

**Development of a water
recreation structure
(stairs)**

**Statement of
Environmental Effects**

**Lot 1 DP1240671 and
adjoining Crown Land
12A Carbone Court
BURONGA 2739**

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**HATCH
PLANNING**



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1. Introduction

This statement of environment effects has been prepared in support of a development application for a water recreation structure associated with the existing use of a dwelling at the site known as Carbone Court, Buronga.

Figure 1 shows the subject land in relation to the surrounding landscape.



Figure 1: Subject site and immediate surrounds (10 February 2022). Source: Metromap.

This report provides details of the site and its environs, the proposal, relevant controls and an assessment against the relevant provisions of the Wentworth Local Environment Plan 2011.

2. Subject site and surrounding area

2.1 Site and area

The subject site, Lot 1 DP1240671, is a 546m² allotment located adjacent the Murray River in the township of Buronga. The subject land is rectangular in shape and contains an existing dwelling which has been located at the site for an extended period of time. Access is currently provided from Carbone Court via an existing crossover.

The proposed development is located along the Riverbank (crown land) adjacent to the subject lot. The proposed section of the riverbank has been subject to significant ground disturbance due to the Carbone Court development being artificially developed. A number of adjoining properties currently enjoy similar natured developments (stairs/pontoons etc).

The surrounding area generally comprises similar sized large-lot residential allotments, with a number of the parcels already containing existing dwellings and associated structures.

The subject site appears to have access to reticulated electricity, telecommunications, water and effluent is managed onsite with a septic system.

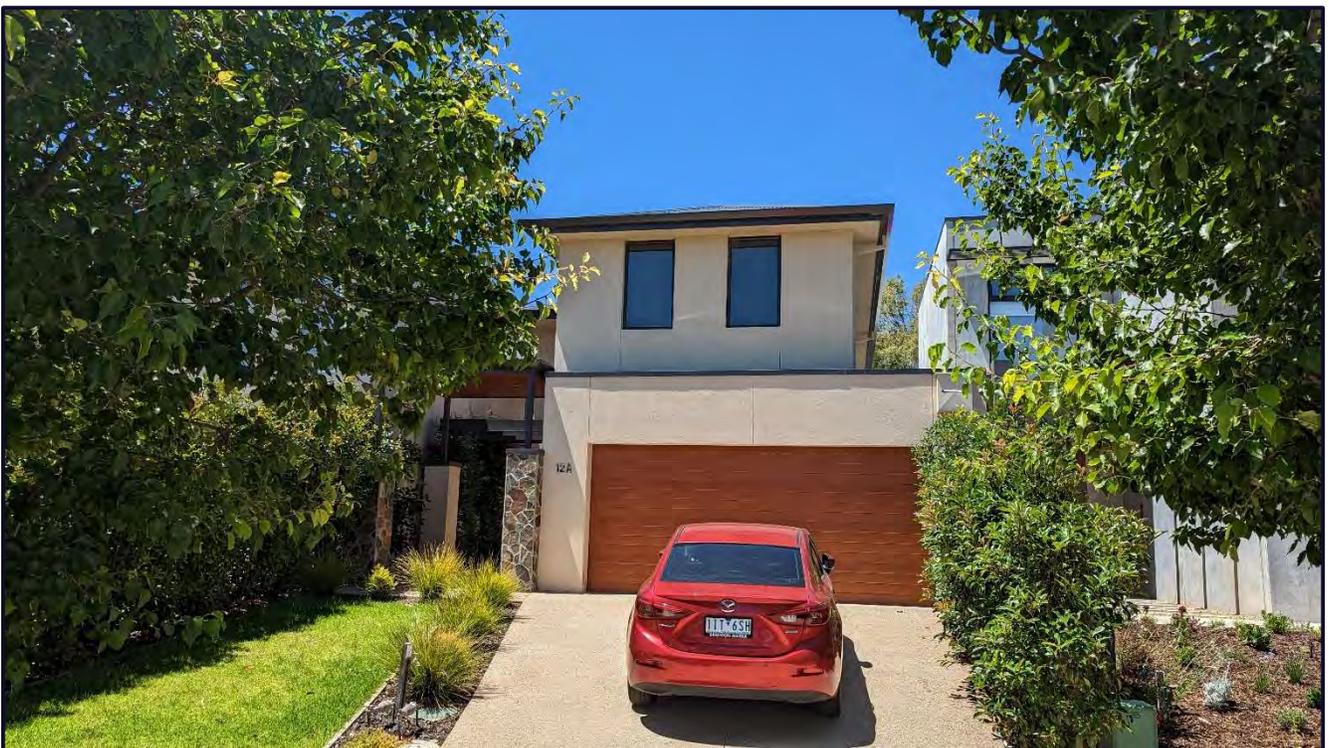


Figure 2: Existing dwelling from Carbone Court



Figure 3: Proposed location of development



Figure 4: Proposed location of development



Figure 5: Proposed location of development

2.2 The proposal

This proposal seeks to develop a water recreation structure (stairs) which are proposed to be located along the riverbank to the south of the subject land.

The stairs are proposed to be 10.3 metres in length and will have an elevation that matches the existing topography of the river bank. The design of the structure has been chosen to have a minimal impact on the Murray River (river bank and flood water). No native vegetation is proposed to be removed as part of this development.

Pursuant to the provisions of the Wentworth Local Environment Plan 2011, a Development Consent is required for the development of an outbuilding on the subject land as proposed.

3. Planning controls

3.1 Wentworth Local Environmental Plan 2011 (LEP)

The proposed development is within the W2 – Recreation Waterways Zone and RU5 – Village Zone

The objectives of the W2 zone are:

- *To protect the ecological, scenic and recreation values of recreational waterways.*
- *To allow for water-based recreation and related uses.*
- *To provide for sustainable fishing industries and recreational fishing.*

The objectives of the RU5 zone are:

- *To provide for a range of land uses, services and facilities that are associated with a rural village.*
- *To promote development in existing towns and villages in a manner that is compatible with their urban function.*
- *To encourage well-serviced sustainable development.*
- *To ensure there are opportunities for economic development.*
- *To deliver new residential and employment growth in Buronga and Gol Gol.*
- *To ensure business and retail land uses are grouped within and around existing activity centres.*

Discussion

This application proposes development that allows users of the existing dwelling to be safely traverse to the Murray River water level; which in turn to enjoy the river (water-based recreation).

As mentioned previously, it is confirmed that the specific parcel of land associated with this application only contains one large existing native tree. This tree is not proposed to be removed as part of this application.

Clause 5.21 Flood planning

The objectives of this clause are as follows—

- *to minimise the flood risk to life and property associated with the use of land,*
- *to allow development on land that is compatible with the flood function and behaviour on the land, taking into account projected changes as a result of climate change,*
- *to avoid adverse or cumulative impacts on flood behaviour and the environment,*
- *to enable the safe occupation and efficient evacuation of people in the event of a flood.*

Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development—

- *is compatible with the flood function and behaviour on the land, and*
- *will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and*
- *will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and*
- *incorporates appropriate measures to manage risk to life in the event of a flood, and*
- *will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.*

Discussion

The proposed development has been designed to allow flood water to pass over and through the development; resulting in minimal to no impacts on the behavior of potential flood water.

The footing size was also designed to be shallow; which will not disturb the overall stability of the River bank. Aside from existing native tree that is located within close proximity to the proposed development, the remaining land is currently unplanted.

Risk of life is not considered to be any higher as result of the proposed stairs being implemented as the development can only be utilised when the river is not in a state of flood.

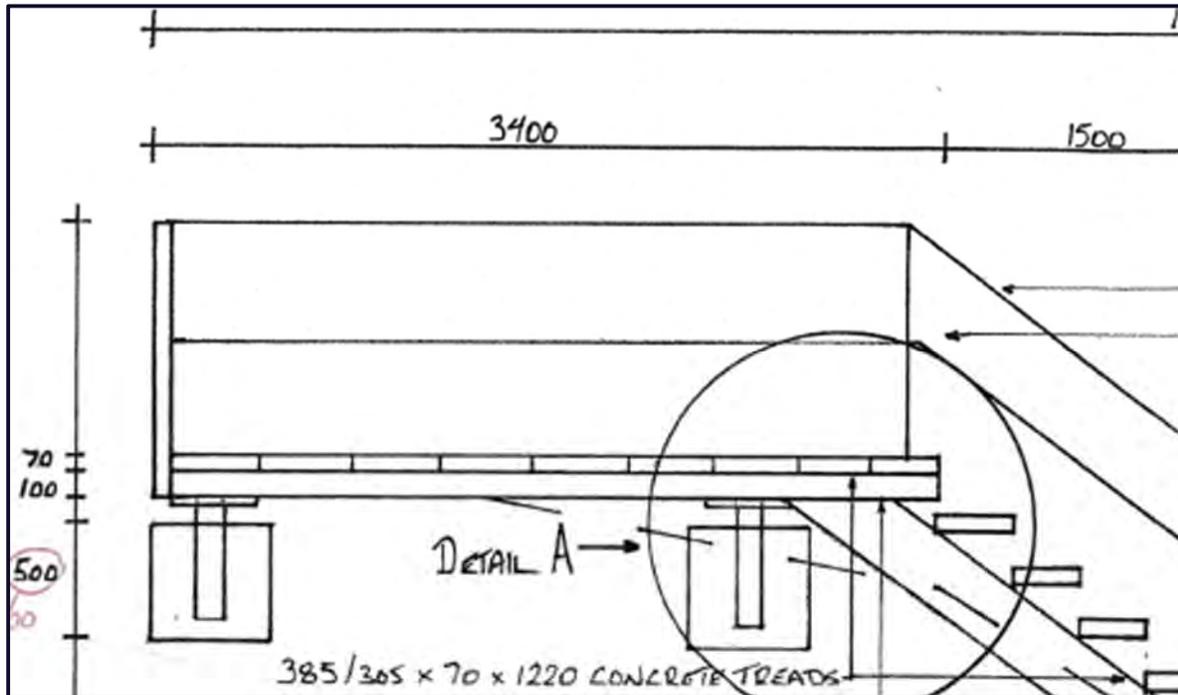


Figure 6: Design demonstrating no restriction of flood water

Clause 7.6 Development on river front areas

The objectives of this clause are as follows—

- to support natural riverine processes, including the migration of the Murray River's channels,
- to protect and improve the bed and bank stability of the Murray River,
- to maintain and improve the water quality of the Murray River,
- to protect the amenity, scenic landscape values and cultural heritage of the Murray River and to protect public access to its riverine corridors,
- to conserve and protect the riverine corridors of the Murray River, including wildlife habitat.

Development consent must not be granted under subclause (2) unless the consent authority is satisfied of the following—

- *that the appearance of the development, from both the Murray River and the river front area will be compatible with the surrounding area,*
- *that the development is not likely to cause environmental harm, including (but not limited to) any of the following—*
 - *pollution or siltation of the Murray River,*
 - *any adverse effect on surrounding uses, riverine habitat, wetland areas or flora or fauna habitats,*
 - *any adverse effect on drainage patterns,*
- *that the development is likely to cause only minimal visual disturbance to the existing landscape,*
- *that continuous public access, and opportunities to provide continuous public access, along the river front and to the Murray River are not likely to be compromised,*
- *that any historic, scientific, cultural, social, archaeological, architectural, natural or aesthetic significance of the land on which the development is to be carried out and of surrounding land is to be maintained.*

Clause 7.7 Riparian land and Murray River and other watercourses – general principals

The objective of this clause is to protect and maintain the following—

- *water quality within the Murray River and other watercourses,*
- *the stability of the bed and banks of the Murray River and other watercourses,*
- *aquatic riparian habitats,*
- *ecological processes within the Murray River and other watercourses and riparian areas.*

Before determining a development application to carry out development on land to which this clause applies, the consent authority must consider whether or not the development—

- *is likely to cause any adverse impact on the following—*

- *the water quality and flows within a watercourse,*
- *aquatic and riparian species, habitats and ecosystems,*
- *the stability of the bed, shore and banks of a watercourse,*
- *the free passage of fish and other aquatic organisms within or along a watercourse,*
- *any future rehabilitation of a watercourse and riparian areas, and*
- *will increase water extraction from a watercourse.*

Clause 7.8 Additional provisions – Development on river bed and banks of the Murray River

The objectives of this clause are as follows—

- *to manage and maintain the quality of water in the Murray River,*
- *to protect the environmental values, scenic amenity and cultural heritage of the Murray River,*
- *to protect the stability of the bed and banks of the Murray River,*
- *to limit the impact of structures in or near the Murray River on natural riverine processes and navigability of the River.*

Development consent must not be granted to any development on land to which this clause applies unless the consent authority is satisfied of the following—

- *that the development is likely to contribute to achieving the objectives of the zone in which the land is located,*
- *that the development will not increase erosion,*
- *that the development is not likely to cause an adverse effect on riverine habitat or flora or fauna habitats,*
- *that the development will not cause an adverse effect on drainage or flow patterns.*

Development consent must not be granted for the erection of a structure on land to which this clause applies unless the consent authority is satisfied of the following—

- *that the proposed structure will not be located on an outside bend of the Murray River,*
- *that the appearance of the proposed structure, from both the Murray River and any adjacent land, will be compatible with the surrounding area,*
- *that the development does not involve, and will not result in, the erection of more than one mooring per lot or per lots owned by the same owner or owners.*

Discussion

Due to the design of the proposed development, it is considered that the health of the Murray River will not be significantly impacted on. As the above site images highlight, the area has no native vegetation (save the existing native tree which is not impacted by the proposal) and this development has the opportunity to facilitate remediation works alongside the stairs to aide in the protection of the riverbank.

Due to the location of this section of crown land; public access is not common. However as the development is not within the waterline; it will not impact on commuters using the river.

3.2 State Environmental Planning Polices (SEPP)

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Clause 5.9

When this Part applies, the following must be taken into account—

Flooding

Where land is subject to inundation by floodwater—

- *the benefits to riverine ecosystems of periodic flooding,*
- *the hazard risks involved in developing that land,*
- *the redistributive effect of the proposed development on floodwater*

- *the availability of other suitable land in the locality not liable to flooding,*
- *the availability of flood free access for essential facilities and services,*
- *the pollution threat represented by any development in the event of a flood,*
- *the cumulative effect of the proposed development on the behaviour of floodwater, and*
- *the cost of providing emergency services and replacing infrastructure in the event of a flood.*

Discussion

As mentioned numerous times previously, the development will have minimal impacts on the health of the Murray River and not create any further risk to human life.

4. Assessment

Visual Impacts

Due to the nature of the development, visual impacts are not considered applicable.

Open Space

Not applicable for this application

Overshadowing and Privacy

Not applicable for this application

Noise

Not applicable for this application.

Erosion Control Measures

Additional erosion control measures are not considered necessary; however rehabilitation of the surrounding vacant riverbank can be planted to aid in the prevention of additional erosion.

Economic and Social Impacts

Given the residential nature of this development, economic or social impacts on the locality are not envisaged.

Environmental Benefits

From the previous assessment found within this submission, there are no significant environmental benefits predicted.

Disabled Access

Not applicable for this application

Security, Site Facilities and Safety

Not applicable for this application

Waste Management

Not applicable for this application



Building Code of Australia

The Construction Certificate will be issued by a Building Surveyor who will review the structures compliance with the Building Code of Australia and Australian Standards.

Traffic

Not applicable for this application

Stormwater/flooding

Not applicable for this application

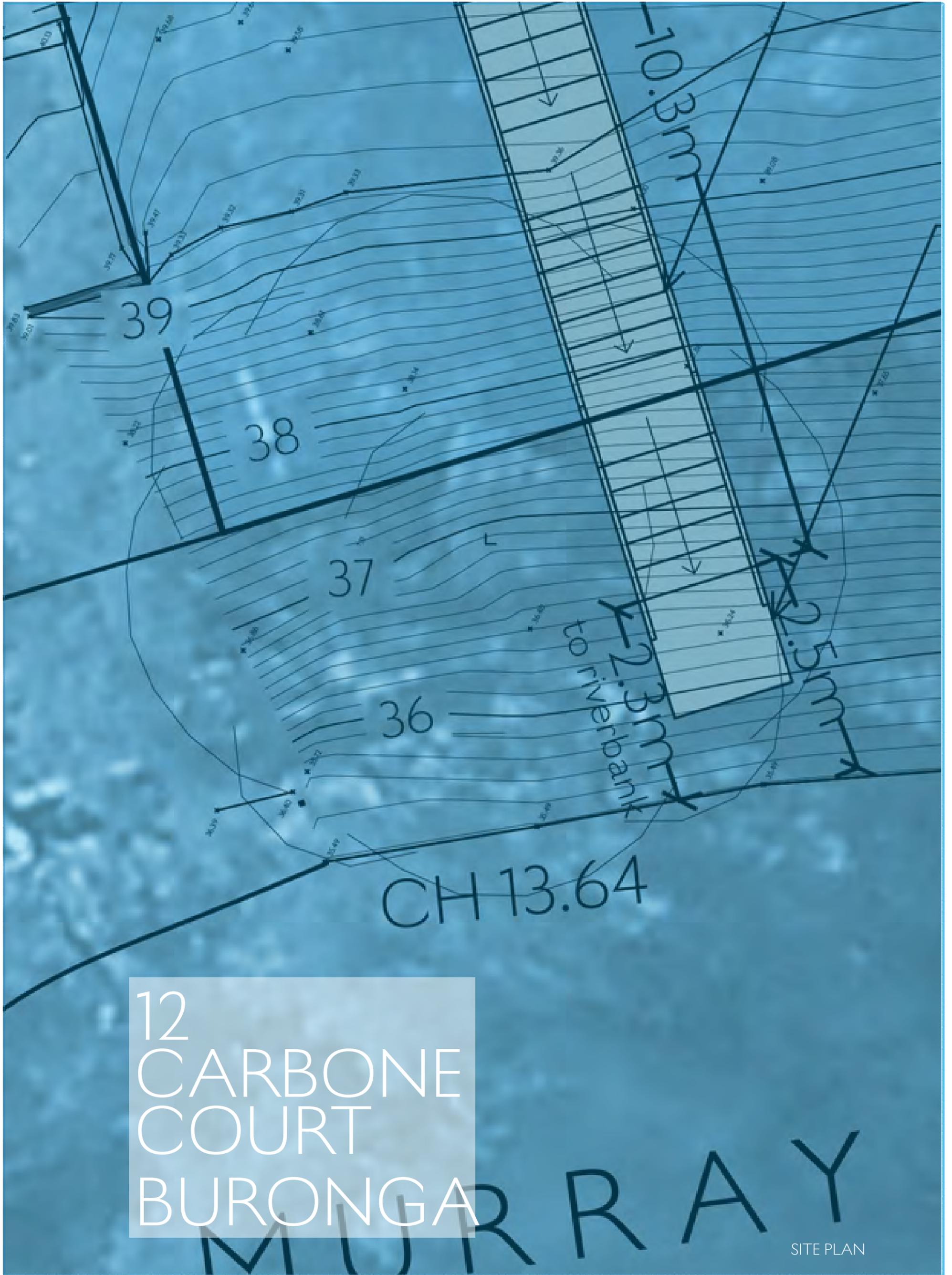
5. Conclusion

This report demonstrates that the proposal is consistent with the relevant provisions of the Wentworth Local Environmental Plan 2011.

The proposed development is appropriate for the site as it:

- Is encouraged within the RU5 Zone and W2 Zone
- Is appropriately located on the subject site.
- Will have minimal impacts on the locality
- Will not result in any significant detrimental impacts on the environment

It is therefore considered that the proposal is worthy of support, and it is therefore respectfully requested that the Wentworth Shire Council grant Development Consent for the development as described in this report at 12A Carbone Court, Buronga.



12
CARBONE
COURT
BURONGA

SITE PLAN

CARBONE COURT

10.18m
62° 18' 00"

R 63.00

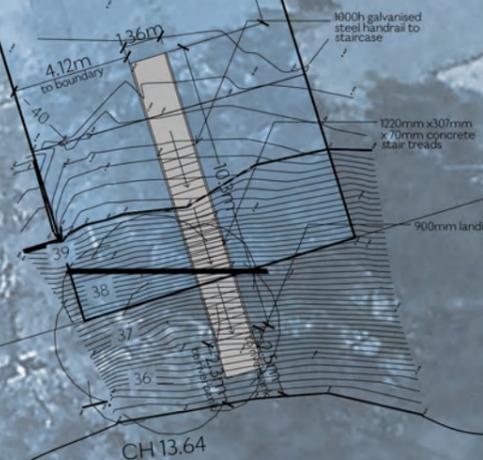
10A Carbone Court
Buronga 2739

12B Carbone Court
Buronga 2739

Lot 1
12 Carbone Court
Buronga 2739
DP 1240671
546sqm

SEE A002 FOR DETAIL

MURRAY RIVER



Lot 1
 12 Carbone Court
 Buronga 2739
 DP 1240671
 546sqm

53.28m
 342° 55' 00"

162° 55' 00"
 55.65m

14.26m
 to dwelling

4.12m
 to boundary

1.36m

4.4 metres

1000h galvanised
 steel handrail to
 staircase

1220mm x307mm
 x 70mm concrete
 stair treads

900mm landing

2.33m
 for riverbank

CH 13.64

MURRAY RIVER



Project	12 CARBONE COURT BURONGA 2739
Client	G.A & S.A KUCHEL
Drawing	SITE PLAN - STAIRS DETAIL

Scale | 1:100 @ A3

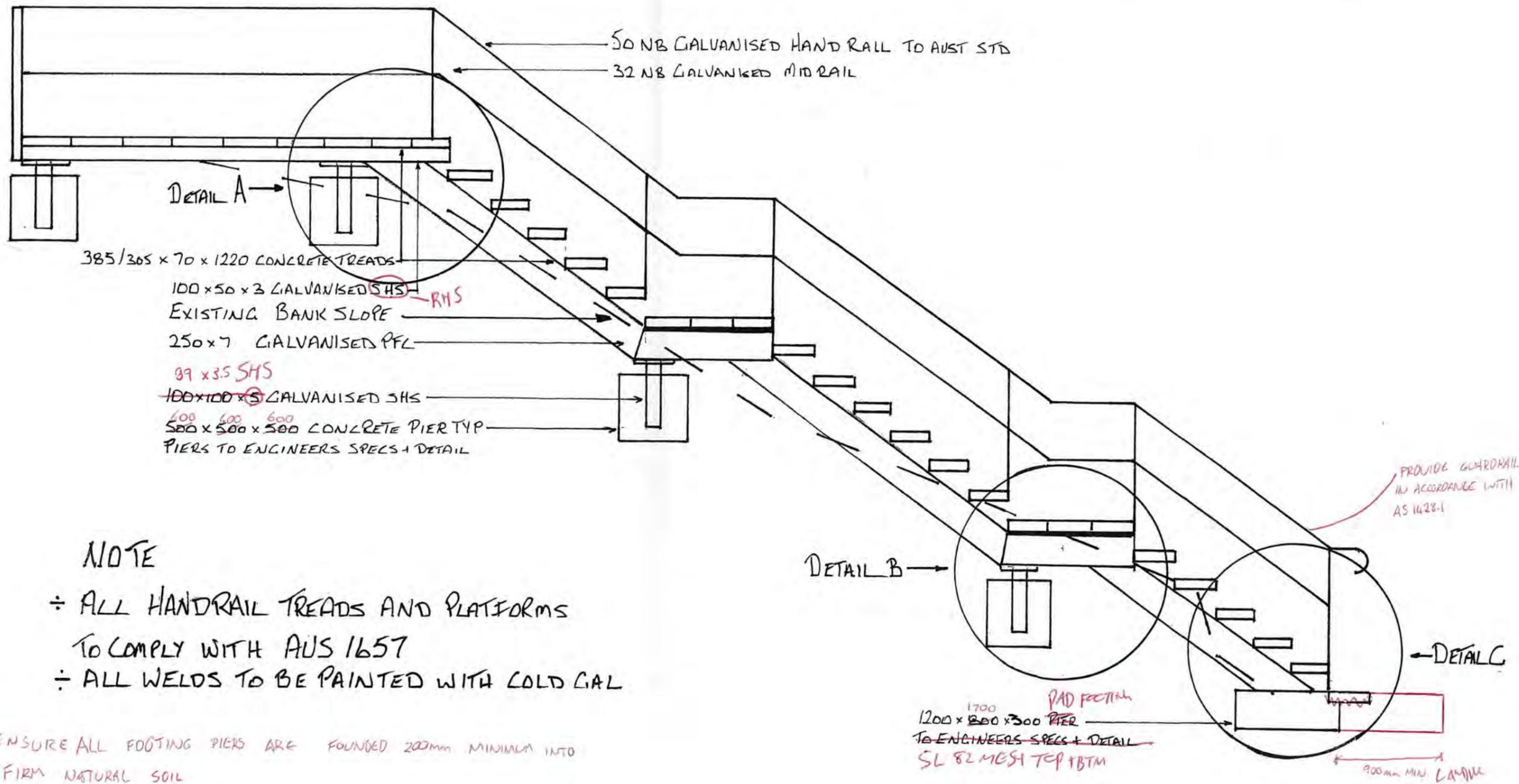
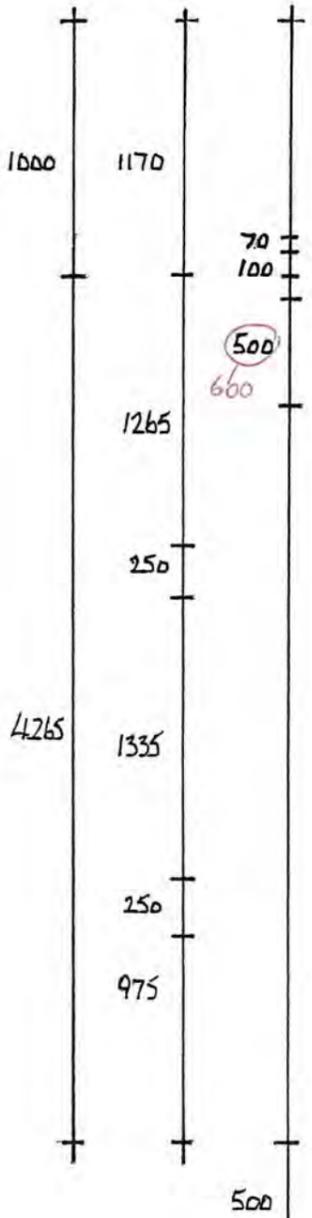
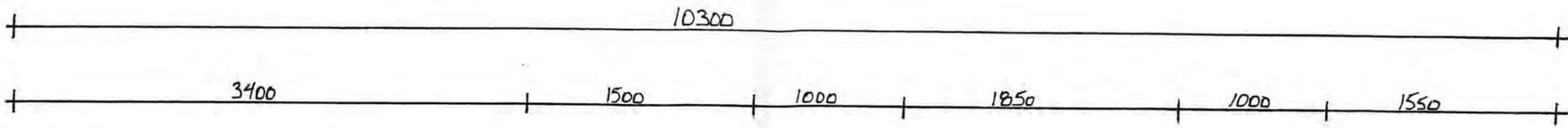


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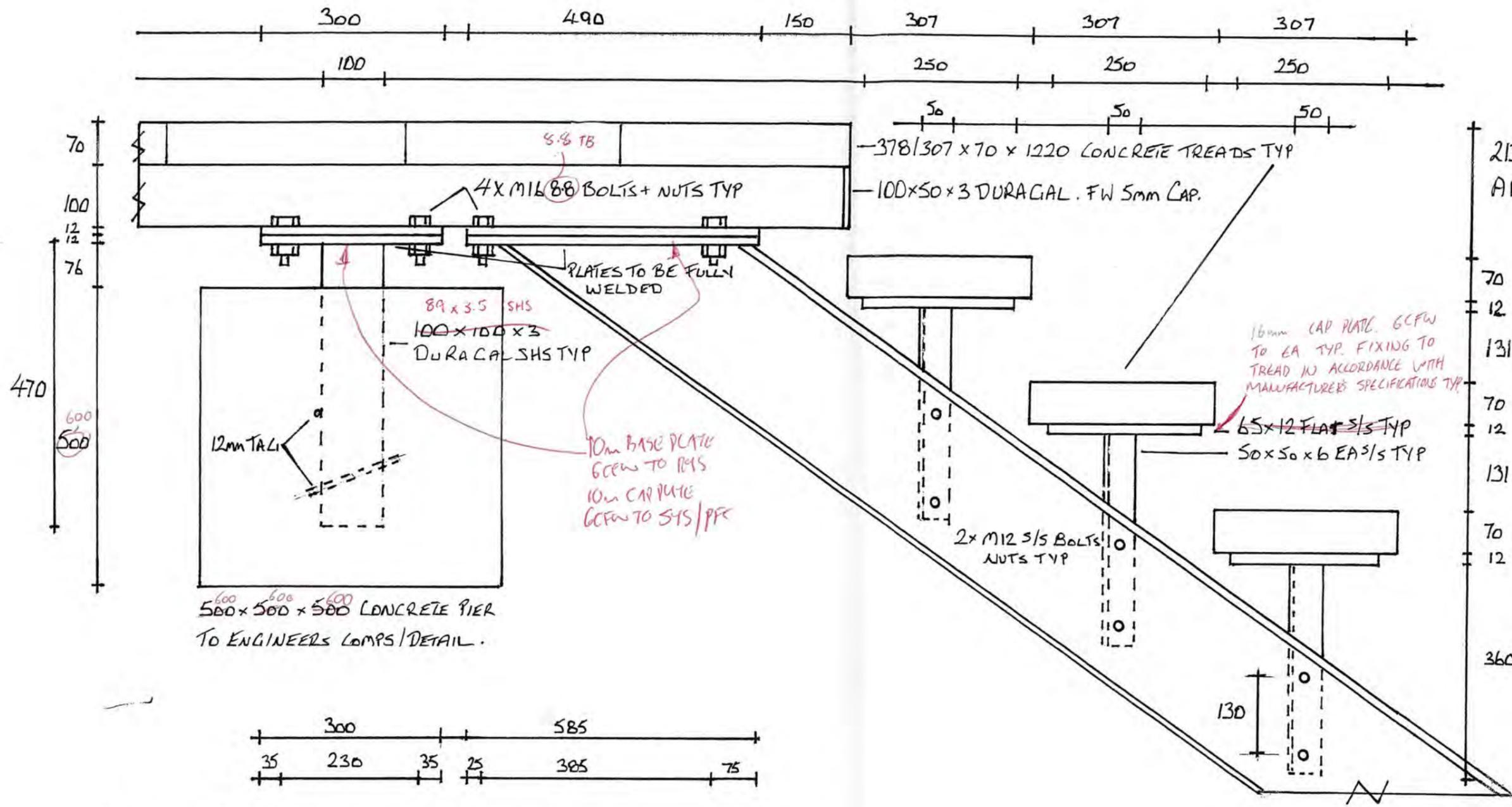
Date | 08/12/2022



NOTE
 ÷ ALL HANDRAIL TREADS AND PLATFORMS TO COMPLY WITH AUS 1657
 ÷ ALL WELDS TO BE PAINTED WITH COLD GAL

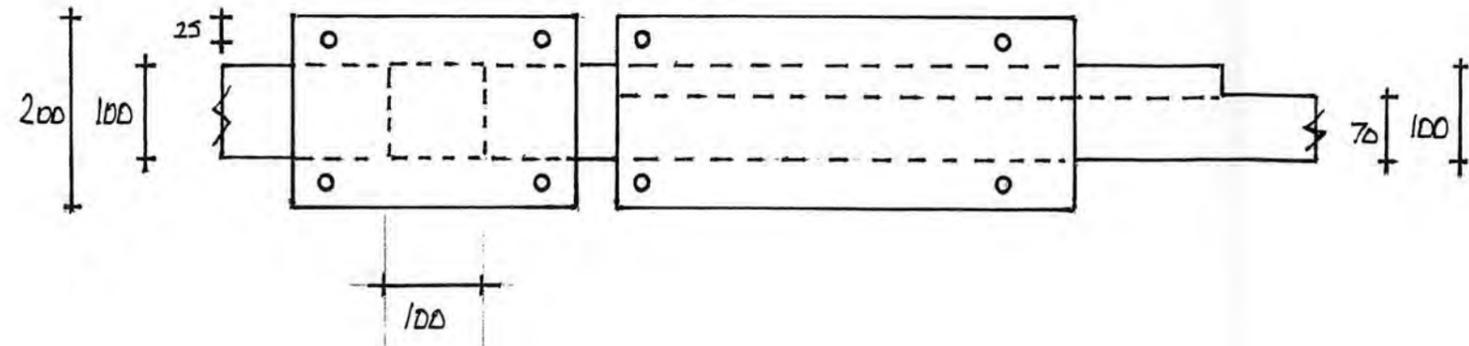
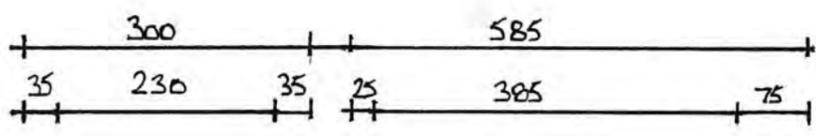
ENSURE ALL FOOTING PIERS ARE FOUNDED 200mm MINIMUM INTO FIRM NATURAL SOIL

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CLIENT GA+SA KUCHEL		
ADDRESS 12 CARBONE CRT GOL GOL		
CRAIG HARPER 0418547285		



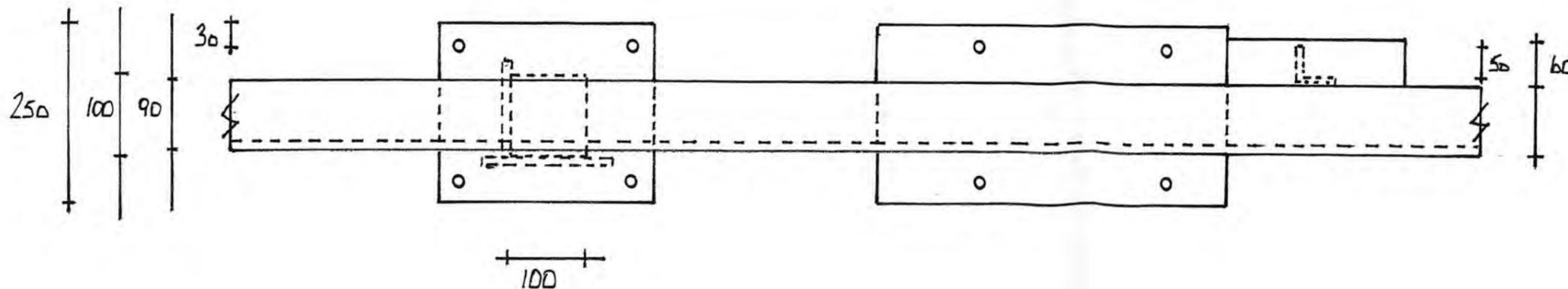
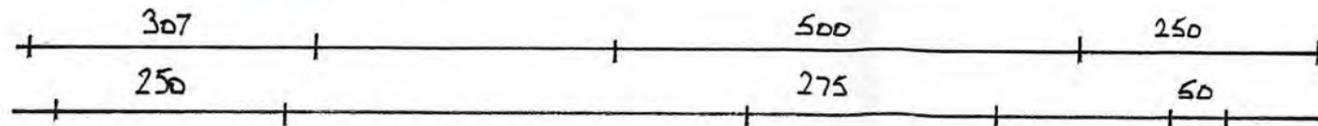
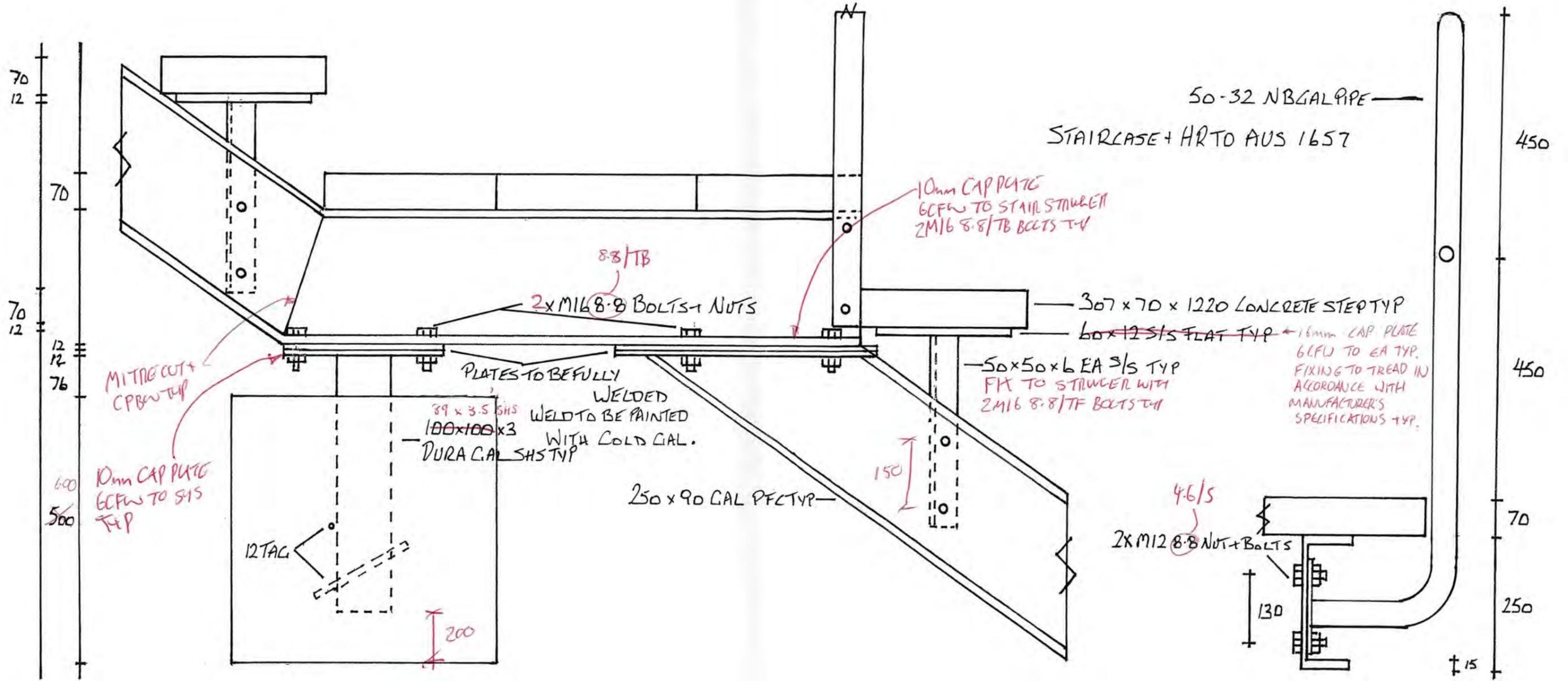
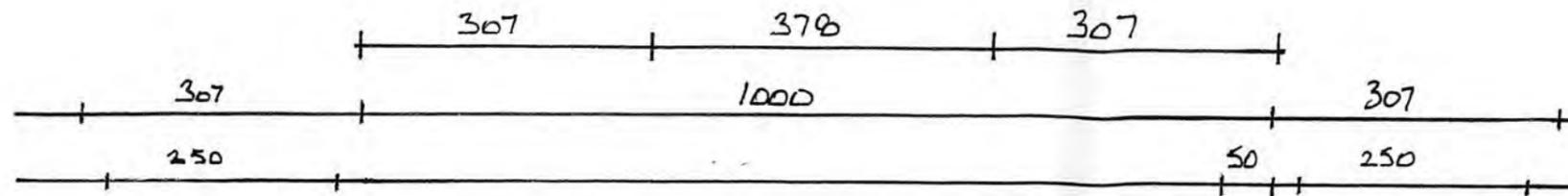
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AUST 1657.

500 x 500 x 500 CONCRETE PIER
TO ENGINEERS COMPS/DETAIL.

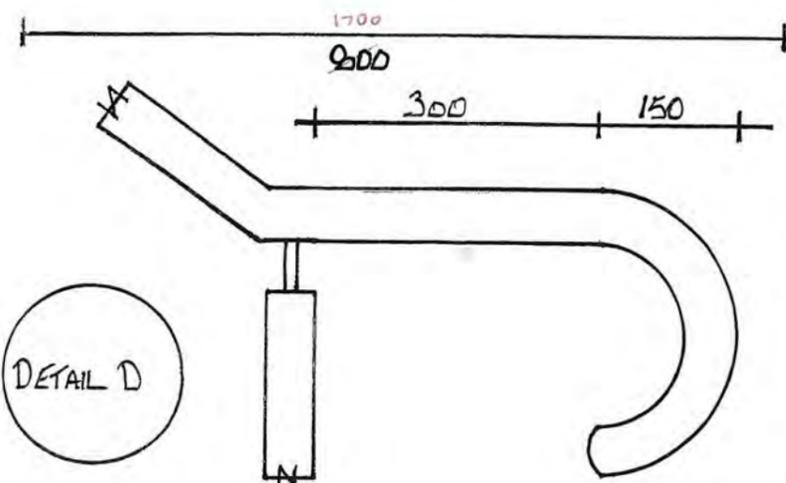
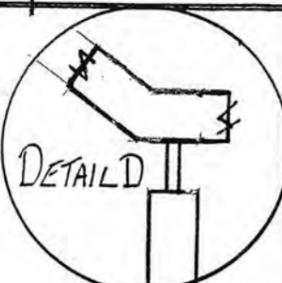
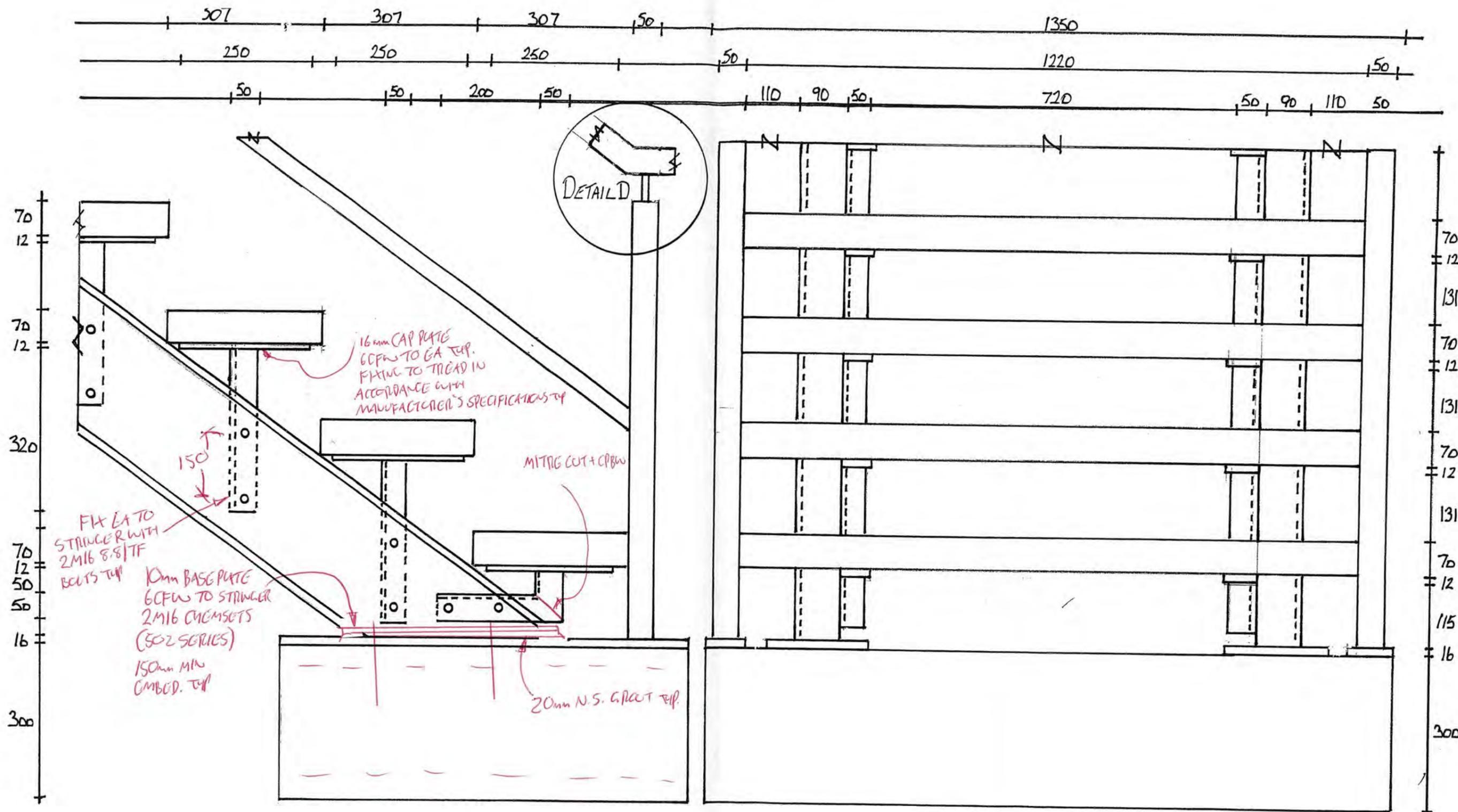


DETAIL A

DRWN ^o 2	DRWNCH	SCALE 1:75
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ADDRESS 12 CARBONE CRT GOLGIOL		
CRAIG HARPER 0418547285		



DRW N° 3	DRWN CH	SCALE 1:75
CLIENT GA+SA KUCHEL		
ADDRESS 12 CARBONE CRT GOL GOL		
CRAIG HARPER 0419547285		



DRW NO 4	DRWNCH	SCALE 1:75
CLIENT GA+SA KUCHEL		
ADDRESS 12 CARBONE CRT GOL COL		
CRAIG HARPER 0418 547 285		

16mm CAP PLATE
 6CFW TO EA TYP.
 FIXING TO TREAD IN
 ACCORDANCE WITH
 MANUFACTURER'S SPECIFICATIONS TYP

MITRE CUT + CPBW

10mm BASE PLATE
 6CFW TO STRINGER
 2M16 CHEMSETS
 (502 SERIES)
 150mm MIN
 EMBED. TYP

FIX EA TO
 STRINGER WITH
 2M16 8.8/TF
 BOLTS TYP

150

20mm N.S. GRANT TYP