

Statement of Environmental Effects

Accompanying a development application for

Proposed Dwelling

At

Lot 1/DP1133589

1 Tallawalla Road, Coomealla, NSW 2717

31 January 2023



DOCUMENT VERIFICATION

Prepared for: Hayley Mitchell and Ethan Langanke

Project File Number: FP-2301-01-PP

Revision	Date	Prepared by:	Reviewed by:	Approved by:
V1	31/01/2023	Warrick Fisher	N/A	Warrick Fisher

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This report has been prepared for the purpose of applying for a planning permit for the particular project described in the report and on the basis of specialist advice provided by others. No responsibility is accepted for the use of any part of this report for any other purposes or for the advice provided by others.



CERTIFICATION

To the best of our knowledge this report contains all available information relevant to the assessment of the proposal and is true and correct at the time of writing.

Prepared by:

Name: Warrick Fisher
Position: Director
Qualifications: BUrbRgnlPlan (EnvPlan)



Signature:

Date: 31/01/2023



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1 INTRODUCTION

This statement of environmental effects (“**SEE**”) accompanies the development application and associated documentation that has been prepared by Fisher Planning Pty Ltd for a proposed dwelling at 1 Tallawalla Road, Coomealla, NSW 2717.

This SEE is submitted as part of the application on behalf of Ethan Langanke (“**Landowner**”) for approval by Wentworth Shire Council (“**Council**”). A completed application is submitted via the NSW Planning Portal.

In preparing this SEE, I have reviewed the relevant planning documents, and have relied on the plans appended to this report.

1.1 KEY INFORMATION

Site	1 Tallawalla Road, Coomealla, NSW 2717
Legal Description	Lot 1 on Deposited Plan 1133589
Site Area	4,448m ²
Owner	Ethan Langanke
Applicant	Fisher Planning Pty Ltd on behalf of the owner
LEP	Wentworth Local Environment Plan 2011
Zoning	IN2 – Light Industrial (“ IN2 ”)
Proposal	Development of a dwelling



2 SITE AND SURROUNDING ENVIRONMENT

2.1 SITE

The land is described as Lot 1 on Deposited Plan 1133589, otherwise known as 1 Tallawalla Road, Coomealla, NSW 2717.

The allotment can be described as rectangular in shape, refer to Figure 1 below.



Figure 1 – Subject allotment

The site has frontage to Tallawalla Road (east) and Pump Station Road (west).

There is an existing industrial brick building fronting Pump Station Road that is used by the owner of the land for their swimming pool servicing and maintenance business (Langanke Pool Services – ABN 51 733 528 186).

The existing pool servicing and maintenance business has used the subject site since Ethan Langanke purchased the property. Ethan Langanke is the owner of the business and the business operates 24/7 and has two (2) employees.

The site is not subject to any known contamination, erosion, acid sulphate soils or fill.

There are no significant views to or from the site.

There are no notable site features or characteristics.



2.2 SURROUNDING NEIGHBOURHOOD

The surrounding environment consists of a mix of allotment sizes and uses. The IN2 land shown on the Figure 2 below details the land is a pocket of IN2 zoned land surrounded by RU1 – Primary Production to the west and north, RU5 - Village to the east, RU4 – Primary Production Small Lots to the south and north, and R5 – Village to the southwest.

There are numerous allotments in the IN2 zone shown below that contain dwellings. Figure 2 below details the allotments in the IN2 that contain dwellings.



Figure 2: Surrounding allotment sizes, zones and allotments containing dwellings (red stars)

The local area can be characterised by residential uses in the southern half of the existing IN2 zoned area shown in Figure 2 above and the northern half contains industrial uses such as EE Muir and Sons Pty Ltd and Fox and Lillie Rural Pty Ltd abutting the Silver City Highway and a car wrecking yard along Tallawalla Road. There are no other known industrial uses in the northern half of the IN2 land detailed in Figure 2 above. The majority of land is used for residential purposes.



3 PROPOSAL

3.1 INTRODUCTION

The proposal is for the development of a dwelling on land located at 1 Tallawalla Road, Coomealla and formally known as Lot 1 in Deposited Plan 1133589. The proposed dwelling is to be used in association with the existing business located on the land.

The existing land is used for a pool servicing and maintenance business (Langanke Pool Services) that has been operating from the land since the owner (Ethan Langanke) purchased the property. The owner of the land wishes to reside on the land as the business operates 24/7. The existing brick building fronting Pump Station Road is used for the existing pool business. The building is also used for storage of equipment and materials used in the pool business.

Dwelling

The proposed dwelling is to be located fronting Tallawalla Road. The dwelling consists of four (4) bedrooms, double garage, two (2) bathrooms, separate lounge, family/dining/kitchen area, and outdoor alfresco.

The proposed dwelling is 236.76m² in total area being only 5.3% site coverage.

The dwelling is to be setback 15.0 from the Tallawalla Road reserve boundary, 2.55m from the northern side boundary and 5.175m from the southern side boundary. A new access is required from Tallawalla Road. There is an existing access gate at the Tallawalla Road frontage.

The dwelling is to be used in association with the existing industrial use on the land being the owners swimming pool servicing and maintenance business (Langanke Pool Services – ABN 51 733 528 186). The dwelling will allow the owner of the business to reside on the land the business is operating from that will assist in the business which operates 24/7.

The land does not have access to reticulated sewer and an onsite wastewater system is required. The application is supported by a land capability assessment undertaken by CivilTest Mildura. The effluent disposal area is proposed to be located at the rear of the property (refer plans).

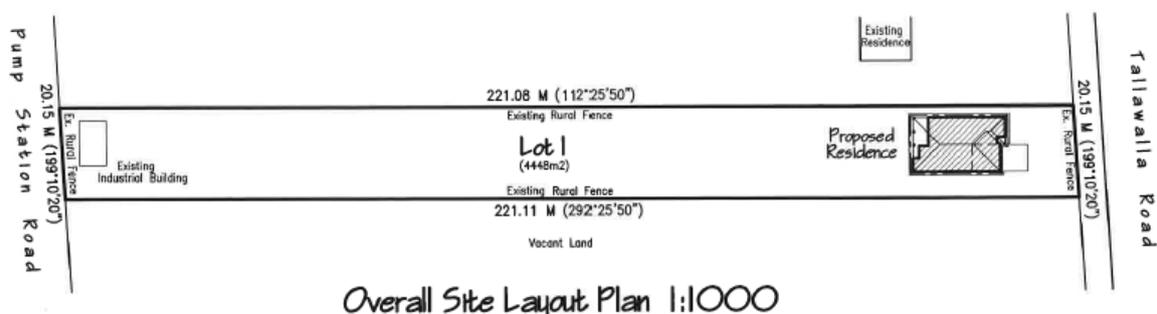


Figure 3 – Proposed dwelling location and existing site plan





Figure 4 – Photo of subject land from Tallwalla Road

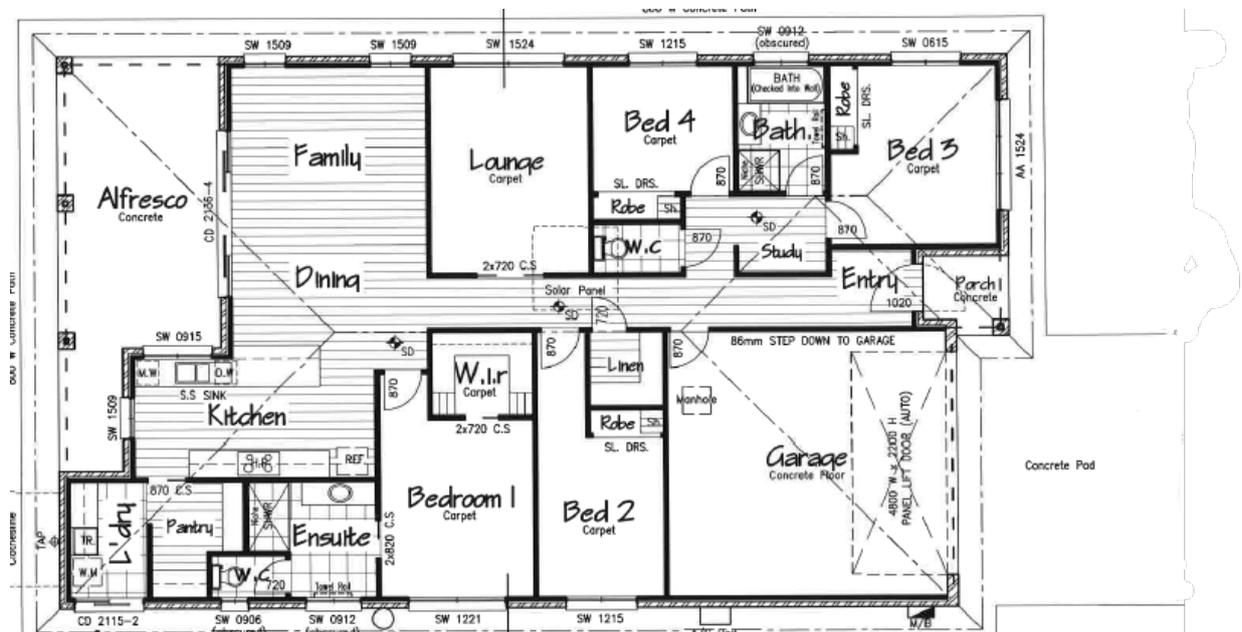


Figure 5 – Proposed dwelling floor plan



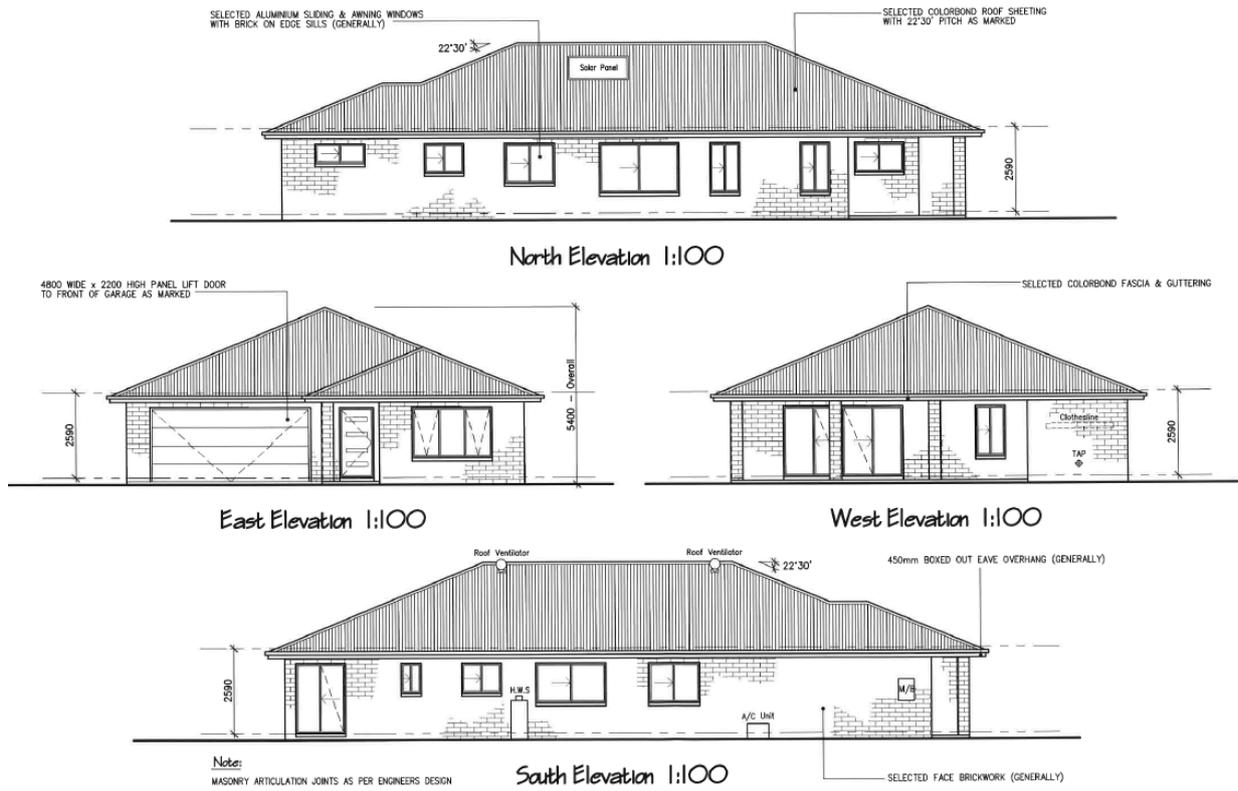


Figure 6 – Proposed dwelling elevations



4 PERMISSABILITY

4.1 INTRODUCTION

The subject land is in the IN2 – Light Industrial zone in accordance with the Wentworth LEP 2011. The minimum lot size for the subject land in the IN2 is 2,000m². The land is not affected by any other control.

4.2 IN2 – LIGHT INDUSTRIAL

The Objectives of the Zone are:

- *To provide a wide range of light industrial, warehouse and related land uses.*
- *To encourage employment opportunities and to support the viability of centres.*
- *To minimise any adverse effect of industry on other land uses.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of workers in the area.*
- *To support and protect industrial land for industrial uses.*

The proposed dwelling is permissible with consent in accordance with the IN2 - Light Industrial zone.

The zone has a 2,000m² minimum lot size in accordance with the Wentworth LEP 2011. The subject land is 4,448m². No subdivision is proposed.

A DA is required for this application as the dwelling is permitted with consent in accordance with the zone.

In accordance with the DA triggers for this application and the zone objectives, the following comments are made:

- The proposed dwelling is to be used in association with the existing industrial use on the land being the owners swimming pool servicing and maintenance business (Langanke Pool Services – ABN 51 733 528 186). The dwelling will allow the owner of the business to reside on the land the business is operating from given the business operates 24/7.
- The proposed dwelling will not cause detriment to the existing use of the land. The proposed dwelling will enhance and value add to the existing business on the land by allowing the owner/operator to reside on the land.
- The development will not cause detriment to the surrounding land uses and development, and it is noted dwellings exist on the abutting properties.
- The location of the proposed dwelling is in a cluster of existing dwellings (refer Figure 2).
- The land can accommodate the proposed development.
- The development will not unreasonably increase the demand for public service or public facilities.
- The proposed dwelling is not located in a flood planning area.

It is considered the proposal is not contrary to the zone objectives.



4.3 OTHER CONSIDERATIONS

4.3.1 Visual impacts

The subject land is in an existing IN2 zoned area but is generally being used for residential purposes. The proposed dwelling abuts existing dwellings to the north and south as shown in Figure 2 in this report. The land is generally flat and the dwelling is to be single storey and will not create or impede any existing visual qualities of the area.

It is not considered there are any significant views to or from the subject land.

It is considered the dwelling is well setback and will not cause any visual impact on the road and surrounding properties.

4.3.2 Open space

The subject land is 4,448m² and provides adequate open space.

4.3.3 Overshadowing and Privacy

The proposed dwelling is single storey and well setback from any adjoining land, therefore will not cause any overshadowing or privacy issues on adjoining land.

4.3.4 Noise

Residential noise is expected from this type of development and is considered normal.

4.3.5 Erosion control measures

All erosion control measures will be undertaken by the builder to ensure no offsite impact.

4.3.6 Economic and social impacts

The proposed dwelling will create economic benefit in relation to jobs and using local businesses.

4.3.7 Environmental benefits

There are no adverse environmental impacts that will result from the proposed dwelling. The land is cleared, and no vegetation is required to be removed for the development.

4.3.8 Security, site facilities and safety

The proposed dwelling will be constructed in accordance with the Building Code of Australia and Council requirements.

4.3.9 Traffic

There will be minimal increase in traffic in the local area due to the proposal. A new access crossover is required from Tallawalla Road.



4.3.10 Stormwater/flooding

Stormwater from the dwelling will be retained onsite using pop-ups.

4.3.11 Access and services

A new access crossover is required from Tallawalla Road. All required services are available for the development, including water and power. A land capability assessment is provided with the application detailing wastewater can be managed onsite.



5 CONCLUSION

The application for the development of a dwelling on land known as 1 Tallawalla Road, Coomealla is considered appropriate in this instance as the dwelling will be used in association with the existing industrial use on the land as detailed in this report and the IN2 area contains many existing dwellings. Dwellings abut the north and south boundaries of the subject site.

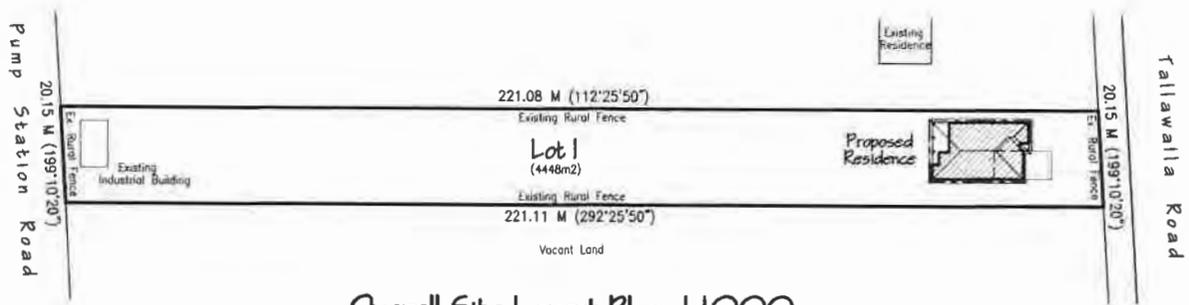
The proposed dwelling will not cause detriment in any way to the surrounding land uses and development. The surrounding uses and development are like the proposal and contain dwellings. The land is not located in a flood planning area.

The proposal represents an efficient use of this land and is consistent with the surrounding land uses and development.

Accordingly, it is recommended the development application be granted.



Rescode Info	
4-10 Building Height	5400
4-11 Site Coverage	Max. 80%
Block Size	4448m ²
Actual Site Coverage	4.6%
4-12 Permeability	Min. 20%
House Area	208.12m ²
Alfresco/Porch Area	28.64m ²
Driveway & Paths	86.00m ²
Total Impermeable Area	322.76m ²
Actual Size	7.2%
Garden Area	92.8%

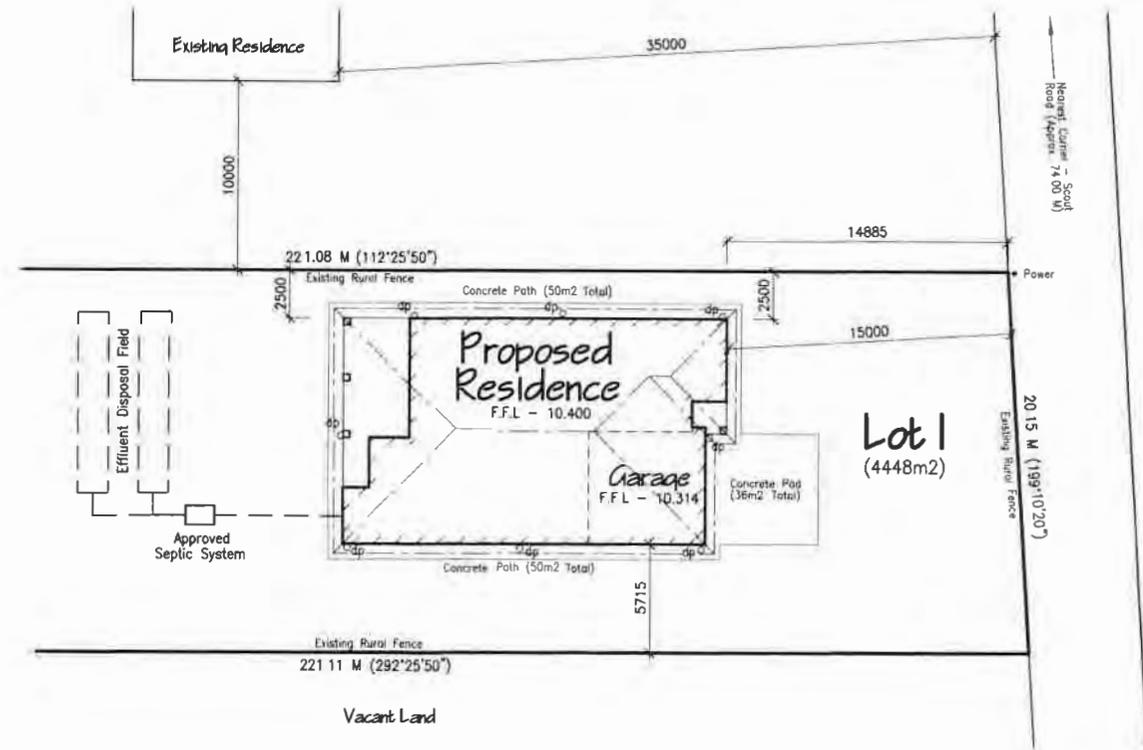


1

Wind Classification: "N2"
 Soil Classification: "M-D"

Detailed Layout Plan 1:250

Note:
 Stormwater to be connected to legal point of discharge to local authority approval
 Approved septic system to be installed to local authority approval & requirements



THIS IS SHEET ___ OF ___ DRAWINGS REFERRED TO IN THE CONTRACT DATED: _____ BUILDER: _____ PROPRIETOR: _____	Amendments Preliminary Drawings 30/11/22 Working Drawings * Altered Drawings *	Date 30/11/22 * *	COPYRIGHT DO NOT SCALE THESE DRAWINGS	G.J Gardner HOMES 87 Lime Street, Mildura Vic. 3500 Office: (03) 5023 1199 Fax: (03) 5023 6099 www.gjgardner.com.au		E Langanke & H Mitchell Proposed Residence At: Lot 1 Pump Station Road, Coomealla	DRAWN: C A W DWG No: 221108
	CHECKED: C A W						SCALE: As Shown SHEET: 1 of 8
	DATE: 30th Nov 2022						



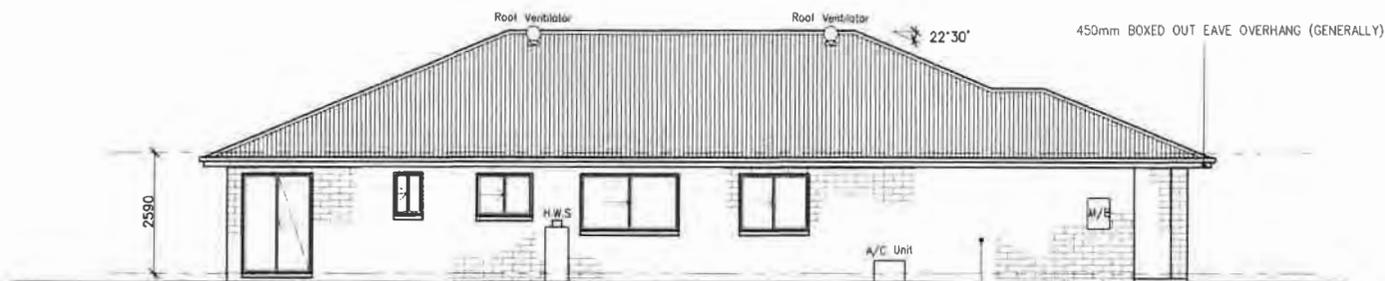
North Elevation 1:100



East Elevation 1:100



West Elevation 1:100



South Elevation 1:100

Note:
MASONRY ARTICULATION JOINTS AS PER ENGINEERS DESIGN

THIS IS SHEET... OF ... DRAWINGS REFERRED TO IN THE CONTRACT DATED: _____ BUILDER: _____ PROPRIETOR: _____	Amendments	Date	COPYRIGHT © DO NOT SCALE THESE DRAWINGS	G.J Gardner. HOMES 87 Lime Street, Mildura Vic. 3500 Office: (03) 5023 1199 Fax: (03) 5023 6099 www.gjgardner.com.au		DRAWN: C.A.W	DWG No 221108
	Preliminary Drawings	30/11/22				CHECKED: C.A.W	SHEET: 3 of 8
	Working Drawings					SCALE: As Shown	
	Altered Drawings					DATE: 30th Nov 2022	
Craig Wight - Registered Building Practitioner - DP AD 36750			E Langanke & H Mitchell Proposed Residence At: Lot 1 Pump Station Road, Coomealla				