



Health & Planning Division
26-28 Adelaide Street
PO Box 81
WENTWORTH NSW 2648
Tel: 03 5027 5027
council@wentworth.nsw.gov.au

Statement of Environmental Effects

Attachment C to the Development Application

made under the Environmental Planning & Assessment Regulation 2000

INTRODUCTION

To assist Council in assessing your development application, in accordance with relevant legislative requirements, it is necessary for you to answer the following questions and provide justification of your responses. These questions relate to common matters that need to be addressed in order to mitigate potential impacts resulting from your development.

Please note: Incomplete or insufficient information may lead to your application be delayed or rejected.

PERMISSIBILITY

- Is your proposal permissible in the zone? Yes No
- Is your proposal consistent with the zone objectives? Yes No
- Is your proposal in accordance with the relevant development control plan? Yes No

If you answered "No" to any of the above, you should make an appointment to discuss your proposal with a member of the Health & Planning Division before lodging a development application.

Please justify your answers below:

The proposed dwelling is in accordance with the relevant development control plan and will be consistent with the zone and zone objectives.

DESCRIPTION OF DEVELOPMENT

This needs to include where applicable a description of matters such as proposed buildings, proposed building materials, nominated colour scheme, nature of use, staging of the development details of any demolition and other works etc.

Brick Veneer New Dwelling
9m x 7.5m x 3.6m Shed

DESCRIPTION OF SITE

1. Describe the site including any physical features of the site such as shape, slope, vegetation, any waterways. Also describe the current use/s on the site.

Vacant Land
1012m2

2. What is the present use and previous uses of the site?

Vacant Land

3. Is the development site subject to any of the following natural hazards: (e.g. bushfire prone, salinity, flooding or stormwater inundation etc.)

No

4. What other constraints exist on the site? (e.g. vegetation, easements, sloping land, drainage lines contamination, etc.)

N/A

5. What types of land use and development exist on surrounding land?

Vacant Land & Residential Dwellings

CONTEXT AND SETTING

- Will the development be:
 - Visually prominent in the surrounding area? Yes No
 - Inconsistent with the existing streetscape? Yes No
 - Out of character with the surrounding area? Yes No
 - Inconsistent with surrounding land uses? Yes No

Please justify your answers below:

Surrounding land is used for residential dwellings

PRIVACY, VIEWS AND OVERSHADOWING

- Will the development result in any privacy issues between adjoining properties as a result of the placement of windows, decks, pergolas, private open space, etc.? Yes No
- Will the development result in the overshadowing of adjoining properties resulting in an adverse impact on solar access? Yes No
- Will the development result in any acoustic issues between adjoining properties as a result of the placement of active use outdoor areas, vehicular movement areas, air conditioners and pumps, bedroom and living room windows, etc.? Yes No
- Will the development impact on views enjoyed from adjoining or nearby properties and public places such as parks roads and footpaths? Yes No

Please justify your answers below:

The proposed single story dwelling will have no privacy, acoustic or view impacts on adjoining land.

ACCESS, TRAFFIC AND UTILITIES

- Is legal and practical access available to the development? Yes No
- Will the development increase local traffic movements / volumes?
If yes, by how much? Yes No
- Are additional access points to a road network required? Yes No
- Has vehicle manoeuvring and onsite parking been addressed in the design? Yes No
- Are power, water, sewer and telecommunication services readily available to the site? Yes No

Please justify your answers below:

Legal and practical access and parking is available via road and shouldn't make an impact on local traffic as it isn't on a main road or highway.
All services are readily available as it is a part of new residential subdivision.

ENVIRONMENTAL IMPACTS

- Is the development likely to result in any form of air pollution (smoke, dust, odour etc.)? Yes No
- Does the development have the potential to result in any form of water pollution (eg. sediment run-off)? Yes No
- Will the development have any noise impacts above background noise levels (eg. swimming pool pumps)? Yes No
- Does the development involve any significant excavation or filling? Yes No
- Could the development cause erosion or sediment run-off (including during the construction period)? Yes No
- Is there any likelihood in the development resulting in soil contamination? Yes No
- Is the development considered to be environmentally sustainable (including provision of BASIX certificate where required)? Yes No
- Is the development situated in a heritage area or likely to have an impact on any heritage item or item of cultural significance? Yes No
- Is the development likely to disturb any aboriginal artefacts or relics? Yes No

Please justify your answers below:

The proposed development will not have any air, water or noise impacts. It will also not have any significant excavation, or cause any erosion or sediment run-off, or soil contamination during and after construction. The proposed dwelling has received a BASIX certificate and is considered to be environmentally sustainable. The new dwelling is not situated in a heritage area and will not disturb any aboriginal artefacts or relics.

FLORA AND FAUNA IMPACTS

- Will the development result in the removal of any native vegetation from the site? Yes No
- Is the development likely to have any impact on threatened species or native habitat? Yes No

For further information on threatened species, visit www.threatenedspecies.environment.nsw.gov.au

Please justify your answers below:

The proposed development is in a residential subdivision and will impact any native flora or fauna.

WASTE AND STORMWATER DISPOSAL

- How will effluent be disposed of?
 To Sewer Onsite
- How will stormwater (from roof and hard standing) be disposed of:
 Council Drainage System Other (please provide details)
- Will liquid trade waste be discharged to Council's sewer? Yes No
- Will the development result in any hazardous waste or other waste disposal issue? Yes No
- Does the development propose to have rainwater tanks? Yes No
- Have all potential overland stormwater risks been considered in the design of the development? Yes No

Please justify your answers below:

The proposed development effluent and stormwater will be disposed of into council sewers and drains.

SOCIAL AND ECONOMIC IMPACTS

- Will the proposal have any economic or social consequences in the area? Yes No
- Has the development addressed any safety, security or crime prevention issues? Yes No

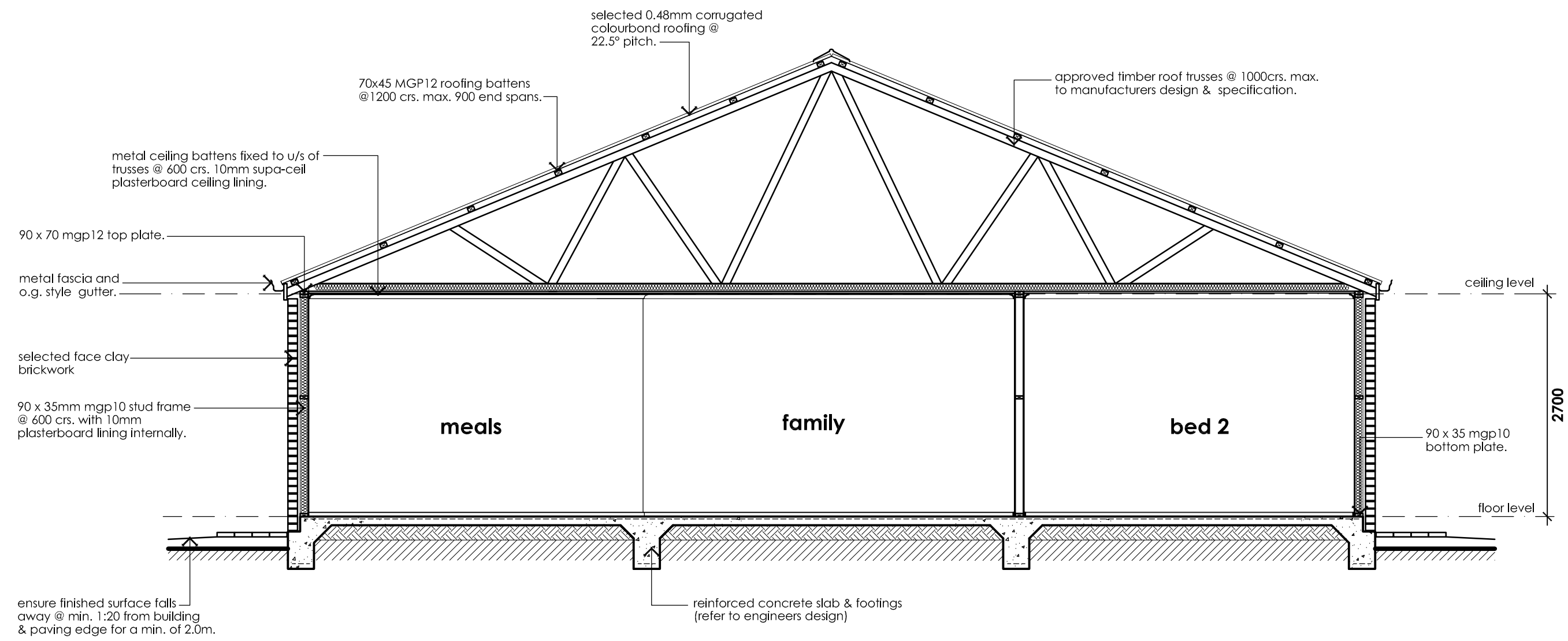
Please justify your answers below:

Deadlocks on external doors and locks on windows.

CONCLUSION

Cumulative effects of all factors.

The proposed development will not significantly impact any surrounding land or environment.



TYPICAL SECTION A-A 1:50

ELECTRICAL LEGEND

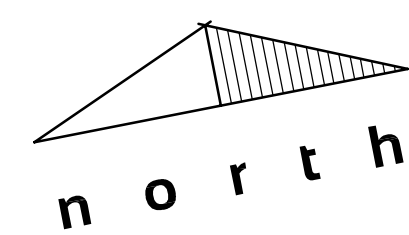
INTERNAL LIGHTING	QTY
• P PENDANT LIGHT	0
⊗ IXL 2 IN 1 TASTIC	2
⊕ EXHAUST FAN	1
⊙ 10 WATT L.E.D. DOWNLIGHT	16
• STANDARD BATTEN	11
⊗ CEILING FAN WITH 18W GLOBE	0
⊗ CEILING FAN	0

GARAGE LIGHTING	QTY
≡ 2x36w FLURO	2

EXTERNAL LIGHTING	QTY
⊙ 10 WATT L.E.D. DOWNLIGHT	4
• STANDARD BATTEN	0
⊗ CEILING FAN	1
⊕ PARAFLOOD LIGHT	1
⊗ EXTERNAL BUNKER LIGHTS	2



BASIX REQUIREMENTS: CERT. No. 1742209S
WATER COMMITMENTS
PROVIDE SHOWERHEADS WITH A MINIMUM RATING OF 4 STAR. PROVIDE TOILET FLUSHING SYSTEMS WITH A MINIMUM RATING OF 4 STAR. PROVIDE TAPS TO KITCHEN WITH A MINIMUM RATING OF 4 STAR. PROVIDE TAPS TO ALL BASINS IN BATHROOMS WITH A MINIMUM RATING OF 4 STAR.
ENERGY COMMITMENTS
HOT WATER: PROVIDE HEAT PUMP HOT WATER SERVICE WITH A PERFORMANCE OF 31 TO 35 STC'S OR BETTER. COOLING/ HEATING SYSTEM: PROVIDE THREE PHASE REVERSE CYCLE SYSTEM ENERGY RATING OF EER 3.0 - 3.5. ALSO MUST PROVIDE DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS
THERMAL COMFORT COMMITMENTS
INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (NO GARAGE) INSTALL R2.5 BATTS TO EXTERNAL WALLS OF HABITABLE AREA



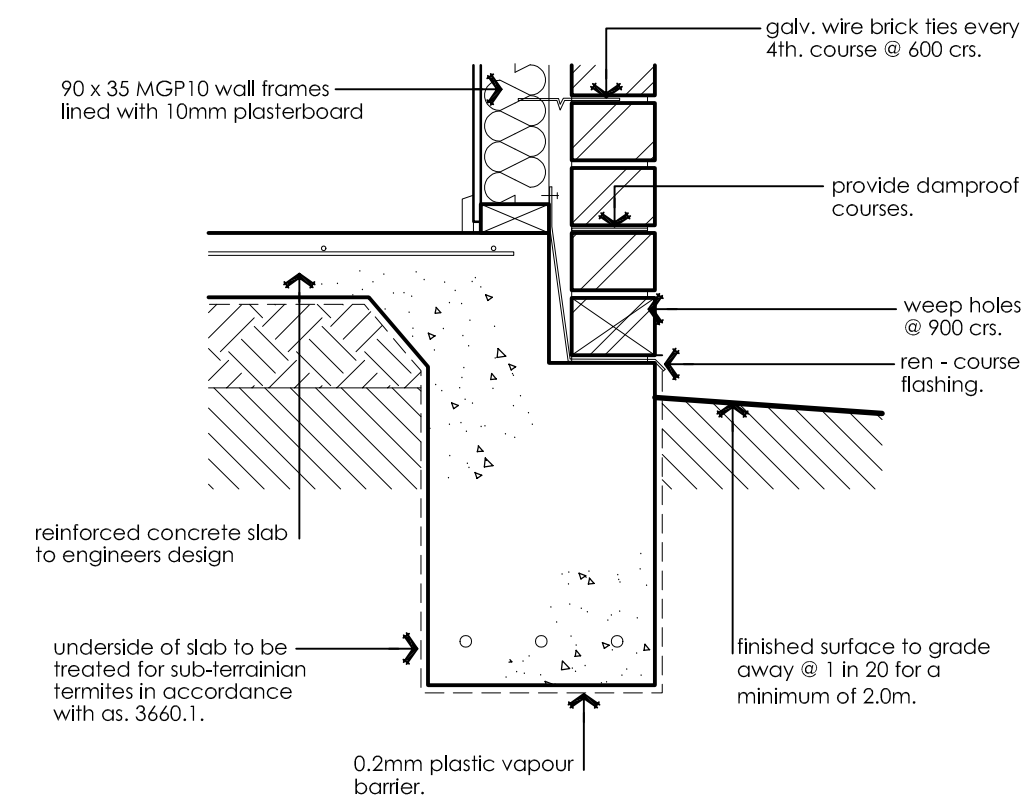
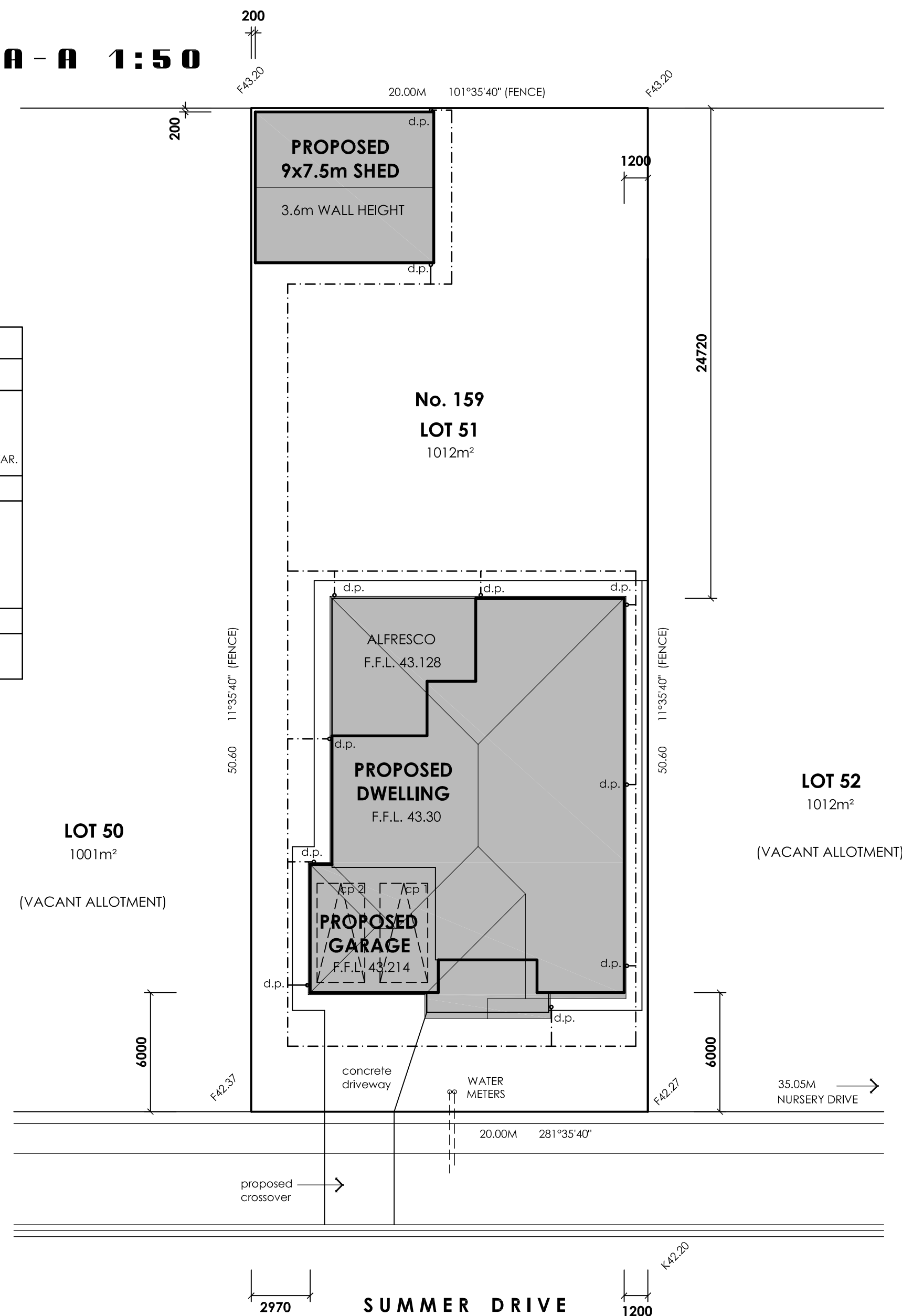
SITE NOTES:

- 90mm @ U.P.V.C. STORMWATER DRAINS DIRECTED TO KERB & CHANNEL.
- PROVIDE INSPECTION OPENINGS EVERY 9m OF RUN & CHANGE IN DIRECTION.
- 100 x 50 ZINCALUME DOWNPIPES D.P.
- 300 x 50 SPREADER TO LOWER ROOF S.P.

ALL LEVELS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
RECHECK LEVELS AFTER GRADING OF SITE

NOTE: FINISHED FLOOR LEVELS ARE A GUIDE ONLY AND ARE TO BE CONFIRMED ON SITE WITH JAMES HARWOOD HOMES PRIOR TO COMMENCEMENT OF ANY WORKS

SITE PLAN 1:200



TYPICAL REBATE DETAIL 1:10

drawing title:
SITE PLAN, SECTION & DETAILS

project:
PROPOSED NEW RESIDENCE

client:
GARRAE HOLDINGS PTY. LTD

address:
LOT 51 SUMMER DRIVE, GOL GOL

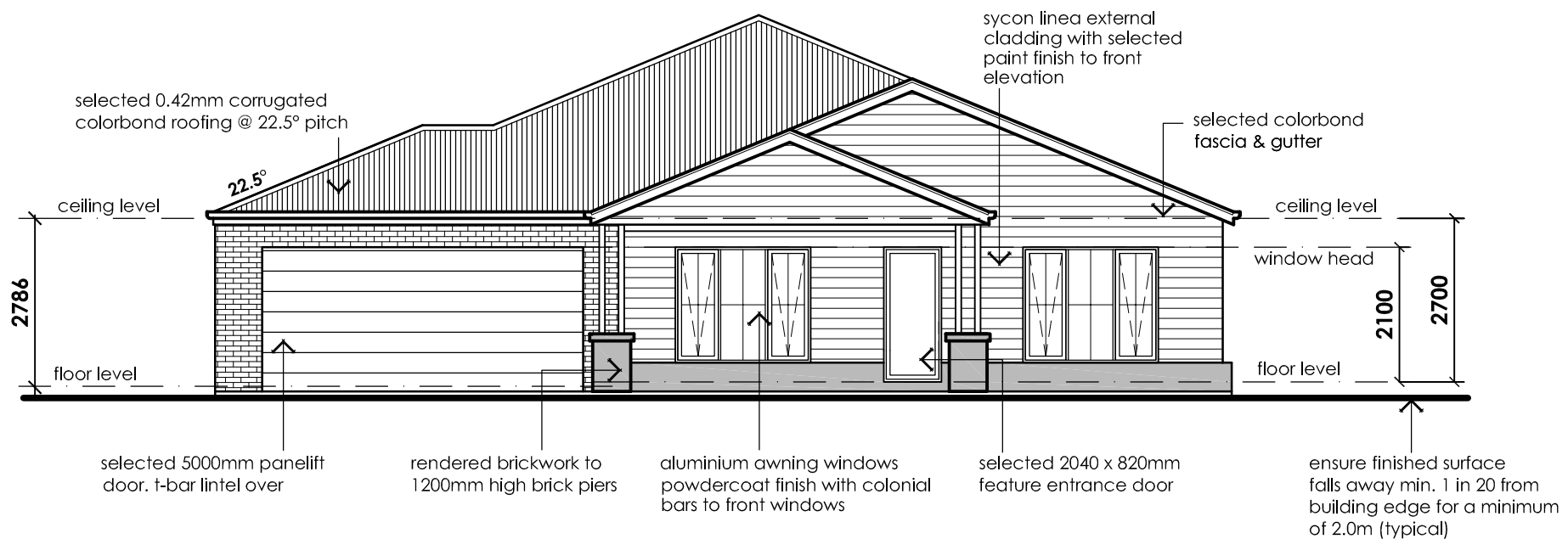
scale: 1:100 date: MARCH 2024

design: JH drawn: MB

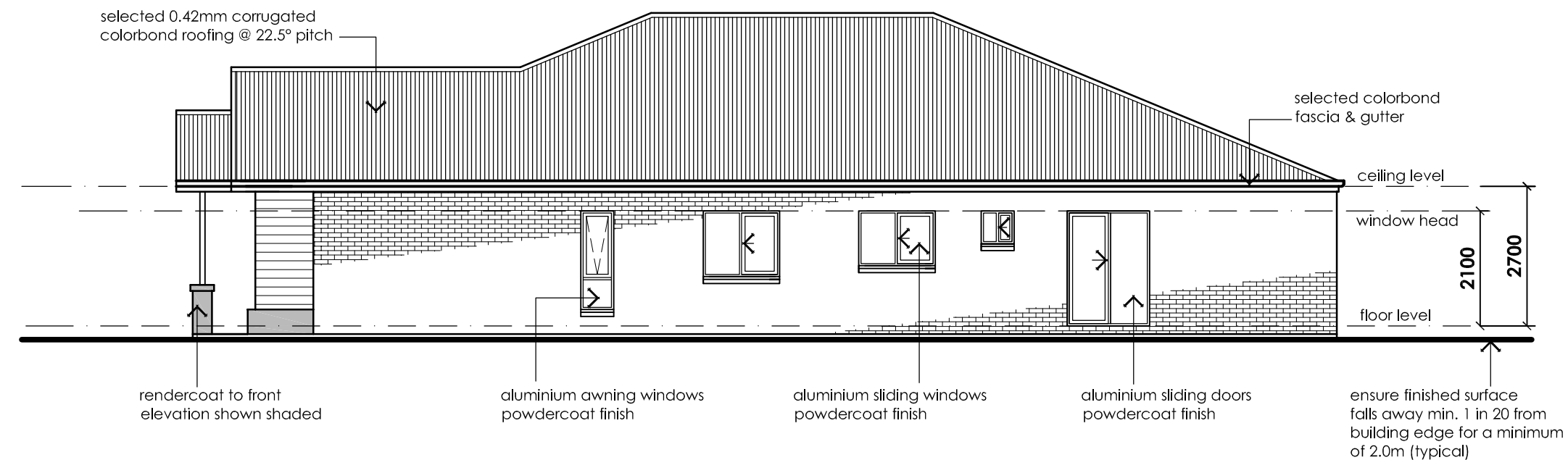
project no.: 24-069 drawing no.: WD 2



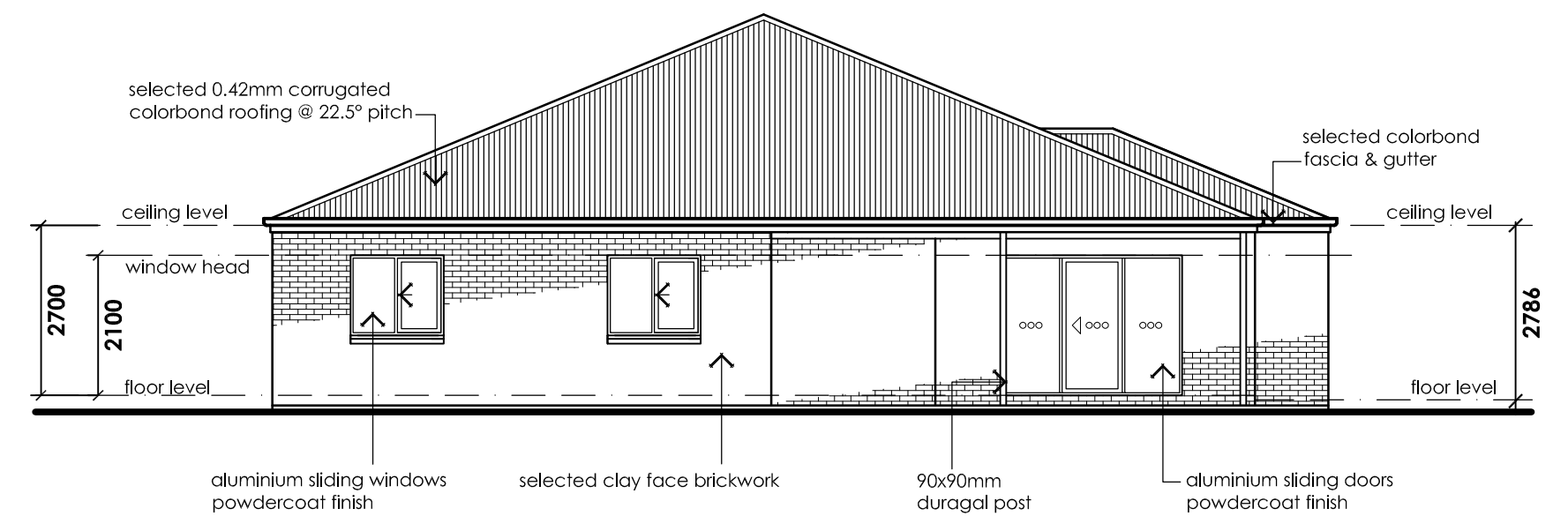
422 SANMATEO AVENUE, MILDURA
TELEPHONE: 03 5021 1806 - FAX: 03 5021 1706 - MOBILE: 0417 562 695
email: admin@jamesharwoodhomes.com.au



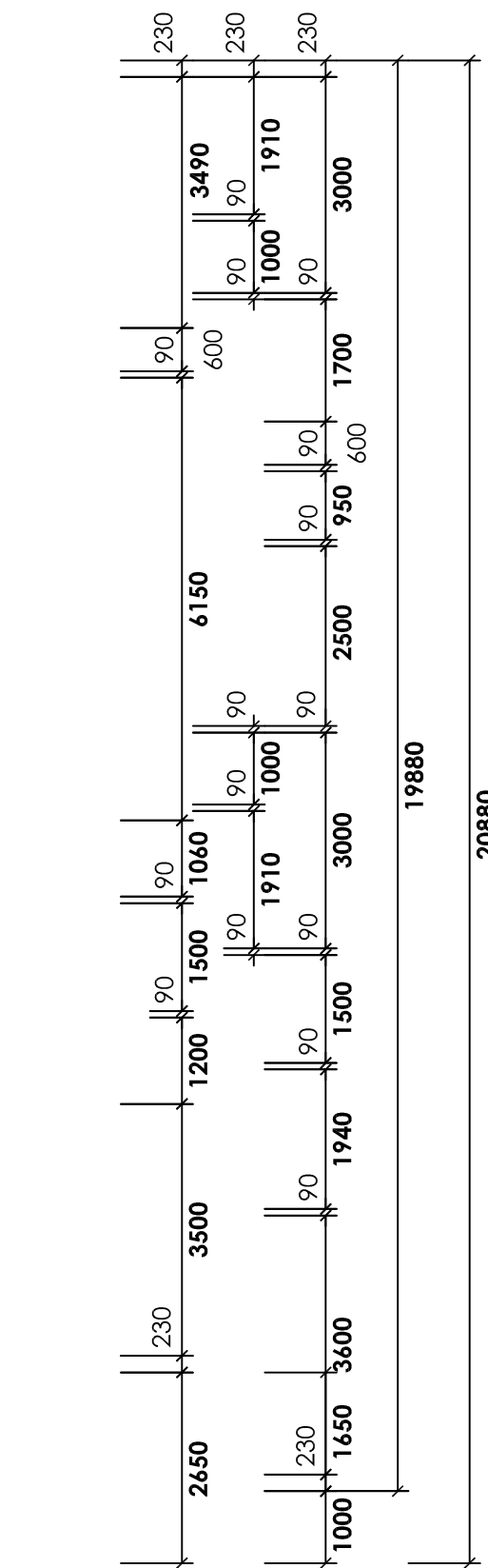
SOUTH ELEVATION 1:100



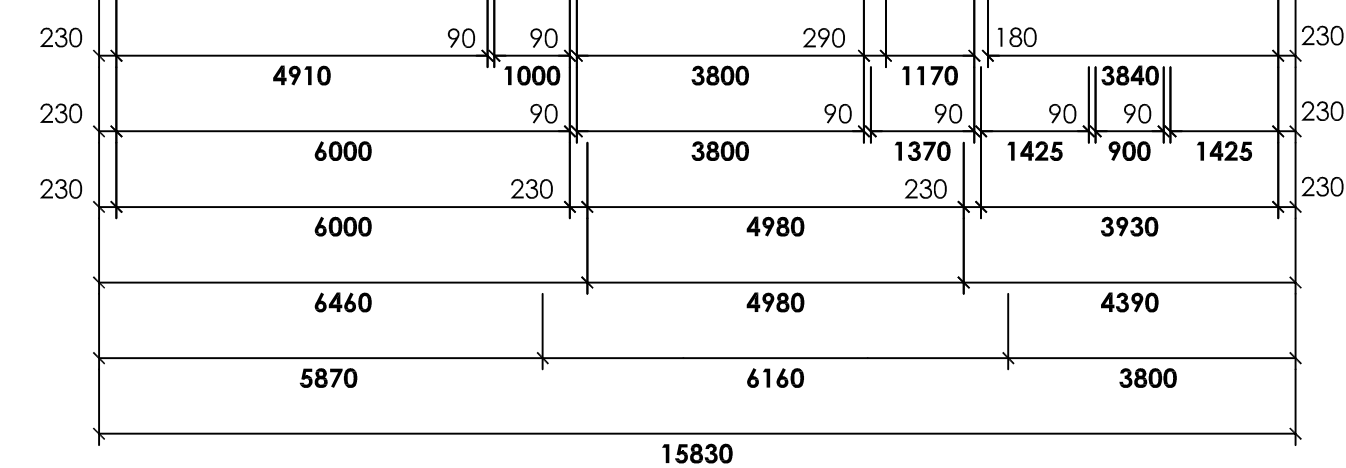
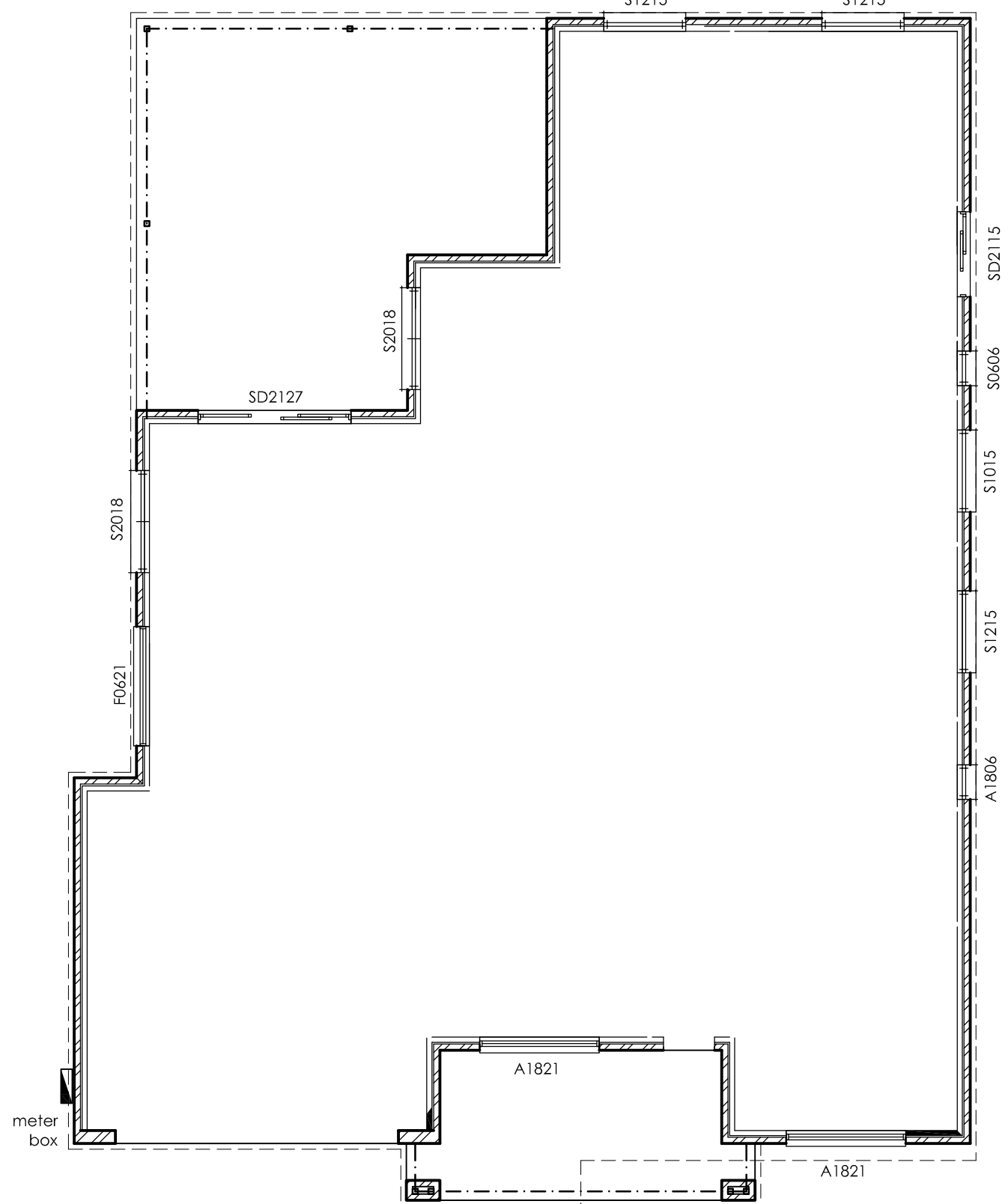
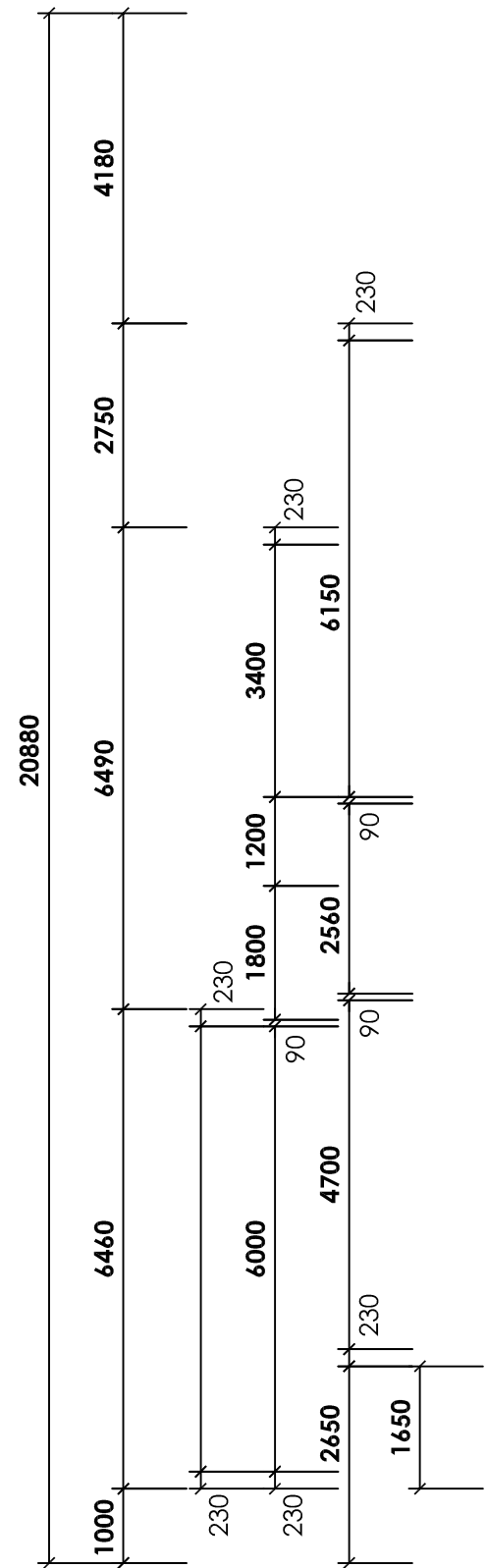
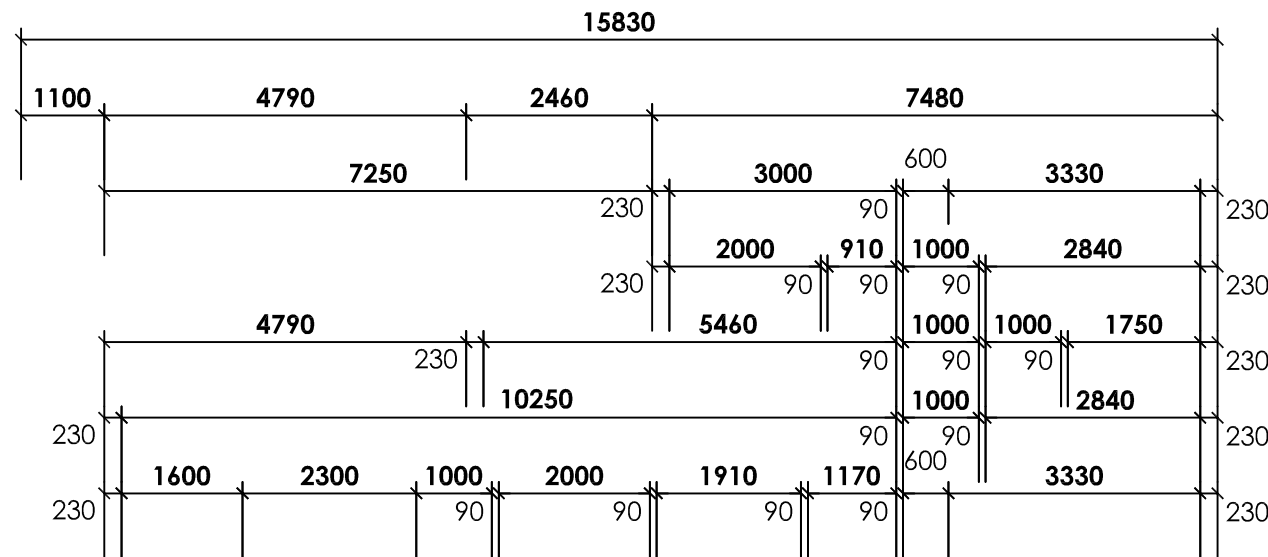
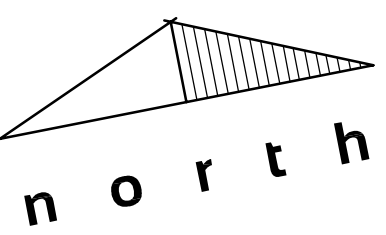
WEST ELEVATION 1:100



NORTH ELEVATION 1:100



EAST ELEVATION 1:100



SOLAR PANEL GENERAL NOTES:
 1. SOLAR PANELS TO BE INSTALLED WITH A NORTHERLY ORIENTATION TO ACHIEVE A 60% MAXIMUM SOLAR GAIN
 2. SOLAR PANELS TO BE FIXED IN ACCORDANCE WITH THE MANUFACT. SPECIFICATIONS.
 3. SOLAR PANEL INSTALLATION TO BE IN ACCORDANCE WITH PLUMBING REGULATION 1998.

FLOOR PLAN 1:100



BASIX REQUIREMENTS: CERT. No. 1742209S

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THERMAL COMFORT COMMITMENTS
 INSTALL R6.0 BATTS TO CEILING OF HABITABLE AREA (NO GARAGE)
 INSTALL R2.5 BATTS TO EXTERNAL WALLS OF HABITABLE AREA

- general notes:**
- ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, STATE BUILDING REGULATIONS & LOCAL AUTHORITY REQUIREMENTS.
 - CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS.
 - WRITTEN DIMENSIONS HAVE PREFERENCE TO SCALE.
 - PLANS SHALL BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS & ATTACHED DOCUMENTATION.
 - IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THE BUILDING IS WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE IS SHOWN CORRECT.
 - IT IS THE BUILDERS RESPONSIBILITY TO NOTIFY THE DESIGNER OF ANY SERVICES WHICH MAY HINDER CONSTRUCTION OR CAUSE ALTERATIONS TO DESIGN BEFORE COMMENCING ANY WORK.
 - SD DENOTES SMOKE DETECTOR INSTALLED IN ACCORDANCE WITH AS 3786 - 1990 AND MUST BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM.
 - DENOTES ARTICULATION JOINT TO BE CONSTRUCTED IN ACCORDANCE WITH CACA TECHNICAL NOTE 61.
 - GLAZING TO COMPLY WITH 1288 - 2006 "GLASS IN BUILDINGS - SELECTION & INSTALLATION"
 - OVERFLOW RELIEF GULLY REQUIREMENTS ARE TO COMPLY WITH AS 3500.2 - 1990 "SANITARY PLUMBING & SANITARY DRAINAGE"
 - SOLID FUEL COMBUSTION HEATERS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2918 - 1990 "DOMESTIC SOLID FUEL"
 - DENOTES EXHAUST FAN WIRED TO LIGHT SWITCH.
 - WATERPROOFING IS TO BE INSTALLED IN ACCORDANCE WITH A.S. 3740-2010 "WATERPROOFING OF DOMESTIC WET AREAS"

window schedule

NO.	SERIAL NO.	FRAME SIZE	U-V	SHGC	QTY.	LINTEL SIZE
W1	A1821	1800x2110	4.9	0.54	2	AS PER
W2	S2018	2000x1810	4.9	0.52	2	TRUSS
W3	S1215	1200x1450	4.9	0.52	3	MAN.
W4	S1015	1000x1450	4.9	0.52	1	DETAILS
W5	S0606	600x610	4.9	0.52	1	
W6	A1806	1800x610	4.9	0.54	1	
W7	F0621	600x2110	3.9	0.45	1	
SD1	SD2127	2105x2710	4.4	0.59	1	
SD2	SD2115	2105x1504	4.4	0.59	1	

TERRAIN CATEGORY	SHELTERED SUBURBAN N1
WINDOW TYPE	ALUMINIUM AWNING & SLIDING
LINTEL TYPE	SMARTFIR F7, F17 KDHW
FLYWIRE TO ALL OPENINGS	*CHECK LINTELS SUPPORTING GIRDER TRUSSES
WIND LOAD CLASSIFICATION	N1

BAL : NO REQUIREMENTS FOR THIS SITE

I/WE acknowledge that these plans are an accurate reflection of our requirements & agree that these drawings are the drawings on Page 1 (Particulars to Contract) of the New Homes Contract between James Harwood Homes & myself/ourselves.
 (Signed).....Date.....
 (Signed).....Date.....

areas:

DWELLING	208.20 m ²
ALFRESCO	43.47 m ²
GARAGE	40.25 m ²
PORTICO	1.62 m ²
TOTAL	308.54 m²

contractors are to verify all dimensions on the job prior to the commencement of any works

drawing title:
FLOOR LAYOUT AND ELEVATIONS

project:
PROPOSED NEW RESIDENCE

client:
GARRAE HOLDINGS PTY. LTD

address:
LOT 51 SUMMER DRIVE, GOL GOL

scale: 1:100 date: MARCH 2024

design: JH drawn: MB

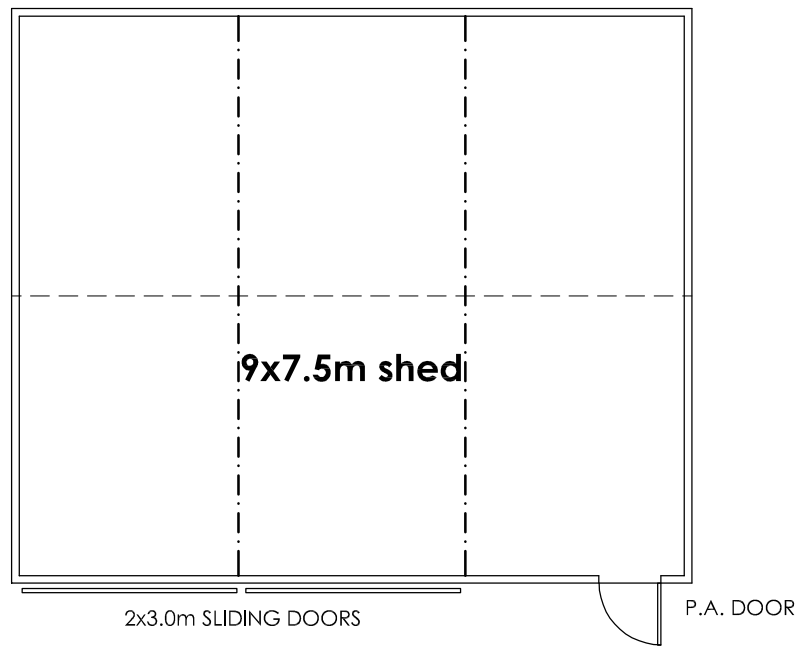
project no.: drawing no.: (DWG 1 OF 2)

24-069 WD 1a

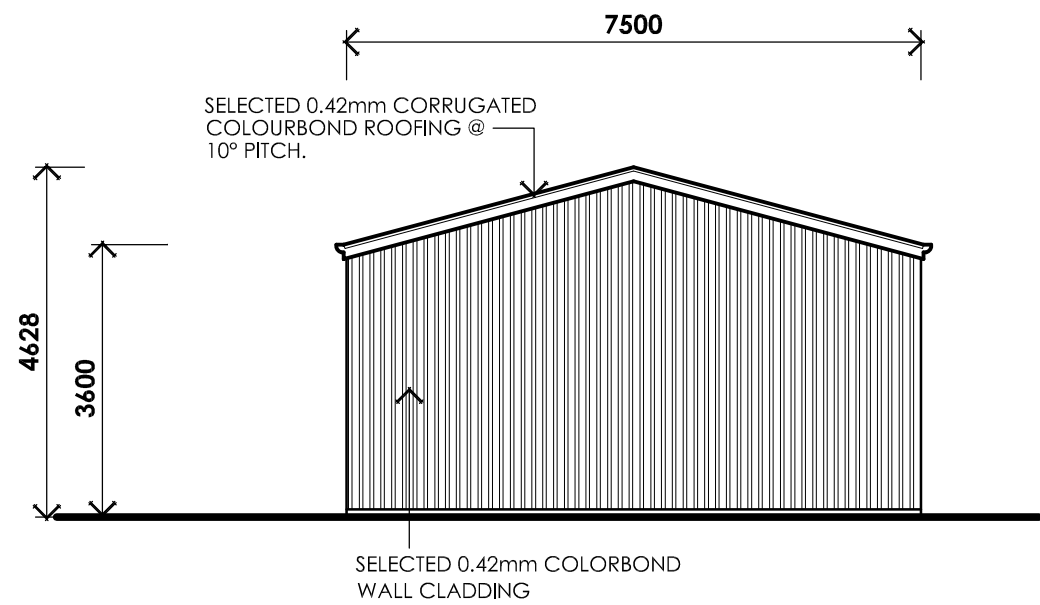
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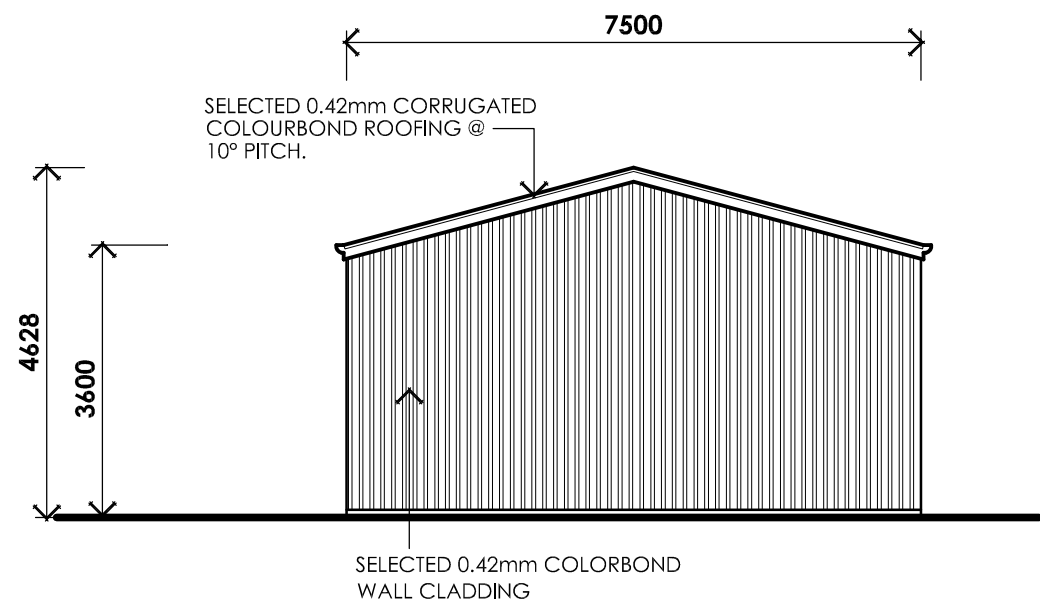
422 SANMATEO AVENUE, MILDURA
 TELEPHONE: 03 5021 1806 - FAX: 03 5021 1706 - MOBILE: 0417 562 695
 email: admin@jamesharwoodhomes.com.au



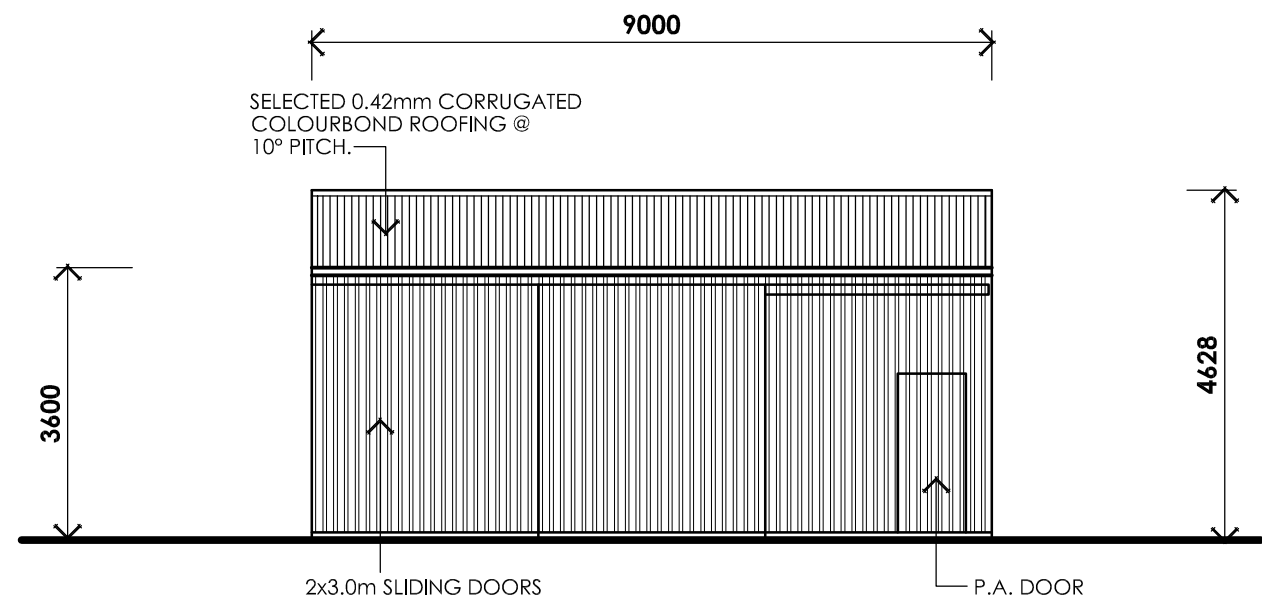
PLAN 1:100



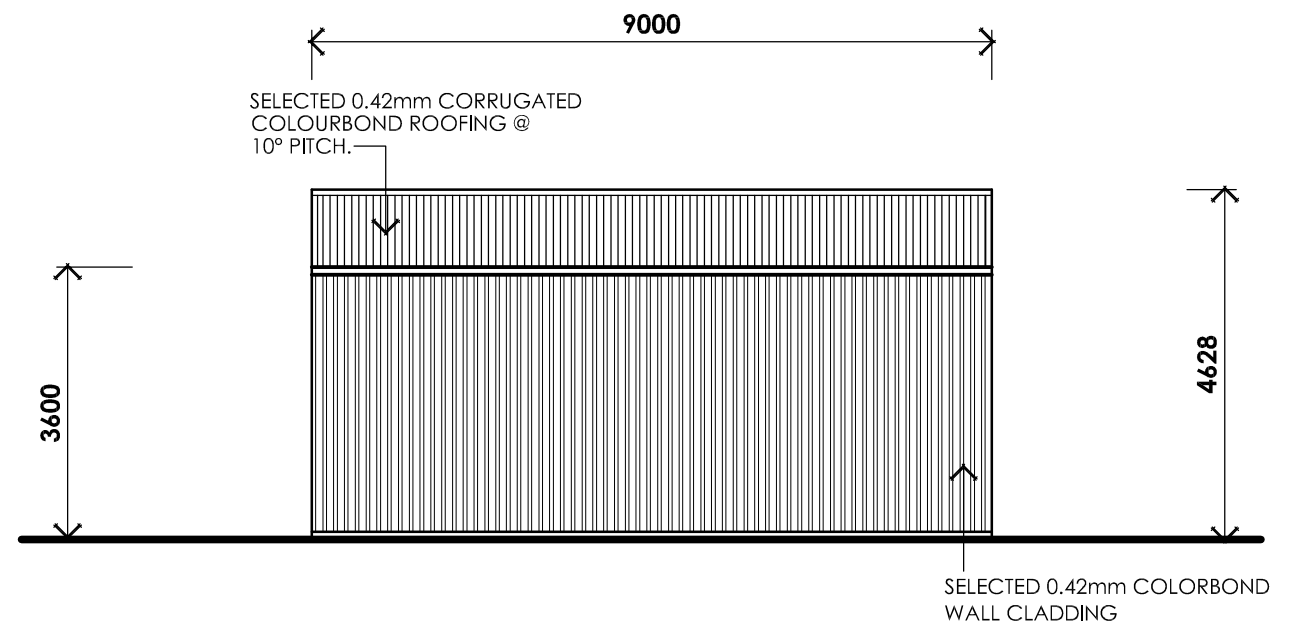
END ELEVATION 1:100



END ELEVATION 1:100



FRONT ELEVATION 1:100



REAR ELEVATION 1:100