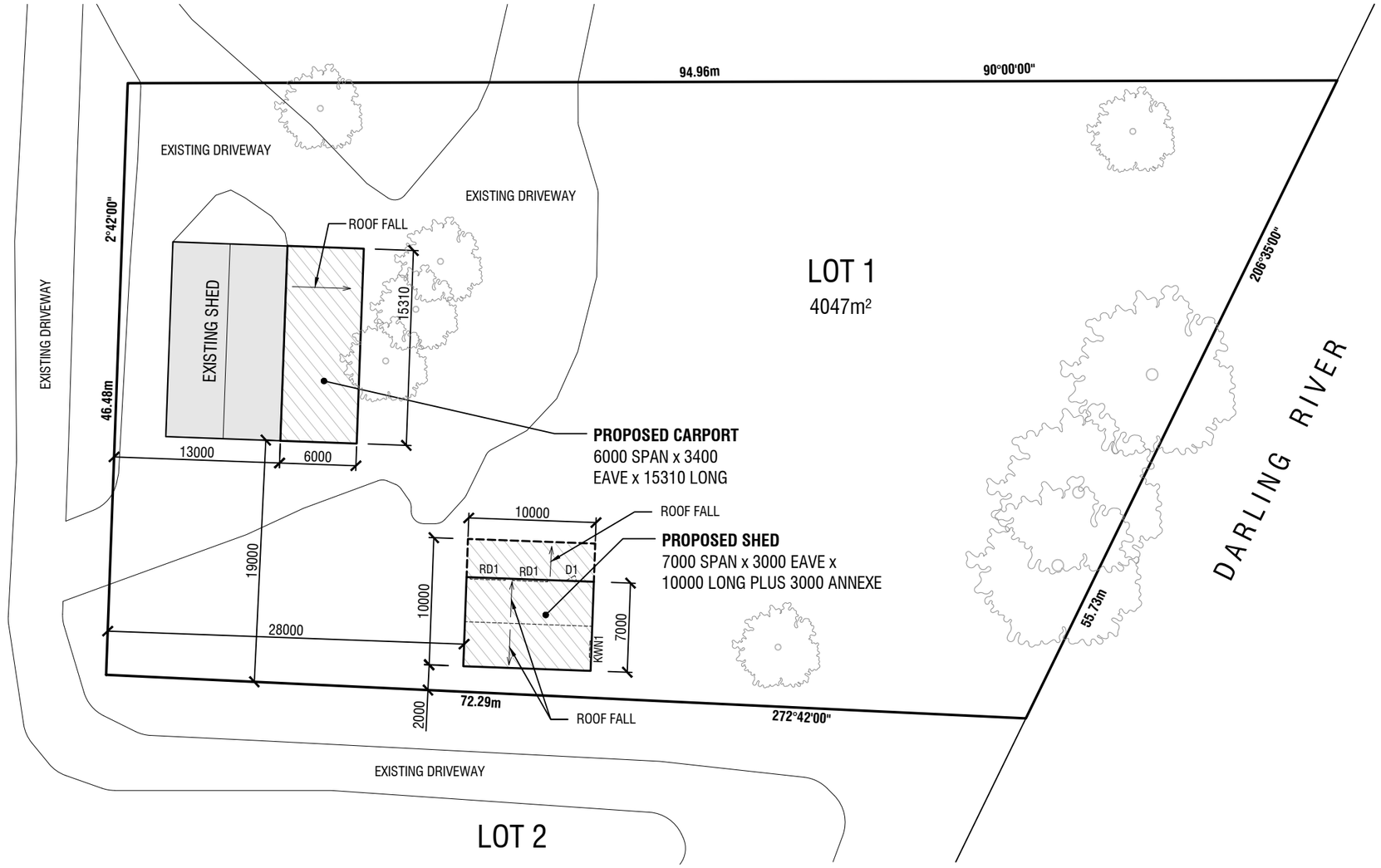
CONCLUSION

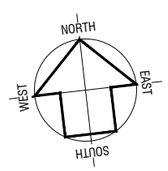
Cumulative effects of all factors.

NOTE:
- DOWN PIPES ARE TO BE CONNECTED TO EXISTING STORM WATER SYSTEM ACCORDANCE WITH AS3500.
- IF WATER TANK IS INSTALLED THE OVERFLOW FROM THE TANK MUST BE DISCHARGED TO STORM WATER SYSTEM.
- AREA FAIRLY FLAT, NO REMOVAL OF ANY VEGETATION OR TREES
- DP: DOWN PIPE LOCATION

SITE COVERAGE

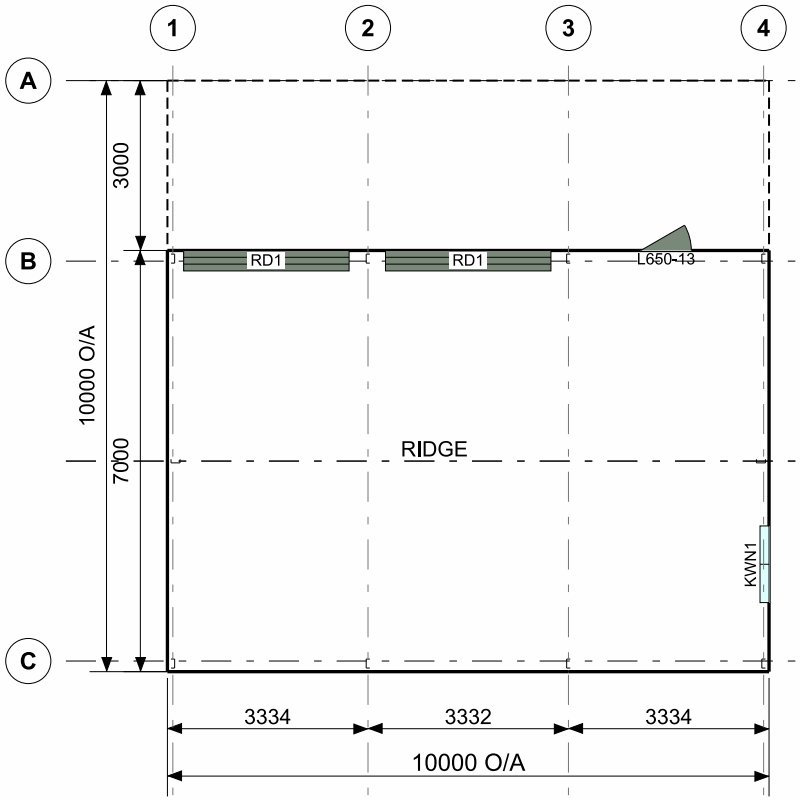
SITE AREA	4047.00m²
EXISTING SHED	137.70m²
PROPOSED CARPORT	91.86m²
PROPOSED SHED	100.00m²
TOTAL	329.56m²
SITE COV. =	**8.14%**



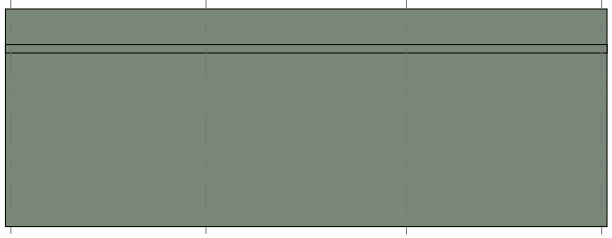


CLIENT: PAUL EVANS	PROJECT: 98 NEILPO ROAD, WENTWORTH 2648	BUILDING: PROPOSED CARPORT & SHED	JOB NUMBER:
SHEET NO.: **A.01**			SCALE: 1:400 @ A3 / REVISION:
			FIRST DRAWN: 08.04.2025 / REVISION DATE:
			DRAWN: AKL

ECHUCA SHEDS & GARAGES



FRAME ROOF PLAN



ELEVATION GRID C

Cont. on page 3

Cont. on page 2

RANBUILD

CLADDING

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	PE
WALLS	TRIMDEK 0.35 BMT	CB	PE
CORNERS	-	CB	PE
BARGE	-	CB	PE
GUTTER	SHEERLINE	CB	PE
DOWNPIPE	100x50	CB	PE

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
2	RD1	B&D, Firmadoor, R.D, Residential "R1F", 2600 high x 2750 wide Clear Opening C/B
1	L650-13	Larnec Door & Frame Kit, 650/37, Std. 2040 x 820 C/ Bond
1	KWN1	AMI - Reg A & B, 790x1274 CLR + FG Fly Screen, Window Kit (BDSP)

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

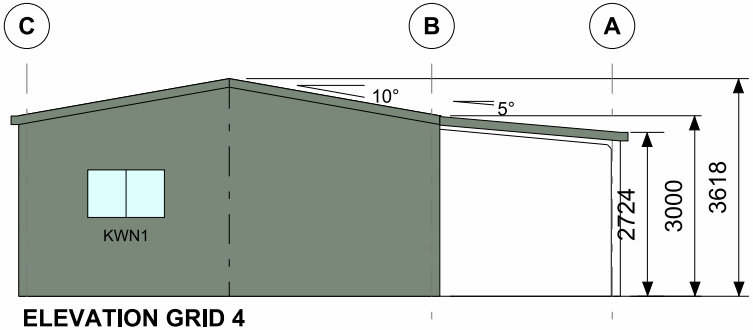
CLIENT
Paul Evans

SITE
98 Neilpo Road
POMONA NSW 2648

BUILDING
DELUXE
7000 SPAN x 3000 EAVE x 10000 LONG
PLUS 3000 ANNEXE

TITLE
FLOOR PLAN & ELEVATION

SCALE	DRAWING NUMBER	REV	PAGE
A4 SHEET 1:125	**MILD01-9303**	**A**	**1/3**



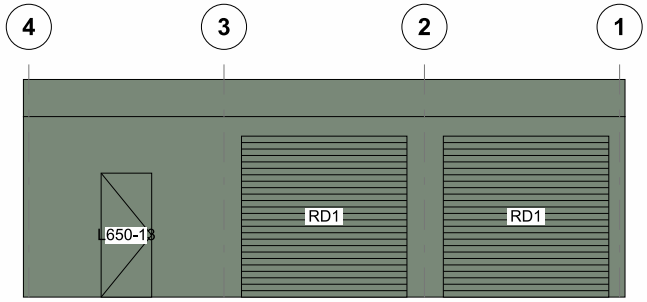
ELEVATION GRID 4

Cont. on page 1

RANBUILD

SCALE	REV
A4 SHEET 1:125	**A**
DRAWING NUMBER	PAGE
MILD01-9303	**2/3**

Cont. on page 1



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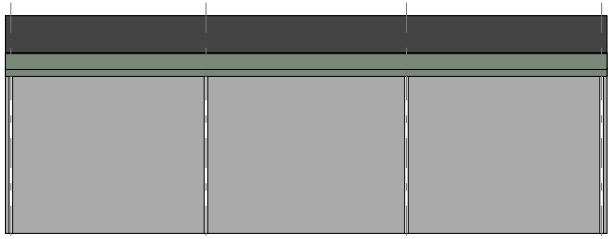

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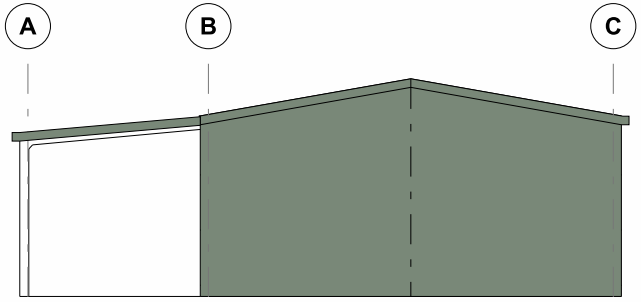

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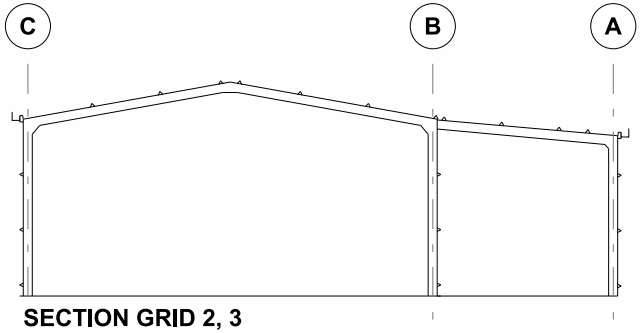
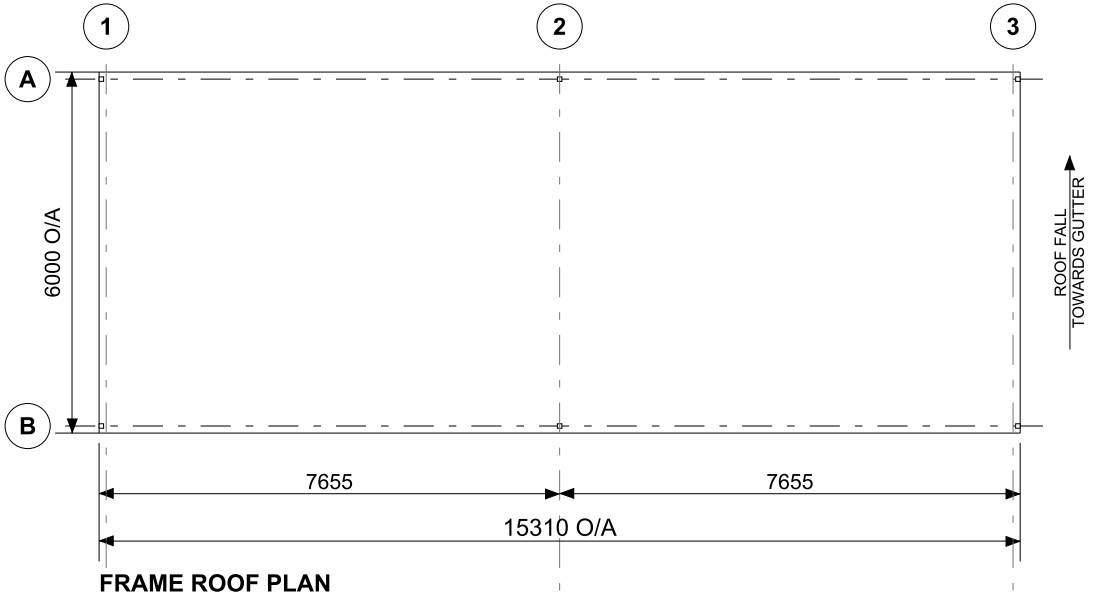


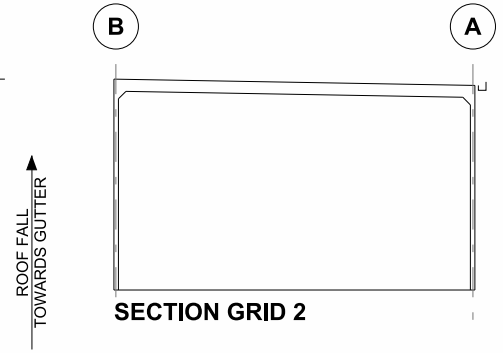
SECTION GRID 2, 3

RANBUILD

SCALE	REV
A4 SHEET 1:125	A
DRAWING NUMBER	PAGE
MILD01-9303	3/3



FRAME ROOF PLAN



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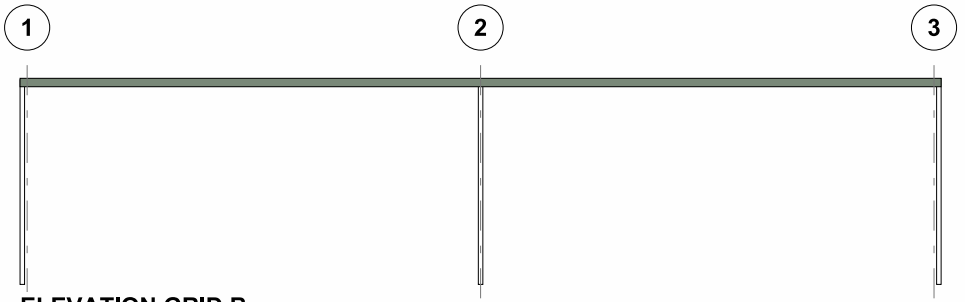

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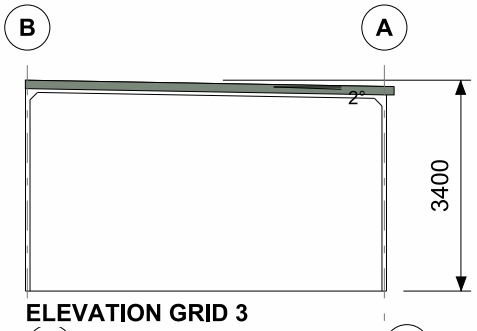

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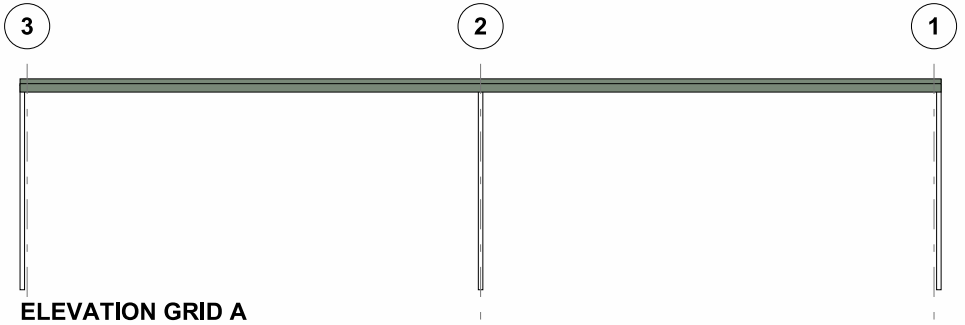

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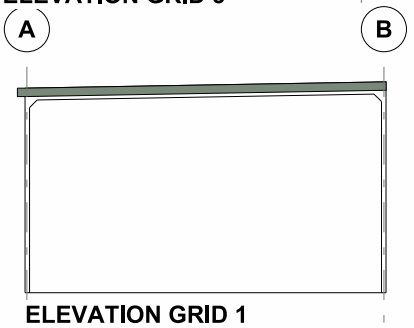


ELEVATION GRID 1

RANBUILD

CLADDING

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	PE
WALLS	-		
CORNERS	-		
BARGE	-	CB	PE
GUTTER	SHEERLINE	CB	PE
DOWNPIPE	90x90	PV	WT

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

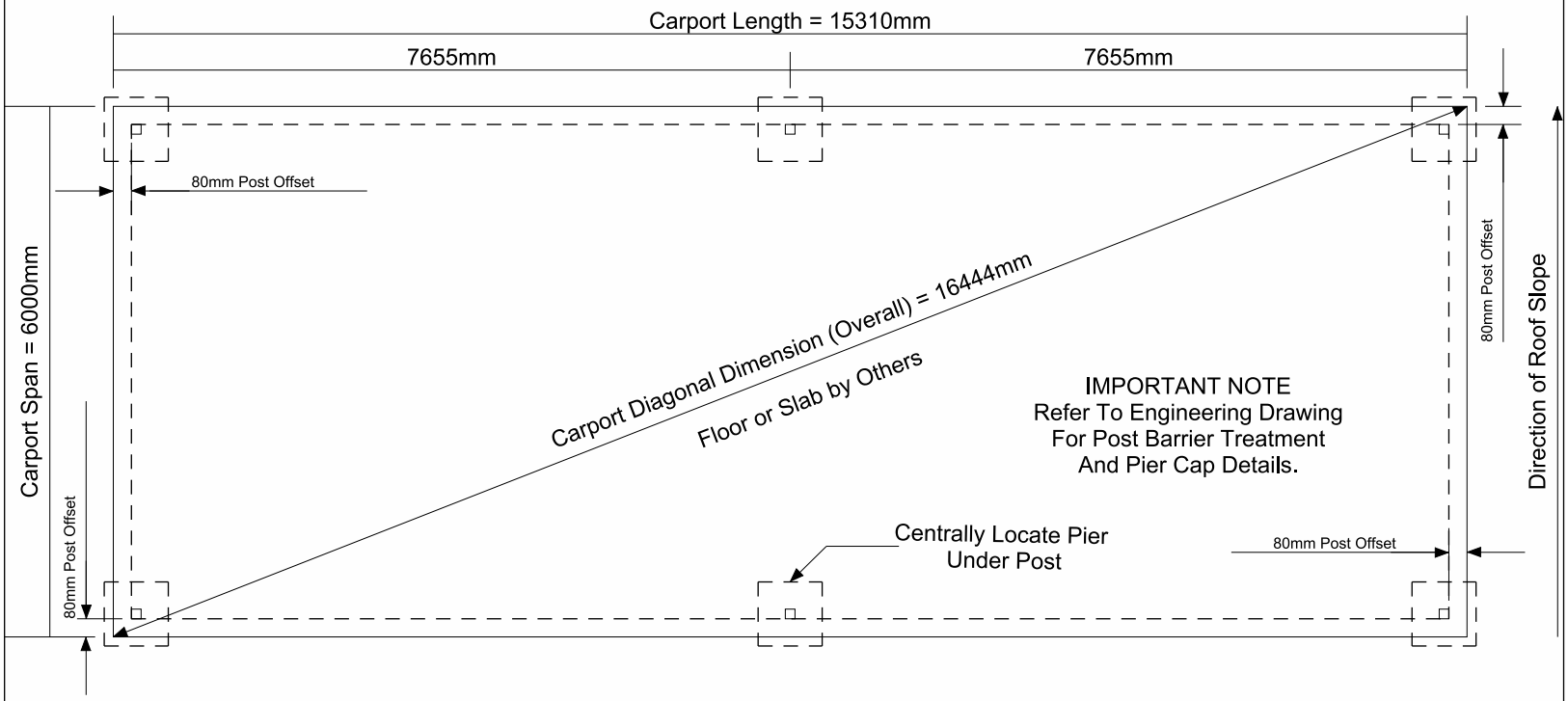
CLIENT
Paul Evans

SITE
98 Neilpo Road
POMONA NSW 2648

BUILDING
SKILLION CARPORT
6000 SPAN x 3400 EAVE x 15310 LONG

TITLE
FLOOR PLAN & ELEVATION

SCALE	DRAWING NUMBER	REV	PAGE
A4 SHEET 1:125	**MILD01-9210**	**A**	**1/1**



RANBUILD

NOTES

ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS.

SEE ERECTION INSTRUCTIONS AND ENGINEERING FOR SECTION & SLAB DETAILS

CLIENT
Paul Evans

SITE
98 Neilpo Road
POMONA NSW 2648

BUILDING
SKILLION CARPORT
6000 SPAN x 3400 EAVE x 15310 LONG

TITLE
CARPORT POST LOCATION PLAN

SCALE	DRAWING NUMBER	REV	PAGE
NTS	**436709-RSP**	**A**	**1/1**