

Planning Report

Dwelling, shed and swimming pool

9 Phoenix Court,
Gol Gol, NSW, 2738

EXECUTIVE SUMMARY

Proposal	Dwelling, shed and swimming pool
Street Address	9 Phoenix Court, Gol Gol
Formal Land Description	Lot 21 DP 1298329
Zone	RU5 - Village
Relevant State Environmental Planning Policies	Not applicable

SUBJECT SITE AND SURROUNDING AREA

Site Description

The subject site comprises one parcel of land commonly known as 9 Phoenix Court, Gol Gol, and more formally as Lot 21 in Deposited Plan 1298329. It has an area of approx. 1003 square metres (sqm) and a frontage of 14.5 metres (m) to Phoenix Court. The site resulted from a recent residential subdivision and is currently vacant. There is a fall of approximately 1m across the site (from south to north). No heritage or cultural sensitivities affect the land and there are no environmental constraints or natural hazards.

The site is situated within a developing residential area of Gol Gol, approximately 950m to the north west of the Gol Gol Primary School and Golly Café Bakery. The surrounding area predominantly consists of vacant land and recently constructed single storey dwellings.

An aerial image of the site and surrounding area as well as site photos are contained on the following pages.

Aerial Image of the Site and Surrounding Area



Figure 1: Subject site and surrounding area (Source: Landchecker Nov 2023)

Site Photos



Figure 2: View of site from Phoenix Court



Figure 3: View of the site from the north



Figure 4: View of the site from the south east



Figure 5: View of the site from the rear (west)

PROPOSAL

DESCRIPTION

This application is for the construction of a dwelling, shed and swimming pool as summarised under the following points:

- The dwelling is single storey and contains four bedrooms (master with WIR and ensuite), open plan kitchen, meals and family area, butlers pantry, separate lounge room, study, bathroom and separate WC, laundry/mud room, outdoor dining area and double garage.
- The external appearance of the dwelling is contemporary with a mixture of white rendered brick walls and feature blackbutt and sharpline vertical wall cladding on the front facade. The roof will be clad in white Colorbond iron with gutters, fascia's and window frames being monument.
- The dwelling has a maximum height of 4.1m above natural ground.
- A new crossover is proposed to provide access to the double garage.
- A shed is proposed adjacent to the south eastern boundary for domestic storage purposes. The shed has a floor area of 114sqm with a footprint of 7.6m x 15m. The wall height of the shed is approx. 3.2m and the maximum height at the apex is approx. 4m. External cladding consists of white Colorbond metal sheet and three roller doors will be included for vehicle access.
- The proposed swimming pool is located to the rear of the dwelling, adjacent to the outdoor dining area and 0.5m from the side (northern) boundary. The pool has a footprint of 7m x 4.2m and a depth varying from 1.18m to 1.75m.
- 343sqm (34%) of the site will be permeable and made available for landscaping and 434sqm (43%) will be private open space.
- The development will be connected to all reticulated services with the exception of gas.

PLANNING

CONTROLS AND ASSESSMENT

Wentworth Local Environmental Plan 2011 (LEP)

The Subject site is within the RU5 – Village

The objectives of the zone are:

- *To provide for a range of land uses, services and facilities that are associated with a rural village.*
- *To promote development in existing towns and villages in a manner that is compatible with their urban function.*
- *To encourage well-serviced sustainable development.*
- *To ensure there are opportunities for economic development.*
- *To deliver new residential and employment growth in Buronga and Gol Gol.*
- *To ensure business and retail land uses are grouped within and around existing activity centres.*

The proposed dwelling is located within a recently subdivided estate and will support the development of Gol Gol. The dwelling has been designed to meet sustainability targets and is appropriately located so as not to unreasonably impact on the adjoining land. As such, the proposal supports the objectives of the RU5 zone.

Wentworth Development Control Plan

Chapter 8 – Site Specific Provisions (Buronga and Gol Gol)

5.1.1 Site Context and Analysis

The plans submitted with this application demonstrate how the proposed dwelling responds to site specific conditions as well as existing development within the broader area. The site is within a recently released residential subdivision and as such, surrounding land is vacant. Site constraints including irregular shape and the rear

easement have been addressed in the design and the topography will be appropriately managed.

5.1.2 Streetscapes

The proposed dwelling will have a positive impact on the streetscape. A number of habitable room windows overlook the street to provide for casual surveillance. The width of proposed garage does not exceed 50% of the frontage of the dwelling and is setback 0.5m behind the main façade so as not to be a dominant element in the streetscape. A front porch is included to address the street and clearly identify the dwelling entry and windows have been limited on the west facing elevation to assist with reducing the harsh impacts of the afternoon sun. The external materials and colours of the dwelling will complement existing dwellings in the broader area which have external materials and colours that vary considerably.

5.1.3 Front Setback

The front setback of the proposed dwelling is 6m which complies with this control.

5.1.4 Side setbacks and Corner Lot Setbacks

Where not located on the boundary, the proposed dwelling is setback 9.5m from the south eastern side boundary and 11m from the northern side boundary, thus meeting this control. It is noted that the proposed shed is setback only 0.2m from the side boundary which falls short of meeting the minimum 1m requirement. The side setback cannot be increased without significantly altering the design of the dwelling. The lesser side setback for the shed is considered to be acceptable given the site constraints (irregular shape and rear easement) and it is unlikely to cause unreasonable visual impact and overshadowing to the adjoining allotment (refer to Building Heights and Overshadowing assessment below).

5.1.5 Rear setbacks

The proposed dwelling has a rear setback of 4.8m, thus meeting this control.

5.1.6 Walls on Boundaries

In accordance with this control, the maximum length of walls on boundaries should not exceed:

- 14.65m on the northern boundary; and

- 20m on the south eastern boundary.

The proposed dwelling is located on the south eastern boundary for a length of 7.5m and the northern boundary for a length of 11.74m, which complies with this control. NOTE: this control does not apply to the shed as it is greater than 150mm from the boundary.

5.1.7 Building heights and overshadowing

The proposed dwelling is single story and will not cause unreasonable overshadowing to adjoining allotments. Sufficient setbacks are achieved from side and rear boundaries and boundary development has been kept within the parameters under Clause 5.1.6.

Due to the close proximity of the shed to the side boundary, overshadowing diagrams have been provided which demonstrate that the adjoining vacant allotment will not be unreasonably impacted by overshadowing. The proposed shed may cause some overshadowing during the late afternoon hours but a future dwelling can easily be accommodated on the adjoining land with at least 40sqm of private open space unaffected by overshadowing between 9am and 3pm on 22 September.

Taking into consideration the above, the proposal suitably complies with these controls.

5.1.8 Site Coverage

The proposed dwelling has a site coverage of 47%, thus meeting this control.

5.1.9 Private Open Space

Approximately 434sqm of private open space and over 280sqm of secluded private open space is proposed, thus meeting this control.

5.1.10 Energy Efficiency and Solar access

Living rooms and private open space have a northerly aspect, therefore, achieving optimal solar orientation and at least 4 hours of direct sunlight between 9am and 3pm on 22 June. A BASIX is included with this application to demonstrate that the relevant energy efficiency requirements are met.

5.1.11 Daylight to existing windows

There are no existing dwellings on abutting allotments to the north and south. The proposed dwelling will not impact daylight to the existing dwellings to the west as there is a notable separation distance and between the buildings and there are existing outbuildings along the common boundary.

5.1.12 North-facing windows

Not applicable - No existing north facing windows are located within 3m of the boundary with the subject site.

5.1.13 Overlooking

No unreasonable overlooking will occur from the proposed dwelling. The proposed dwelling is single storey and the finished floor level will be no more than 300mm above natural ground level at the highest point. A standard boundary fence will be sufficient to mitigate views from the proposed dwelling.

5.1.14 Fencing and Retaining Walls

Not applicable – No front fences and retaining walls are proposed.

5.1.15 Car Parking and Vehicle Access

As per the car parking requirements specified within the table at Chapter 3, Part 5, one car parking space is required for a dwelling house. The proposed double garage can contain two covered spaces and an additional uncovered space can be accommodated within the driveway. As such, the car parking requirements have been met. A new crossover is proposed which will be constructed in accordance with Council Standards and does not conflict with any street infrastructure. Appropriate stormwater infrastructure will be installed to manage stormwater from the proposed driveway.

5.1.16 Cut and Fill

A maximum 300mm of cut and 300mm of fill will be required to achieve a benched area for the proposed dwelling, which complies with this clause. A 200mm plinth under the boundary fence combined with minimal batter will be sufficient to manage the

minor extent of earthworks. Stormwater will be captured and directed to the legal point of discharge within the road reserve to avoid nuisance to neighbours.

State Environmental Planning Polices (SEPP)

There are no SEPP's applicable to this application.

General Assessment

Visual Impacts

Please refer to DCP assessment.

Open Space

Please refer to DCP assessment.

Overshadowing and Privacy

Please refer to DCP assessment.

Noise

Only standard domestic mechanical plant will be associated with the proposed dwelling, which will emit noise typical for a residential area.

Erosion Control Measures

No specific erosion control measures are considered necessary for this development. As discussed previously, earthworks are minimal and will be appropriately managed.

Economic and Social Impacts

Albeit minor, the proposed dwelling will contribute to the economic and social wellbeing of the Gol Gol township by increasing investment in the local area and social interaction with the local community.

Environmental Benefits

Due to the nature of this development, no significant environmental benefits are envisaged.

Disabled Access

Not applicable for this application. The proposed dwelling will be required to comply with the applicable National Construction Code requirements for disabled access.

Security, Site Facilities and Safety

Not applicable for this application.

Waste Management

Not applicable for this application – standard domestic waste services will be provided by Council.

National Construction Code

The National Construction Code will be assessed as part of the Construction Certificate process by a Building Surveyor.

Traffic

The proposed dwelling will result in standard domestic travel within the existing road network. This would have been anticipated and accounted for in the design of the subdivision.

Stormwater/flooding

The site is not subject to any identified natural hazards and stormwater will be directed to the legal point of discharge within the road reserve.

CONCLUSION

This report demonstrates that the proposal is consistent with the relevant provisions of the *Wentworth Local Environmental Plan 2011* and the Wentworth DCP.

The proposed dwelling is appropriate for the site as it:

- Is encouraged in the RU5 Village Zone;
- Is appropriately located on the subject site;
- Will have minimal impacts on the locality; and
- Will not result in any detrimental impacts on the environment.

It is considered that the proposal is worthy of support, and it is therefore respectfully requested that the Wentworth Shire Council grant Development Consent for the development of a dwelling, shed and swimming pool as described in this report at 9 Phoenix Court, Gol Gol.



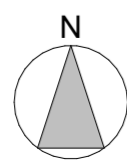
Planning Zone Map



Location Plan/Satellite Imagery

Page No.	Title	REV	Comment
DA000	Drawing List Site Location	01	issued to energy rater & planner
DA001	Site Survey	01	issued to energy rater & planner
DA002	Site Plan	01	issued to energy rater & planner
DA003	Locality Plan	01	issued to energy rater & planner
DA100	Overshadowing Plans	01	issued to energy rater & planner
DA101	Overshadowing Plans	01	issued to energy rater & planner
DA102	Perspective Views	01	issued to energy rater & planner
DA103	Perspective Views	01	issued to energy rater & planner
DA200	Window Schedule	01	issued to energy rater & planner
DA201	Window Schedule	01	issued to energy rater & planner
DA202	Door Schedule	01	issued to energy rater & planner
DA203	Door Schedule	01	issued to energy rater & planner
DA204	Door Schedule	01	issued to energy rater & planner
DA300	Floor Plan - Proposed	01	issued to energy rater & planner
DA301	Roof Layout		
DA400	Elevations - Dwelling	01	issued to energy rater & planner
DA401	Elevations - Dwelling	01	issued to energy rater & planner
DA402	Elevations - Shed	01	issued to energy rater & planner
DA500	Sections	01 ...	
DA501	Sections	01	issued to energy rater & planner
DA502	Sections	01	issued to energy rater & planner
DA503	Sections	01	issued to energy rater & planner
DA504	Sections	01 ...	
DA601	Slab Setout		
DA700	Details	01	issued to energy rater & planner
DA701	Pool Details	01	issued to energy rater & planner
DA800	Ground Floor Ceiling	01	issued to energy rater & planner
DA901	General Notes		
DA902	Wet Area Info.		
DA903	Wet Area Info.		
DA904	Wet Area Info.		

NOTE
 The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Mildura Building Designs and is to be used only for work when authorised in writing by Mildura Building Designs.
 All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
 Owner to sign and date plans acknowledging/accepting design and documentation.
 All documents here within are subject to Australian Copyright Laws.



RevID	CHID	Change Name	Date
00			29/02/2024
01			15/03/2024



Drawn | Checked DL |
 Sheet: A2 Scale: as shown

Drawing Title:
Drawing List | Site Location
 Project Name:
 Proposed Dwelling

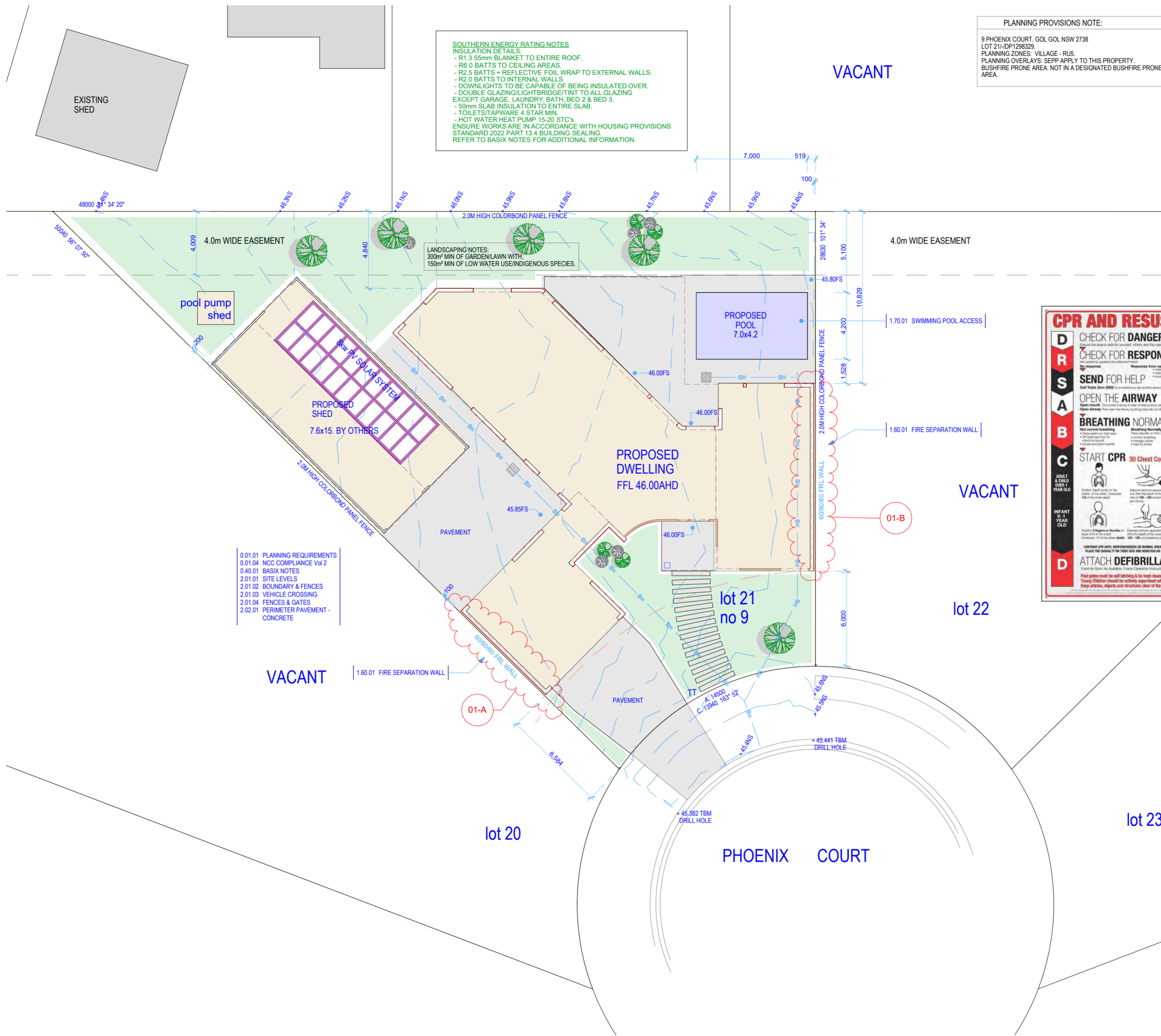
Site:
 Lot 21 Phoenix Court Gol
 NSW 2738
 Client:
 Adam & Amanda Philp

Project No.
2023_002R

Print Date: 15/03/2024
 REVISION NO. **01**
 DRAWING NO. **DA000**
 DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
 est. PO Box 110282 MILDURA VIC 3652 ph. 0457 729 190
 em. admin@mildurabuildingdesigns.com.au

Notes

- 0 General Notes
 - 0.01.01 **PLANNING REQUIREMENTS**
Owner/Builder/Developer to obtain current planning permit (including stamped plans) and comply with the permit details and conditions.
 - 0.01.04 **NCC COMPLIANCE Vol 2**
Comply with current NCC BCA, Housing Provisions Standards and the relevant Australian Standards.
 - 0.40.01 **BASIX NOTES**
Refer to BASIX notes throughout plans and attached BASIX assessment.
-
- 1 Site Specific
 - 1.60.01 **FIRE SEPARATION WALL**
Boundary wall including gutter to achieve FRL 60/60/60 in accordance with NCC Housing Provisions Standard Part 9.2 Fire separation of external walls. Brick veneer 110mm wide clay face brick work with 90mm stud wall frame internal. Non-combustible gutter over (flushed to prevent overflow internally) in accordance with Figure 9.2.3a Typical construction of external walls (c) Gutter on top of wall.
 - 1.70.01 **SWIMMING POOL ACCESS**
Ensure swimming pool as defined in NCC has restricted access in accordance with AS1926.1 & 2. Ensure all surrounding areas meets these requirements. .
-
- 2 Site
 - 2.01.01 **SITE LEVELS**
Site levels: NS =natural surface, FS=finished surface, FFL=finished floor level, BOK=back of kerb, INK=invert of kerb, TOP=top of pit, TOR=top of road, TBM=temporary bench mark, TOC=top of concrete/pavement.
 - 2.01.02 **BOUNDARY & FENCES**
Boundary and fence locations to be checked prior to commencing works onsite by qualified surveyor. If any issues arise or discrepancies are found contact building designer to seek advice before proceeding.
 - 2.01.03 **VEHICLE CROSSING**
Provide new approved crossover in accordance with local authorities design and details and standards. Obtain relevant permits and approvals before starting works.
 - 2.01.04 **FENCES & GATES**
Provide new approved fences and gates. Ensure appropriate corrosive treatment to members & fixtures that suit local environment conditions with selected finish. All in accordance with building and local regulations.
 - 2.02.01 **PERIMETER PAVEMENT - CONCRETE**
Selected non-slip finish concrete pavement to engineers details. All pavement to fall away from buildings. Ensure termite barrier serviceable to AS3660.1.



PLANNING PROVISIONS NOTE:
9 PHOENIX COURT, GOL GOL NSW 2738
LOT 21-DP1288328
PLANNING ZONES: VILLAGE - RUS,
PLANNING OVERLAYS: SEPP APPLY TO THIS PROPERTY.
BUSHFIRE PRONE AREA: NOT IN A DESIGNATED BUSHFIRE PRONE AREA.

SOUTHERN ENERGY RATING NOTES
INSULATION DETAILS:
- R1.3 50mm BLANKET TO ENTIRE ROOF.
- R6.0 BATTIS TO CEILING AREAS.
- R2.5 BATTIS + REFLECTIVE FOIL WRAP TO EXTERNAL WALLS.
- R2.0 BATTIS TO INTERNAL WALLS.
- DOWNLIGHTS TO BE CAPABLE OF BEING INSULATED OVER.
- DOUBLE GLAZING/LIGHTBRIDGE/TINT TO ALL GLAZING EXCEPT GARAGE, LAUNDRY, BATH, BED 2 & BED 3.
- 50mm SLAB INSULATION TO ENTIRE SLAB.
- TOILETS/TAPWARE 4 STAR MIN.
- HOT WATER HEAT PUMP 15-20 STC's.
ENSURE WORKS ARE IN ACCORDANCE WITH HOUSING PROVISIONS STANDARD 2022 PART 13.4 BUILDING SEALING.
REFER TO BASIX NOTES FOR ADDITIONAL INFORMATION.

LANDSCAPING NOTES:
300m² MIN OF GARDEN/LAWN WITH
150m² MIN OF LOW WATER USE/INDIGENOUS SPECIES.



EXTERNAL FINISHES	
ROOF - COLORBOND 'DOVER WHITE'	
GUTTER - COLORBOND 'MONUMENT'	
FASCIA - COLORBOND 'MONUMENT'	
WALLS (RENDERED) - WHITE	
WALLS (BLACKBUTT) - HAYMES CLEAR COAT SEAL	
GARAGE DOORS - COLORBOND 'DOVER WHITE'	
WINDOW/DOOR FRAMES - COLORBOND 'MONUMENT'	
WALLS (STANDING SEAM) - COLORBOND 'MONUMENT'	
ROOF (SHED) - BEST SHEDS 'OFF WHITE'	
WALLS/DOORS (SHED) - BEST SHEDS 'OFF WHITE'	
BOUNDARY FENCE - COLORBOND 'MONUMENT'	

Site Plan 1:200

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RevID	CHID	Change Name	Date
00			29/02/2024
01	01-A	Shift boundary wall 100mm	15/03/2024
	01-B	Shift boundary wall 100mm	

PROPOSED AREAS:	
LIVING	247.79m ²
GARAGE	53.62m ²
OUTDOOR DINING	42.72m ²
PORCH	10.20m ²
TOTAL BUILDING	354.33m ²
SHED	115.52m ²
TOTAL SITE	1,003.05m ²

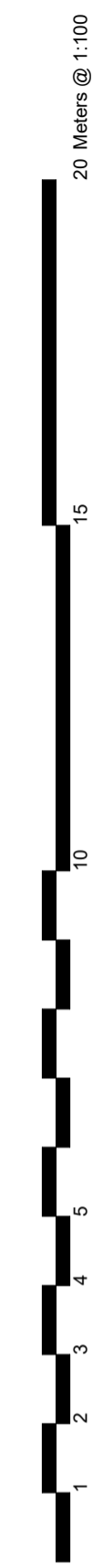


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Sheet: A2 Scale: as shown
Design Matters Member

Drawing Title:
Site Plan
Project Name:
Proposed Dwelling

Site:
Lot 21 Phoenix Court Gol Gol NSW 2738
Client:
Adam & Amanda Philp

Print Date: 15/03/2024
REVISION NO. **01**
DRAWING NO. **DA002**
Project No. **2023_002R**
DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
ad. PO Box 11082 MILDURA VIC 3552. ph. 0457 729 190
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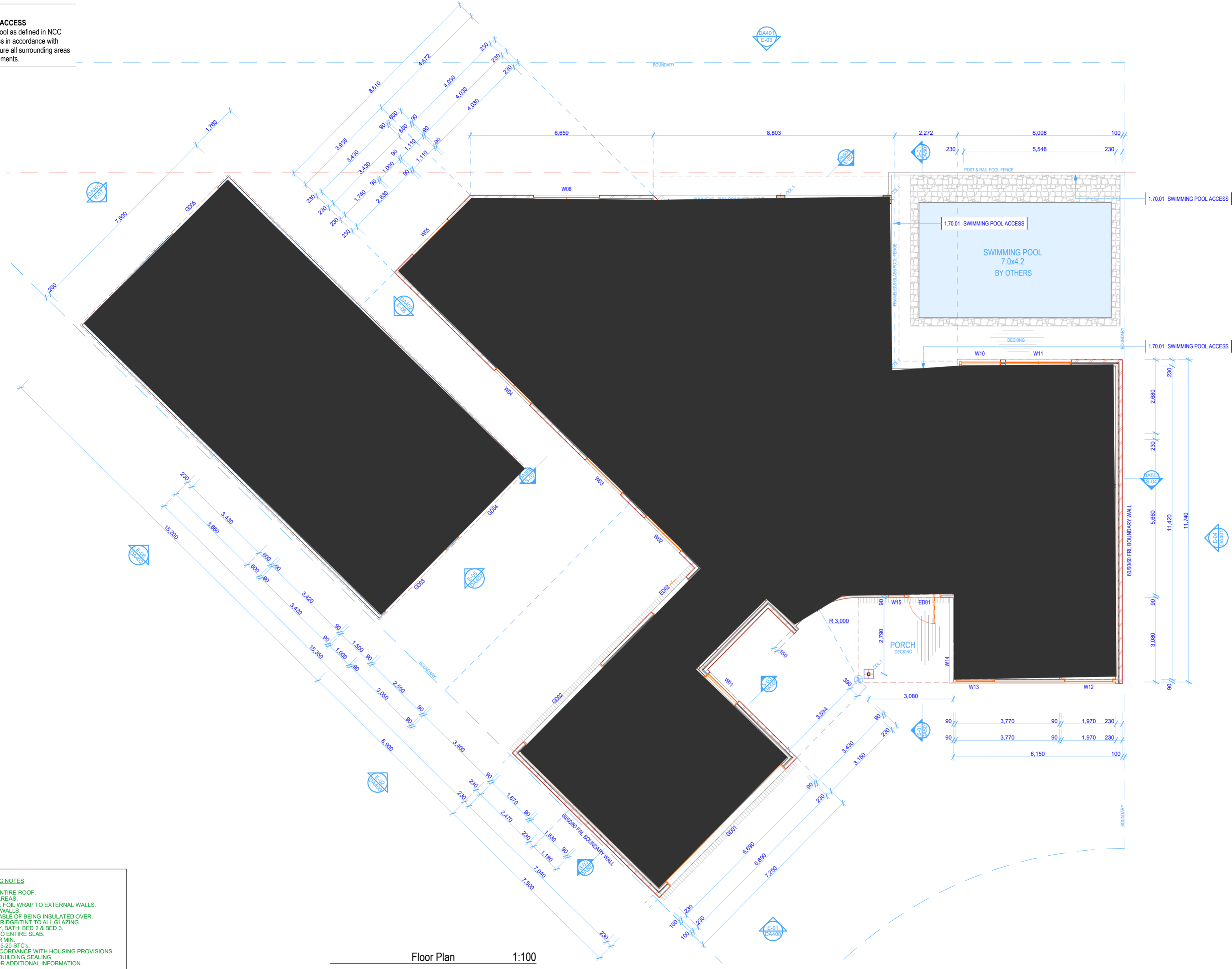


Notes

- 1 1.70.01 Site Specific SWIMMING POOL ACCESS
 Ensure swimming pool as defined in NCC has restricted access in accordance with AS1926.1 & 2. Ensure all surrounding areas meets these requirements.

- FLOOR PLAN LEGEND:**
- WC DOOR NOTE: PROVIDE READILY REMOVABLE HINGES FROM THE OUTSIDE OF COMPARTMENT IN ACCORDANCE WITH HOUSING PROVISIONS PART 10.4 FACILITIES.
 - RANGE/GAS COOKTOP NOTE: RANGE HOOD & GAS COOKTOP IN ACCORDANCE WITH AS/NZS5501.1:2022 GENERAL INSTALLATIONS. 650mm MIN CLEARANCE TO RANGE HOOD.
 - ALL EXHAUST FANS TO BE DUCTED EXTERNALLY & BE FITTED WITH BACKDRAFT DAMPERS. EXHAUST FANS IN ACCORDANCE WITH HOUSING PROVISIONS PART 10.8 CONDENSATION MANAGEMENT.
 - HANDRAIL NOTE: PROVIDE ADDITIONAL NOGGINGS/PLYWOOD STRUCTURAL SHEETING IN WALL FRAMES FOR HANDRAILS.
 - SMOKE DETECTOR'S INSTALLED TO AS 3786 & SMOKE DETECTOR'S TO BE CONNECTED TO MAINS POWER (& BATTERY BACKUP) & INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM INSTALLED. & IN ACCORDANCE WITH HOUSING PROVISIONS PART 9.5 SMOKE ALARMS AND EVACUATION LIGHTING.
- STORMTECH EXTERNAL DRAINAGE SYSTEM NOTE:
 SUB SILLS TO BE CONNECTED TO AS REQUIRED TO CONSTRUCT FLUSH SILLS.
 CONNECT TO STORMWATER SYSTEM WITH OUTLET 200mm MIN BELOW FFL. ENSURE TERMITE BARRIER IS NOT COMPROMISED AND AS REQUIRED PROVIDE ALTERNATIVE SOLUTION TO SATISFACTION OF RBS.
- ⊕ DENOTES VERTICAL ARTICULATION JOINTS: IN ACCORDANCE WITH HOUSING PROVISIONS PART 5.6 MASONRY COMPONENTS AND ACCESSORIES.

- FLOOR PLAN LEGEND:**
- ⊕ DENOTES SHS COLUMN TO ENGINEERS DETAILS
 - W01 WINDOWS. REFER TO SCHEDULE
 - ED01 EXTERNAL DOOR. REFER TO SCHEDULE
 - ID01 INTERNAL DOOR. REFER TO SCHEDULE
 - CS01 CUPBOARD SLIDING DOORS
 - RS01 ROBE SLIDING DOORS
 - G001 GARAGE DOOR. REFER TO SCHEDULE
 - 20mm STEP DOWN
- FIXED APPLIANCES**
- DW DISHWASHER AS SELECTED
 - RH RANGE HOOD AS SELECTED. DUCT EXT/DAMPER
 - UBO UNDER BENCH OVEN AS SELECTED
 - ST FREESTANDING OVEN AS SELECTED
 - CT COOKTOP AS SELECTED
 - WO WALL OVEN AS SELECTED
 - FO FREESTANDING OVEN AS SELECTED
- FIXTURES**
- TR TOWEL RAIL AS SELECTED
 - CH COAT HOOK (BACK OF DOOR) AS SELECTED
 - HR1 HANDRAIL AS SELECTED
 - SWB INTERNAL SWITCHBOARD: CIRCUIT BREAKER & RCD
- PLUMBING FITTINGS**
- SINK KITCHEN SINK AS SELECTED
 - T LAUNDRY TUB AS SELECTED
 - VB VANITY & BASIN AS SELECTED
 - BAS BASIN AS SELECTED
 - WC WATER CLOSET
 - TS TOILET SUITE AS SELECTED
 - SHR SHOWER RECESS AS SELECTED
 - SW SHOWER WASTE AS SELECTED
 - BATH BATH AS SELECTED
- FLOOR FINISHES**
- FW DENOTES FLOOR WASTE CONNECTED TO EFFLUENT WASTE SYSTEM
 - DECKING DECKING BOARDS AS SELECTED
 - F. BOARDS END MATCHED T&G FLOOR BOARDS AS SELECTED
 - VINYL VINYL FLOOR COVERING AS SELECTED
 - TILES FLOOR TILES AS SELECTED
 - FTF FLOATING TIMBER FLOORING AS SELECTED
 - CARPET CARPET & UNDERLAY AS SELECTED
 - CONC CONCRETE SURFACE
 - POLC POLISHED CONCRETE SURFACE
- JOINERY**
- OHC OVER HEAD CUPBOARD AS SELECTED
 - BENCH BENCH WITH CUPBOARD AS SELECTED
 - BR BROOM CUPBOARD AS SELECTED
 - PANTRY PANTRY WITH DRAWERS/SHELVES AS SELECTED
 - ROBE ROBE WITH HANGING/SHELVES AS SELECTED
 - CUPBOARD CUPBOARD WITH DRAWERS/SHELVES AS SELECTED
 - SHELVES OPEN SHELVES AS SELECTED
- LOOSE APPLIANCES**
- DR CLOTHES DRYER AS SELECTED
 - WM WASHING MACHINE AS SELECTED
 - FRG REFRIGERATOR AS SELECTED
- EXTERNAL ITEMS**
- HW HOT WATER STORAGE TANK AS SELECTED
 - METER METER BOX AS SELECTED
 - TANK RAINWATER STORAGE TANK AS SELECTED



SOUTHERN ENERGY RATING NOTES
 INSULATION DETAILS:
 - R1 3.55mm BLANKET TO ENTIRE ROOF.
 - R6.0 BATTS TO CEILING AREAS.
 - R2.5 BATTS + REFLECTIVE FOIL WRAP TO EXTERNAL WALLS.
 - R2.0 BATTS TO INTERNAL WALLS.
 - DOWNLIGHTS TO BE CAPABLE OF BEING INSULATED OVER.
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 - 50mm SLAB INSULATION TO ENTIRE SLAB.
 - TOILETS/TAPWARE 4 STAR MIN.
 - HOT WATER HEAT PUMP: 15-20 STC's.
 ENSURE WORKS ARE IN ACCORDANCE WITH HOUSING PROVISIONS STANDARD 2022 PART 13.4 BUILDING SEALING.
 REFER TO BASIS NOTES FOR ADDITIONAL INFORMATION.

Floor Plan 1:100

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	01-B	Shift boundary wall 100mm	

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 Sheet: A2 Scale: as shown

Drawing Title:
Floor Plan - Proposed
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 Proposed Dwelling

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 Lot 21 Phoenix Court Gol Gol NSW 2738
 Client:
 Adam & Amanda Philp

Print Date: 15/03/2024
 REVISION NO. **01**
 DRAWING NO. **DA300**
 Project No. **2023_002R**
 DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
 and PO Box 11029 MILDURA VIC 3652, ph. 0457 729 190
 em. admin@mildurabuildingdesigns.com.au

Notes

10 Enclosures
 10.02.00 Windows, Doors Skylights
 10.02.25 **ALUM. WINDOWS**
 Selected finished aluminium windows to be in accordance with NCC Housing Provisions Standard Part 8 Glazing, AS2047, AS1288. Ensure bathroom, ensuite and spa room glazing complies. Refer to attached window schedule.

10.04.00 Roofing & Flashing
 10.04.50 **STEEL-CLAD 762 ROOF CLADDING**
 Steeline Steel Clad 762 roof cladding, BMT 0.42 (G550) internal spans 1700mm MAX (1200mm recommended), end spans 1300mm MAX (800mm recommended). Crest pierce fixing. Refer to manufactures specifications. Finish to be nominated.

10.06.00 Enclosure - Cemintel
 10.06.70 **7.5mm TEXTURE BASE SHEET**
 Cemintel Facade Cladding with recessed edge profile installed in accordance with manufactures details and specifications.

10.15.00 Masonry Veneer
 10.15.10 **BRICK VENEER**
 Selected clay face brickwork with wall ties (medium duty min.) every 4th course & at 600 cts max. Provide central joints. All installed in accordance with AS3700-2011 and AS4773.1/AS4773.2.

10.17.00 Metal Wall Cladding
 10.17.32 **SHARPLINE WALL CLADDING**
 Selected finish Stramit 0.55mm (G300) thick Sharpline COLORBOND wall cladding installed vertical in accordance with manufactures specifications. Ensure additional noggings/battens as required.

10.18.00 Timber Cladding & trims
 10.18.21 **BLACKBUTT CLADDING**
 Blackbutt cladding horizontal fix. 122x 19mm shiplap profile. Fix securely and apply approved sealing material in accordance with manufactures specifications.

13 Finish

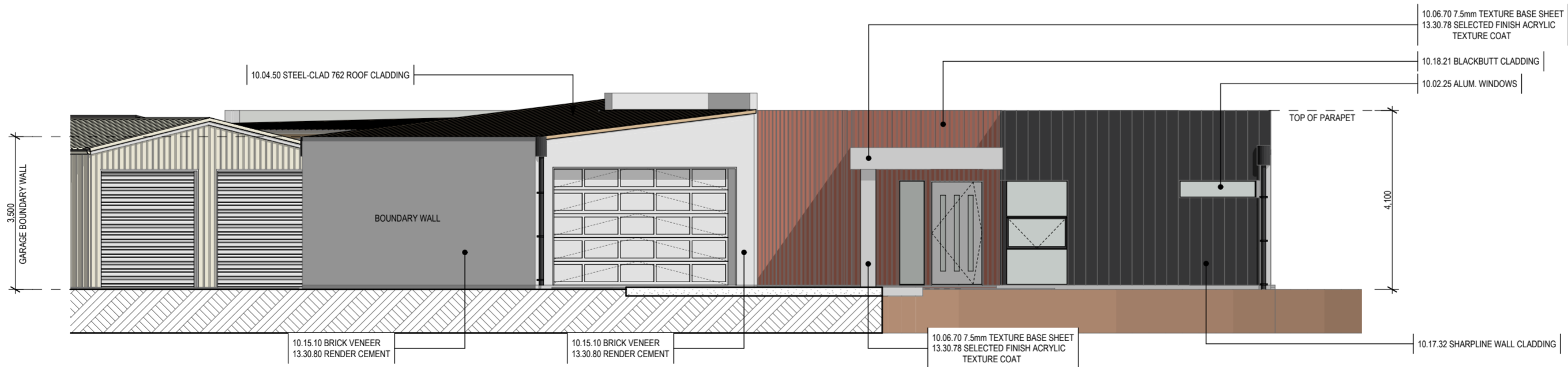
13.30.00 External
 13.30.78 **SELECTED FINISH ACRYLIC TEXTURE COAT**
 Use Dulux or similar approved acrylic texture coat system with selected finish to approved substrate.

13.30.80 **RENDER CEMENT**
 Traditional sand/cement render with quality final finish to be nominated prior to works commencing. Selected painted finish.

EXTERNAL FINISHES	
ROOF - COLORBOND 'DOVER WHITE'	
GUTTER - COLORBOND 'MONUMENT'	
FASCIA - COLORBOND 'MONUMENT'	
WALLS (RENDERED) - WHITE	
WALLS (BLACKBUTT) - HAYMES CLEAR COAT SEAL	
GARAGE DOORS - COLORBOND 'DOVER WHITE'	
WINDOW/DOOR FRAMES - COLORBOND 'MONUMENT'	
WALLS (STANDING SEAM) - COLORBOND 'MONUMENT'	
ROOF (SHED) - BEST SHEDS 'OFF WHITE'	
WALLS/DOORS (SHED) - BEST SHEDS 'OFF WHITE'	
BOUNDARY FENCE - COLORBOND 'MONUMENT'	



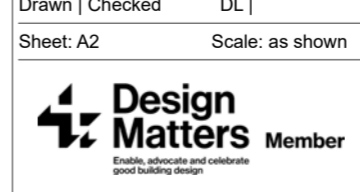
E-02 Elevation 1:100
 DA300



E-01 Elevation 1:100
 DA300

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RevID	CHD	Change Name	Date
00			29/02/2024
01	01-A	Shift boundary wall 100mm	15/03/2024
	01-B	Shift boundary wall 100mm	



Drawn | Checked DL |
 Sheet: A2 Scale: as shown

Drawing Title:
 Elevations - Dwelling

Project Name:
 Proposed Dwelling

Site:
 Lot 21 Phoenix Court Gol Gol NSW 2738

Client:
 Adam & Amanda Philp

Print Date: 15/03/2024

REVISION NO. **01**

DRAWING NO. **DA400**

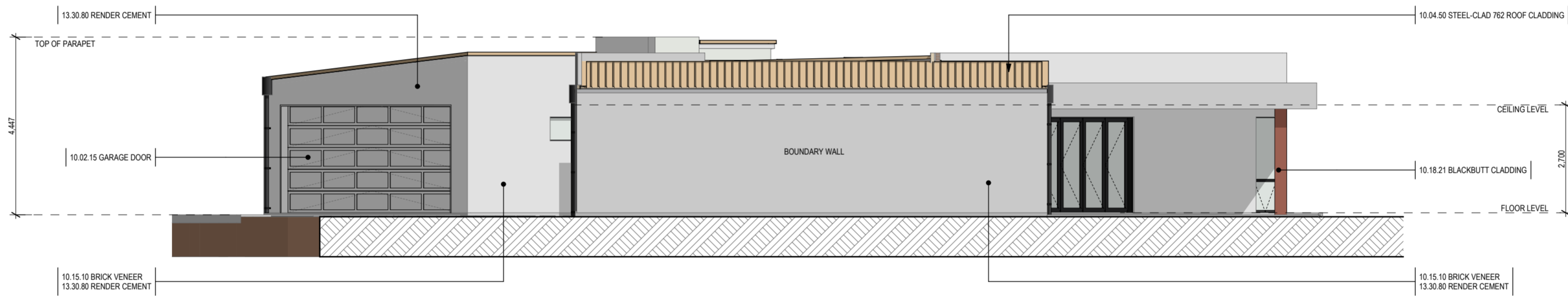
Project No. **2023_002R**

DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
 est. PO Box 110282 MILDURA VIC 3652 ph 0457 729190
 em. admin@mildurabuildingdesigns.com.au

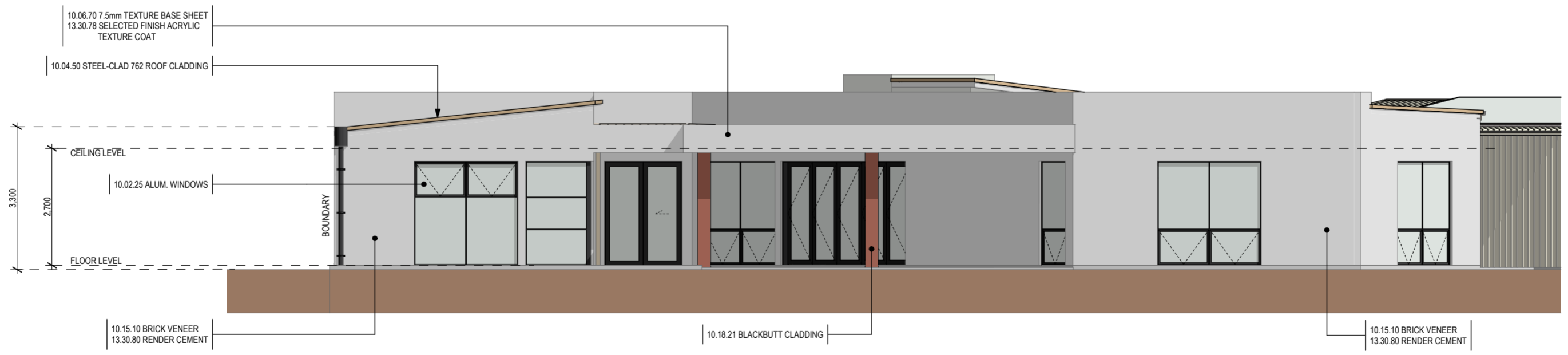
20 Meters @ 1:100

Development Application Issue

Notes		
10	Enclosures	13
10.02.00	Windows, Doors Skylights	13.30.00
10.02.15	GARAGE DOOR Approved power coat finish sectional garage door assembly. Heavy duty galvanised frame and rollers. Supplied with min. 2 remotes.	13.30.78
10.02.25	ALUM. WINDOWS Selected finished aluminium windows to be in accordance with NCC Housing Provisions Standard Part 8 Glazing, AS2047, AS1288. Ensure bathroom, ensuite and spa room glazing complies. Refer to attached window schedule.	13.30.80
10.04.00	Roofing & Flashing	
10.04.50	STEEL-CLAD 762 ROOF CLADDING Steeline Steel Clad 762 roof cladding, BMT 0.42 (G550) internal spans 1700mm MAX (1200mm recommended), end spans 1300mm MAX (800mm recommended). Crest piece fixing. Refer to manufactures specifications. Finish to be nominated.	
10.06.00	Enclosure - Cemintel	
10.06.70	7.5mm TEXTURE BASE SHEET Cemintel Facade Cladding with recessed edge profile installed in accordance with manufactures details and specifications.	
10.15.00	Masonry Veneer	
10.15.10	BRICK VENEER Selected clay face brickwork with wall ties (medium duty min.) every 4th course & at 600 cts max. Provide conral joints. All installed in accordance with AS3700-2011 and AS4773.1/AS4773.2.	
10.18.00	Timber Cladding & trims	
10.18.21	BLACKBUTT CLADDING Blackbutt cladding horizontal fix. 122x 19mm shiplap profile. Fix securely and apply approved sealing material in accordance with manufactures specifications.	

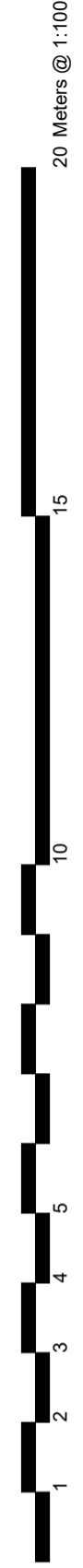


E-04 Elevation 1:100
DA300



E-03 Elevation 1:100
DA300

EXTERNAL FINISHES	
ROOF - COLORBOND 'DOVER WHITE'	
GUTTER - COLORBOND 'MONUMENT'	
FASCIA - COLORBOND 'MONUMENT'	
WALLS (RENDERED) - WHITE	
WALLS (BLACKBUTT) - HAYMES CLEAR COAT SEAL	
GARAGE DOORS - COLORBOND 'DOVER WHITE'	
WINDOW/DOOR FRAMES - COLORBOND 'MONUMENT'	
WALLS (STANDING SEAM) - COLORBOND 'MONUMENT'	
ROOF (SHED) - BEST SHEDS 'OFF WHITE'	
WALLS/DOORS (SHED) - BEST SHEDS 'OFF WHITE'	
BOUNDARY FENCE - COLORBOND 'MONUMENT'	



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RevID	CHD	Change Name	Date
00			29/02/2024
01	01-A	Shift boundary wall 100mm	15/03/2024
	01-B	Shift boundary wall 100mm	









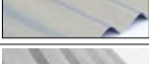


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Sheet: A2 Scale: as shown

Drawing Title: Elevations - Dwelling	Site: Lot 21 Phoenix Court Gol Gol NSW 2738
Project Name: Proposed Dwelling	Client: Adam & Amanda Philp

Project No: 2023_002R	Print Date: 15/03/2024
REVISION NO. 01	DRAWING NO. DA401
DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051 ad. PO Box 110282 MILDURA VIC 3652 ph. 0457 729190 em. admin@mildurabuildingdesigns.com.au	

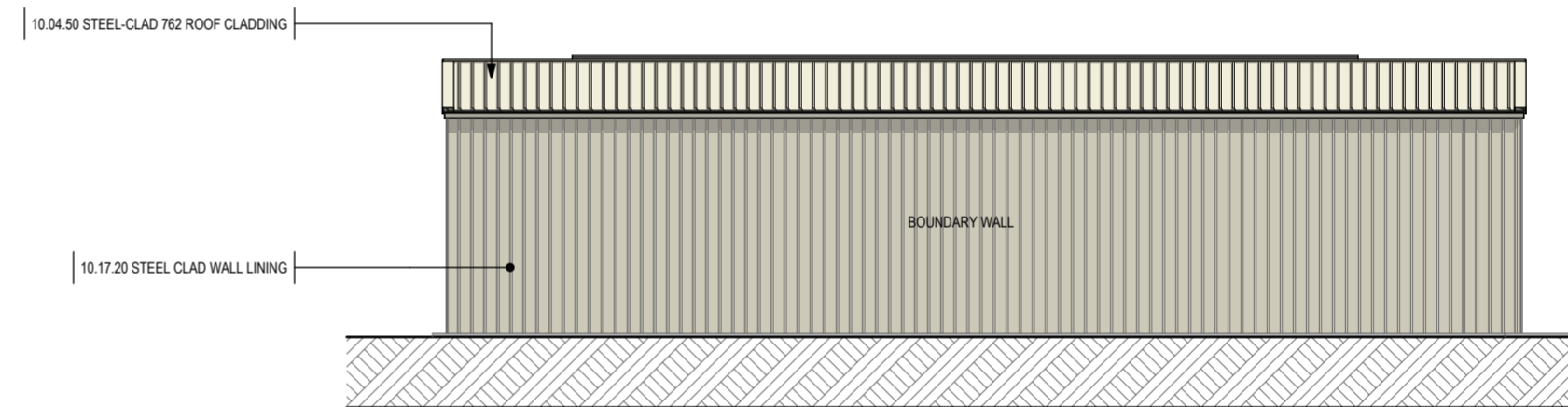
Notes

10	Enclosures
10.02.00	Windows, Doors Skylights
10.02.17	ROLLER DOOR Approved power coat finish commercial grade HD roller door assembly. Heavy duty galvanised frame and rollers. Supplied with min. 2 remotes. Designed to suit wind loadings.
10.04.00	Roofing & Flashing
10.04.50	STEEL-CLAD 762 ROOF CLADDING Steelline Steel Clad 762 roof cladding. BMT 0.42 (G550) internal spans 1700mm MAX (1200mm recommended), end spans 1300mm MAX (800mm recommended). Crest piece fixing. Refer to manufactures specifications. Finish to be nominated.
10.17.00	Metal Wall Cladding
10.17.20	STEEL CLAD WALL LINING Selected finish Steelline 0.42mm (G550) thick steel clad 762 COLORBOND wall cladding installed vertical in accordance with manufactures specifications. Ensure additional noggings/battens as required.
15	Plumbing
15.01.00	Gutters
15.01.10	115 QUAD GUTTER Selected finish 115 Quad gutter. Provide with 10mm back spacer, 5200sq mm capacity MIN. In accordance with NCC Housing Provisions Standards Part 7.4 gutters and downpipes.
18	Services - Power/Communication/Data
18.30.10	SOLAR PV SYSTEM Selected quality rooftop solar photovoltaic (PV) system.

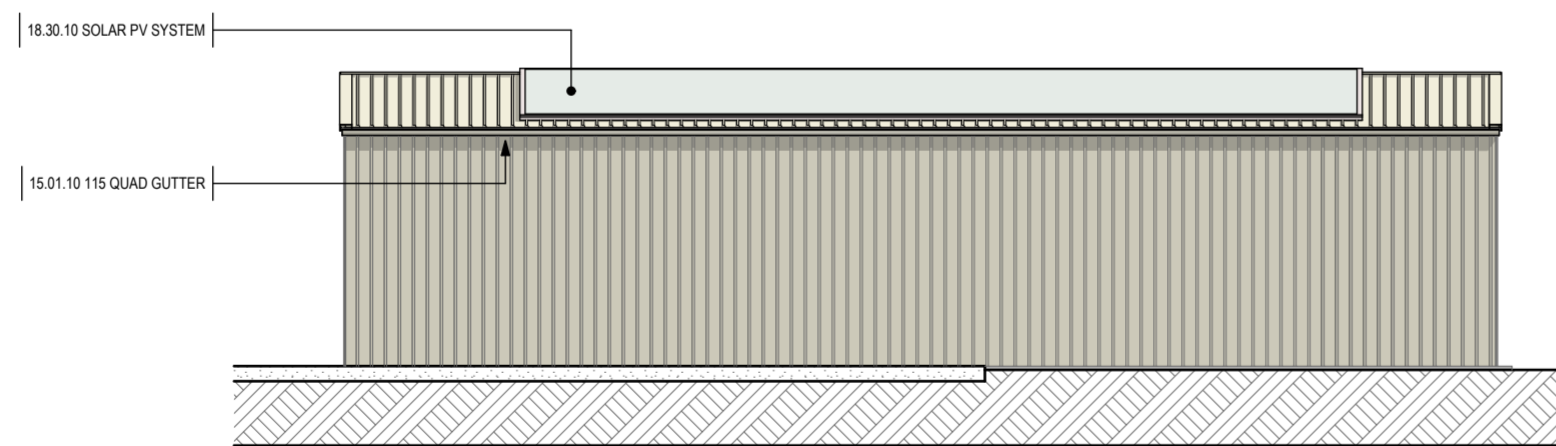
EXTERNAL FINISHES	
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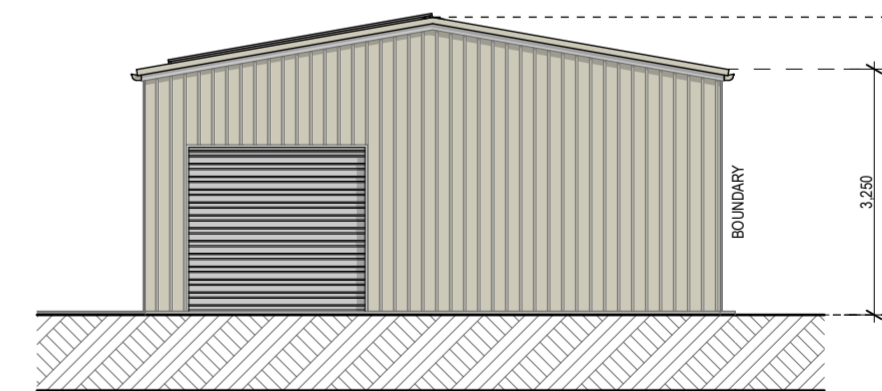
E-05 Elevation 1:100
DA300, DA301



E-06 Elevation 1:100
DA300, DA301



E-08 Elevation 1:100
DA300, DA301



E-07 Elevation 1:100
DA300, DA301

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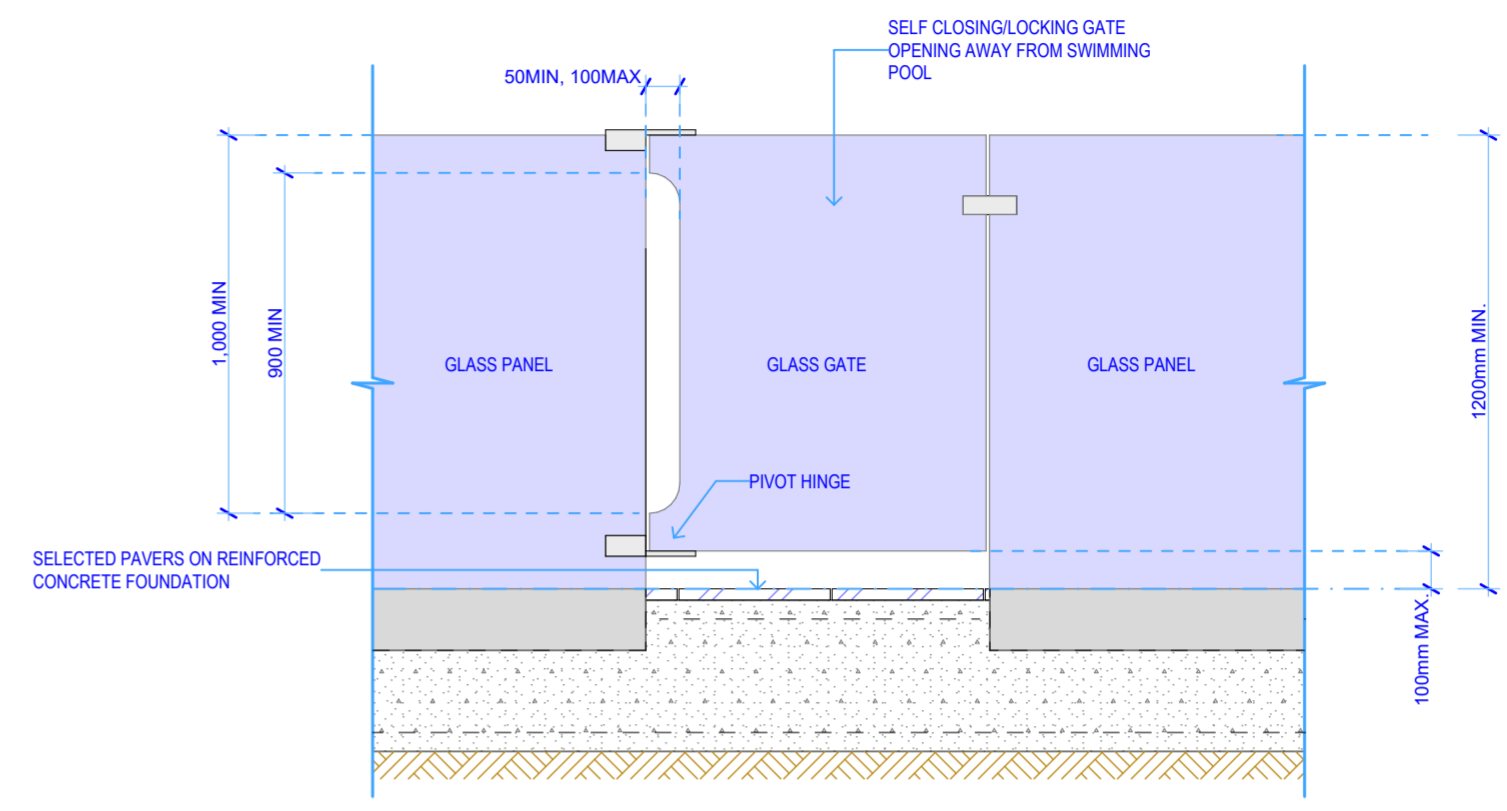
RevID	CHD	Change Name	Date
01			15/03/2024



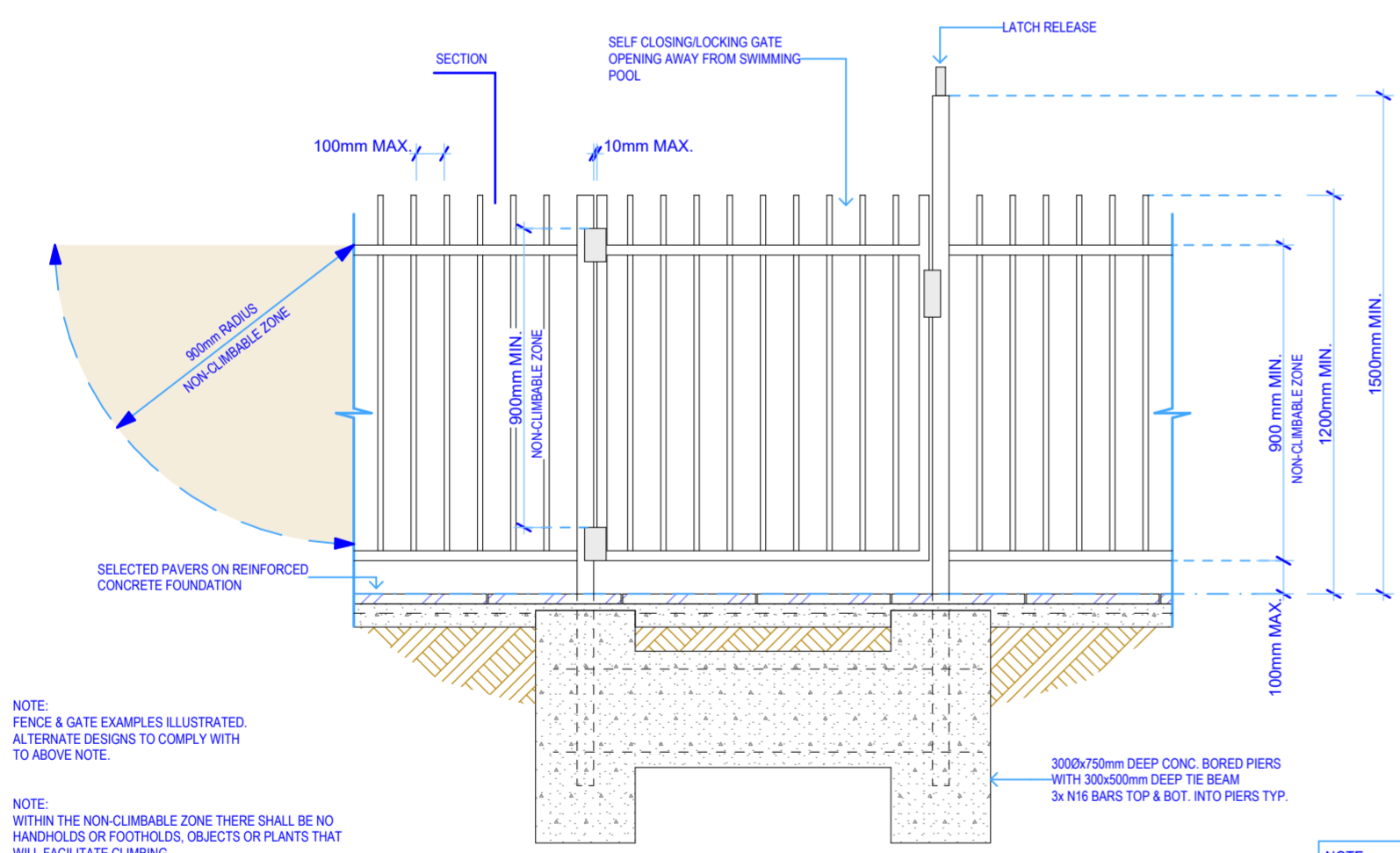
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Sheet: A2 Scale: as shown	Elevations - Shed	Lot 21 Phoenix Court Gol Gol NSW 2738
	Project Name:	Client:
	Proposed Dwelling	Adam & Amanda Philp

Project No. 2023_002R	Print Date: 15/03/2024
	REVISION NO. 01
	DRAWING NO. DA402
DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051 ed. PO Box 110282 MILDURA VIC 3552 ph. 0457 729190 em. admin@mildurabuildingdesigns.com.au	

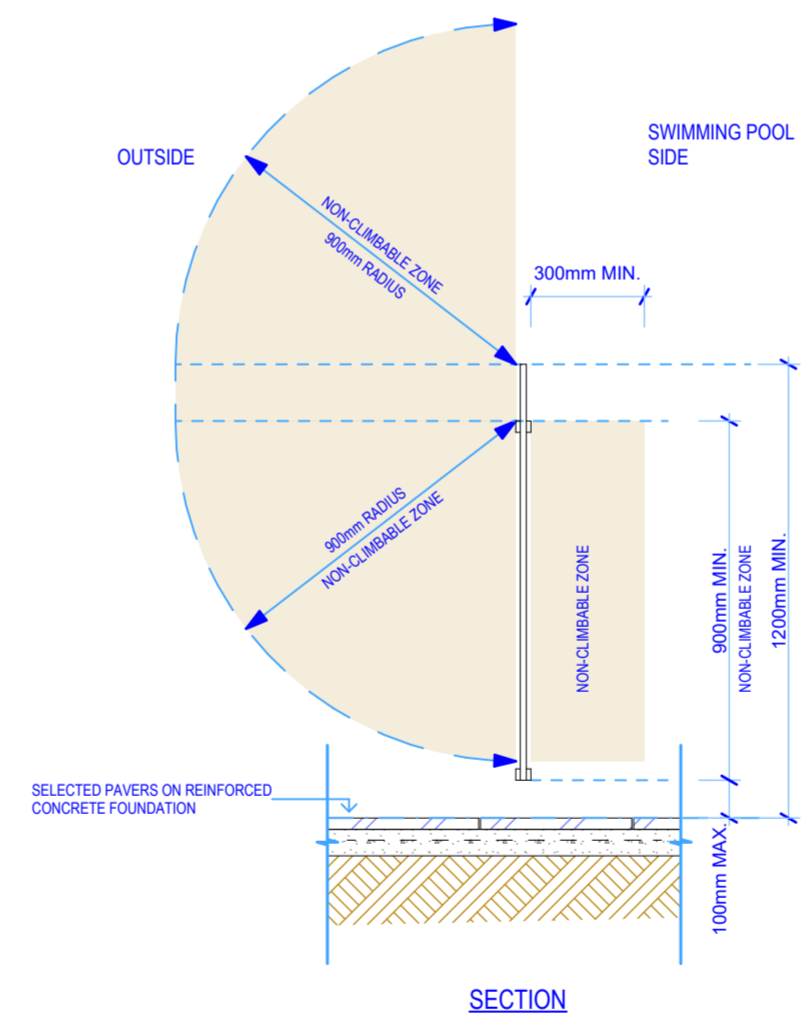
Development Application Issue



GLASS GATE WITH PIVOT HINGES



FENCE & GATE ELEVATION



SECTION

NOTE:
ALL WORKS TO BE IN ACCORDANCE WITH
NCC2022 VOL. 2, PART H7 ANCILLARY PROVISIONS AND ADDITIONAL CONSTRUCTION REQUIREMENTS,
H7D2 SWIMMING POOLS, NSW LEGISLATION, SWIMMING POOL REGULATIONS, AS1926.1 2012, AS1926.2 2007.

NOTE:
FENCE & GATE EXAMPLES ILLUSTRATED.
ALTERNATE DESIGNS TO COMPLY WITH
TO ABOVE NOTE.

NOTE:
WITHIN THE NON-CRIMBLE ZONE THERE SHALL BE NO
HANDHOLDS OR FOOTHOLDS, OBJECTS OR PLANTS THAT
WILL FACILITATE CLIMBING.
THIS APPLIES TO THE PERIMETER (OUTSIDE OF SWIMMING
POOL ENCLOSURE) OF THE POOL FENCING
BARRIER TYPICAL.

300x750mm DEEP CONC. BORED PIERS
WITH 300x500mm DEEP TIE BEAM
3x N16 BARS TOP & BOT. INTO PIERS TYP.

0. Typ. Swimming Pool Fence Details 1:20

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RevID	ChID	Change Name	Date
01			15/03/2024



Drawn | Checked DL |
Sheet: A2 Scale: as shown

Drawing Title:
Details

Project Name:
Proposed Dwelling

Site:
Lot 21 Phoenix Court Gol Gol NSW 2738

Client:
Adam & Amanda Philp

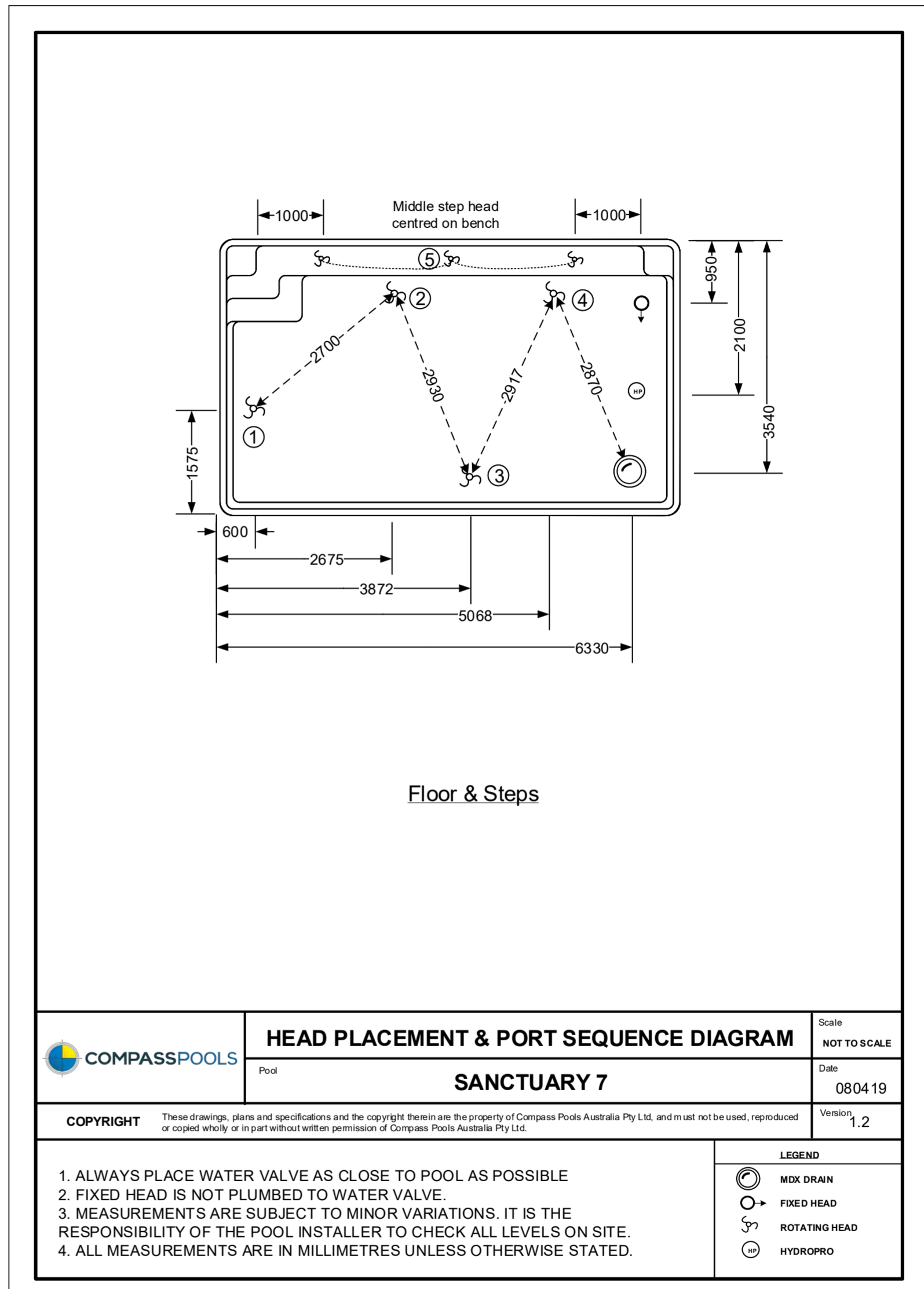
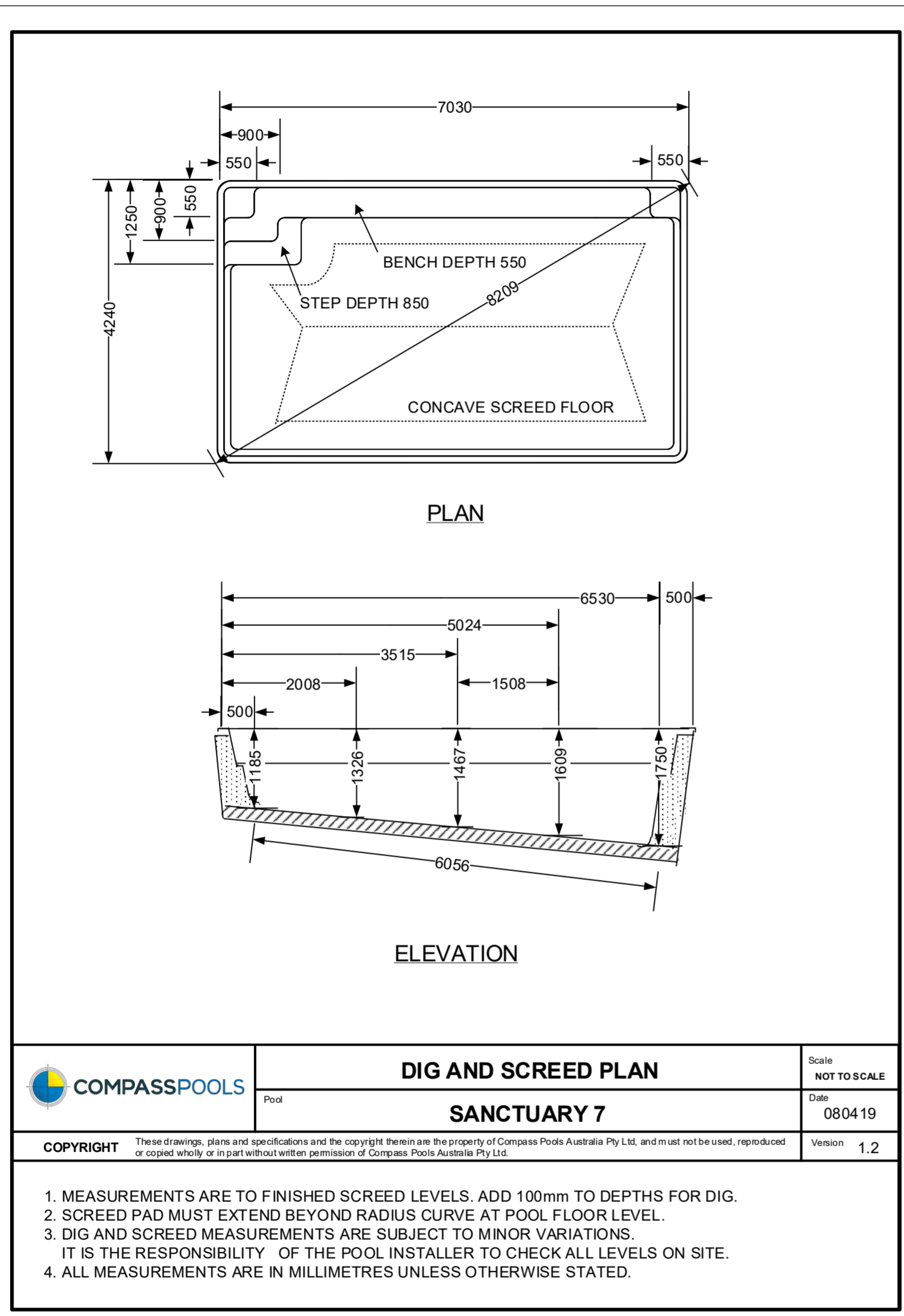
Print Date: 15/03/2024

REVISION NO. 01

DRAWING NO. DA700

Project No. 2023_002R

DARREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
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RevID	CHID	Change Name	Date
01			15/03/2024

MILDURA
BUILDING DESIGNS

Drawn | Checked DL |
 Sheet: A2 Scale: as shown

Drawing Title: Pool Details	Site: Lot 21 Phoenix Court Gol NSW 2738	Print Date: 15/03/2024
Project Name: Proposed Dwelling	Client: Adam & Amanda Philp	REVISION NO. 01 DRAWING NO. DA701

Project No. **2023_002R**
 DAREN LAMBERT - BUILDING PRACTITIONER Reg. No. DP-AD 47051
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 em. admin@mildurabuildingdesigns.com.au